



## **AGENDA YAKIMA CITY COUNCIL**

**March 5, 2024**

**City Hall -- Council Chambers - 129 N 2nd Street, Yakima, WA**

**5:00 p.m. Executive Session | 5:30 p.m. Regular Meeting | 6:00 p.m. Public Hearings ---**

**This meeting will be conducted in person, live streamed at**

**[www.yakimawa.gov/council/live-stream/](http://www.yakimawa.gov/council/live-stream/) and telecast live on Y-PAC, Spectrum Cable**

**Channel 194. You may also participate via Zoom:**

**<https://cityofyakima.zoom.us/j/99344330116> or call in by dialing 1-253-215-8782 | Webinar ID: 993 4433 0116 | Passcode: 015080 --- Individuals who wish to provide public comment**

**remotely are encouraged to submit a Public Comment Request Form online at:**

**[www.yakimawa.gov/council/public-comment](http://www.yakimawa.gov/council/public-comment) no later than 3:00 p.m. on the day of the meeting. If you wish to provide public comment in-person, please fill out a "Request for Appearance" form and hand it to the City Clerk before you address City Council.**

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### **EXECUTIVE SESSION**

1. Executive Session regarding pending litigation pursuant to RCW 42.30.110(1)(i)

1. **Roll Call**

2. **Pledge of Allegiance**

3. **Interpreter Services**

4. **Public Comment**

There will be 35 minutes allotted for public comment with two and a half (2 1/2) minutes per speaker in order to allow as much opportunity as possible for audience participation. Written communication and e-mail messages are strongly encouraged.

5. **Open Discussion for the Good of the Order**

- A. Proclamations

- i. Draft Yakima-Morelia Sister City proclamation

- B. Presentations / Recognitions / Introductions

- i. Recognition of retiring Community Development Director Joan Davenport
    - ii. Washington Fruit Community Center (WFCC) Masterplan Presentation

6. **Council Reports**

- A. Review of City Manager job description

7. **Consent Agenda**

Items listed are considered routine by the City Council and will be enacted by one motion without discussion. A Council member may request to remove an item from the Consent Agenda and, if approved, it will be placed on the regular agenda for discussion and consideration.

- A. Approval of minutes from the February 20, 2024 City Council regular meeting and February 27, 2024 study session
- B. Set date of April 2, 2024 for a public hearing to consider a rezone proposal in the vicinity of 1104 & 1112 S. 48th Ave
- C. Set date of April 2, 2024 for a closed record public hearing to consider the Planning Commission's Recommendation on text amendments to YMC Title 14 - Subdivision Ordinance
- D. Project Completion and Contract Acceptance for the Capitol Theatre Curtain Replacement with Pacific Northwest Theatre Associates Project 2569
- E. Project Completion and Contract Acceptance with Gilbert Patterson Concrete Inc for the S. 27th Ave. & Mead Ave. Sidewalks Project 2618
- F. Project Completion and Contract Acceptance with Cortez Fencing LLC for the Naches Avenue Parkway Fencing Project 2764
- G. Resolution setting April 12, 2024, as the date for an open record public hearing before the Hearing Examiner to vacate a portion of N. 4th St. between Martin Luther King Jr. Blvd. and E. Lincoln Ave
- H. Resolution authorizing a National Highway System grant award for Nob Hill Blvd Grind & Overlay Project 2799
- I. Resolution authorizing an agreement with the Yakima National Little League Association for Little League activities at Elks Park Athletic Complex
- J. Resolution authorizing an Interagency Agreement with Washington State Patrol for fire mobilization
- K. Resolution accepting the renewal request and authorizing an amendment to extend the lease/purchase option agreement with the Y HOTEL, LLC for City property located at 1808 North 1st Street
- L. Resolution authorizing an Equitable Sharing Agreement and Certification with the United States Department of Justice
- M. Resolution authorizing the City Manager to execute a contract with GMP Consultants for the recruitment of a new Community Development Director

## **DEPARTMENT ITEMS**

- 8. Ordinance repealing Yakima Municipal Code Chapter 1.34: Community Integration Committee
- 9. Ordinance repealing Yakima Municipal Code Chapter 1.40: Sustainable Yakima Committee
- 10. Ordinance amending the City of Yakima Municipal Code Chapter 1.42: Planning Commission; Chapter 1.37: Bicycle and Pedestrian Advisory Committee; Chapter 11.62: Historic Preservation; and Chapter 8.77: Public Tree Ordinance, to create a structure where the Historic Preservation Commission, Bicycle and Pedestrian Advisory Committee and Tree Board report to, and are considered sub-committees of the Planning Commission
- 11. Ordinance amending sections of Yakima Municipal Code Title 10 Fire for adoption of the 2021 Washington State Codes
- 12. Ordinance amending sections of Yakima Municipal Code Title 11 Buildings for adoption of the 2021 Washington State Codes
- 13. **Other Business**



#### **14. Adjournment**

The next meeting is a City Council study session on March 12, 2024, at 5:00 p.m. in the City Hall Council Chambers

#### **15. Council General Information**

- A. Council General Information
- B. Distribution of the Complete Record for the closed hearing of Plat of Marylyn Place (PLP#001-23)
- C. Distribution of the Complete Record for the closed hearing of Plat of Champions Park Phase 1 (PLP#002-23)

*Any invocation that may be offered before the official start of the Council meeting shall be the voluntary offering of a private citizen, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the Council, and the Council does not endorse the religious beliefs or views of this, or any other speaker.*

*A Council packet is available for review at the City Clerk's Office and on-line at [www.yakimawa.gov](http://www.yakimawa.gov). The City provides special accommodations, such as hearing devices, wheelchair space or language interpreters, for City meetings. Anyone needing special assistance please contact the City Clerk's office at (509) 575-6037 at least two business days prior to the meeting. All meetings are live streamed on the City of Yakima website at [www.yakimawa.gov](http://www.yakimawa.gov) and telecast live on Y-PAC, Spectrum Cable Channel 194.*



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. A.i.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Draft Yakima-Morelia Sister City proclamation

**SUBMITTED BY:** Dave Zabell, Interim City Manager

**SUMMARY EXPLANATION:**

On February 22, 2024, Sister City representative Margaret Luera requested a proclamation for the 25th anniversary of the Yakima-Morelia Sister City relationship.

Attached for Council's consideration is a draft proclamation. If approved, the proclamation will be read and presented at the April 2 regular business meeting.

**ITEM BUDGETED:**

**STRATEGIC PRIORITY:**

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

**ATTACHMENTS:**

Description	Upload Date	Type
<input type="checkbox"/> Draft proclamation_Yakima Morelia Sister City	3/1/2024	Backup Material

# CITY OF YAKIMA PROCLAMATION

*WHEREAS, Yakima, Washington, U.S.A. and Morelia, Michoacan, Mexico have built strong ties between their communities thanks to a shared commitment to develop a positive and productive Sister City relationship; and*

*WHEREAS, the Sister Cities program fosters mutual respect, understanding, and cooperation through its active global citizen diplomacy network; and*

*WHEREAS, numerous visits by delegations from each Sister City to the other have proven tremendously worthwhile by creating countless opportunities for cultural, educational, and economic exchanges between Yakima and Morelia; and*

*WHEREAS, the Yakima-Morelia Sister City relationship has significantly enriched both communities since it began; and*

*WHEREAS, the dedicated members of the Yakima-Morelia Sister City Association continue to enthusiastically promote friendship and collaboration between our two communities and our two countries; and*

*WHEREAS, Yakima is proud to host a distinguished delegation from Morelia and extends warm wishes for a valuable and beneficial visit; and*

*WHEREAS, the Yakima-Morelia Sister City Association is celebrating their 25<sup>th</sup> year of citizen to citizen diplomacy with their Sister City Morelia.*

*NOW, THEREFORE, I, Patricia Byers, Mayor of the City of Yakima, and on behalf of the Yakima City Council, do hereby proclaim the week of April 1, 2024 as*

## **YAKIMA – MORELIA SISTER CITY WEEK**

*in the City of Yakima and encourage everyone in our community to welcome our honored guests from Morelia, the great capitol city of Michoacan, Mexico.*

*Dated this 2<sup>nd</sup> day of April, 2024*

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*Patricia Byers Mayor*



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. B.i.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Recognition of retiring Community Development Director Joan Davenport

**SUBMITTED BY:** Dave Zabell, Interim City Manager

**SUMMARY EXPLANATION:**

After approximately 37 years of distinguished service to the City of Yakima, Community Development Director Joan Davenport is retiring effective March 15, 2024. Throughout the arc of her service to the City, Yakima has increased in population to nearly 100,000 residents, an increase of more than 50%, and in area from 13 square miles to 30 square miles today. Joan Davenport has played an important professional, and ever increasingly influential, role in assisting the Planning Commission and City Council in shaping the City as it has grown, in planning for its future, and with countless members of the public in the implementation and facilitation of the City's adopted plans, policies, and regulations.

As background, Director Davenport was hired by the City of Yakima as an Associate Planner in August 1987, along the way Joan has consistently demonstrated herself to be a capable and accomplished professional, resulting in her promotion to Supervising Associate Planner (1990), Supervising Traffic Engineer (1999), Planning Manager (2009), Strategic Project Manager (2013), and finally Director of Community Development in 2014 where she has served the past 10 years.

Aside from serving in numerous professional and leadership roles during the City's significant growth in population and area, during Joan's nearly four decade tenure, she has worked on three major Comprehensive Plans updates, dozens of Comp Plan Amendments; successfully acquired millions of dollars in grants for the City; spent decades working on housing and development efforts; and as a team-player working across departmental lines and responsibilities, Joan served in major roles through some difficult times (snow storm of 1996, flood of 1997, heartbreak of 9/11, and COVID pandemic) and also some rewarding times (1994 and 2005 All America City recognition).

This evening we take a few minutes to publicly acknowledge a dedicated professional, a true leader who served the City with great distinction and to great effect over a long and productive career.

**ITEM BUDGETED:**

NA

**STRATEGIC PRIORITY:**

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

City Manager will intro.

City Council will comment.

Director Davenport provided opportunity to comment.



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. B.ii.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Washington Fruit Community Center (WFCC) Masterplan Presentation

**SUBMITTED BY:** Scott Schafer, Public Works Director  
\* Ken Wilkinson, Parks & Recreation Manager

**SUMMARY EXPLANATION:**

In 2019, City Council directed staff to complete a Master Plan of the WFCC; providing three design options in order to serve a greater number of individuals over the next 20 to 30 years offering more and different programs and activities. The three design options included:

1. Minimalistic - immediate repairs/improvements of existing facility
2. Intermediate - minor upgrade/remodeling of facility
3. Grand - major remodeling/expansion of facility

City Council indicated that they wanted the Master Plan completed so that the City would be eligible for state or other grant funding opportunities to make such improvements to the WFCC.

A Request for Qualifications was conducted by the City and the development of the Master Plan was awarded to KDA Architecture to provide the much anticipated design options for potential improvements and future expansion of the facility.

One significant component of the development of the Master Plan was to obtain public input from the surrounding neighborhood to determine the desired programming and activities. However, the COVID-19 Pandemic delayed the ability of the City to meet with the public in meaning way. In that public input was a critical element of this effort, it was determined that rather than compromise, the project be delayed until such time as a robust public input process could be executed.

Enclosed for City Council review is the KDA Architecture PowerPoint presentation that will be presented as well as the finalized Master Plan of the WFCC.

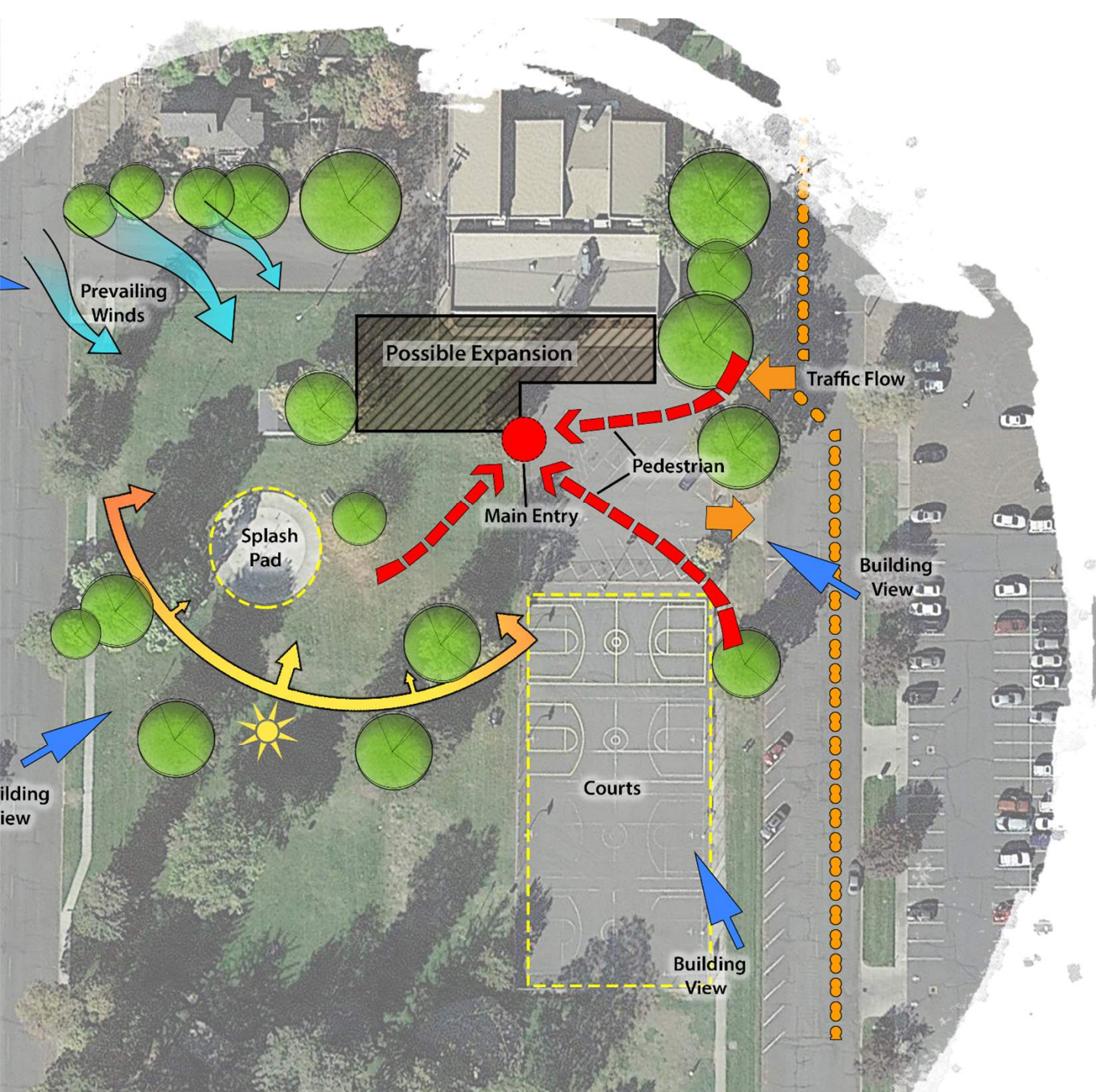
**ITEM BUDGETED:** NA

**STRATEGIC PRIORITY:** Partnership Development

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER****RECOMMENDATION:****ATTACHMENTS:**

	<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
📎	WFCC Master Plan Presentation - KDA Architecture	2/20/2024	Presentation
📎	WFCC Masterplan Final Document	1/29/2024	Presentation



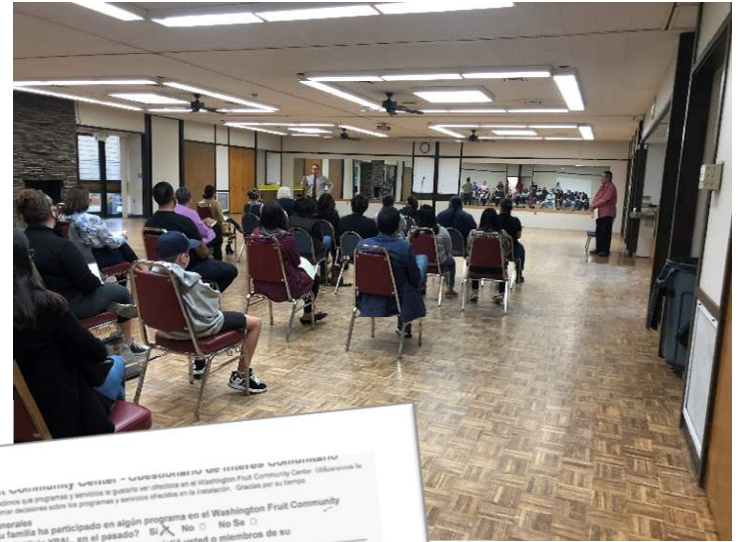


# Washington Fruit Community Center Master Plan



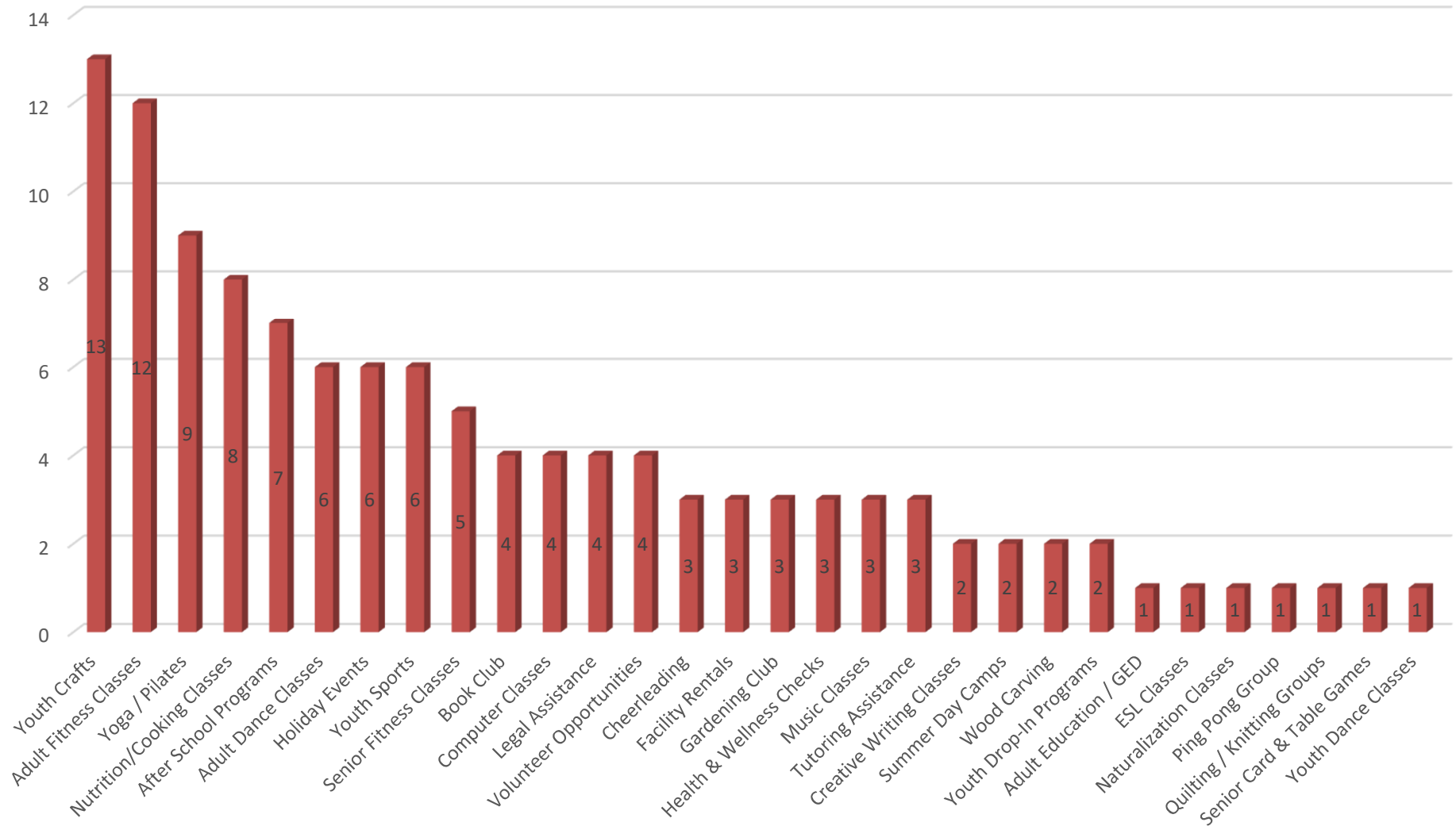
# Community Outreach - Events

- Public Events – 2 Community Gathering Events @ WFCC
  - Listening Session - June 2021
  - Open House - January 2023
- Community Interest Questionnaires
- Online Survey

A photograph of a completed community interest questionnaire form. The form is titled "SECCIÓN I - Preguntas Generales" and "SECCIÓN II - Programas y Actividades". It contains various questions about participation in programs, interest in specific activities, and demographic information. Handwritten responses in Spanish are visible throughout the form, including "Si", "No", "Siempre", "Nunca", and "A veces". The form is dated "2023" and includes a section for "Información demográfica" with checkboxes for age, gender, and ethnicity.

# Community Outreach – Survey Results

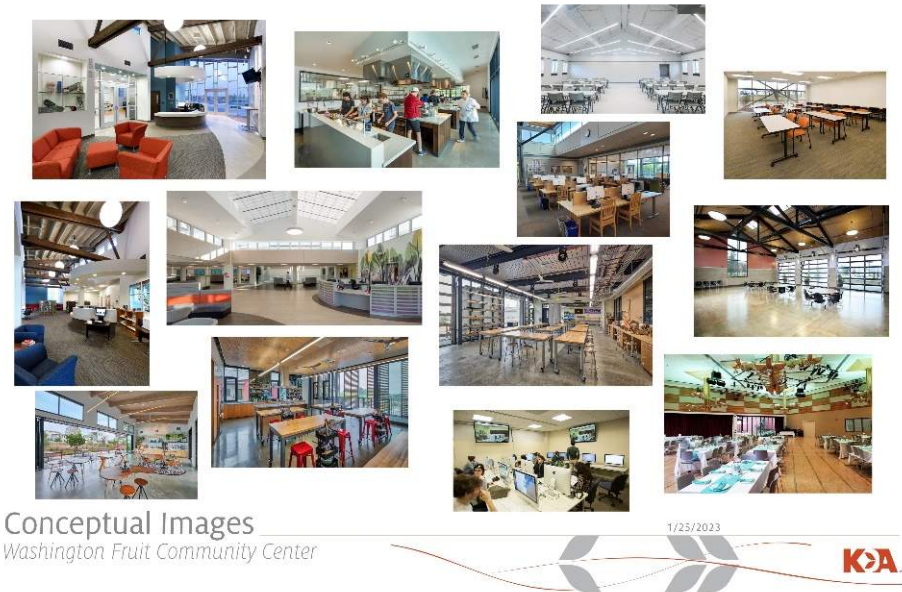
## Top 5 Improvements



# Community Outreach – Survey Results

## Ranking Desired Programs:

- 1. Youth Crafts
- 2. Adult Fitness Classes
- 3. Yoga / Pilates
- 4. Nutrition/Cooking Classes
- 5. After School Programs
- 6. Adult Dance Classes
- 7. Holiday Events
- 8. Youth Sports



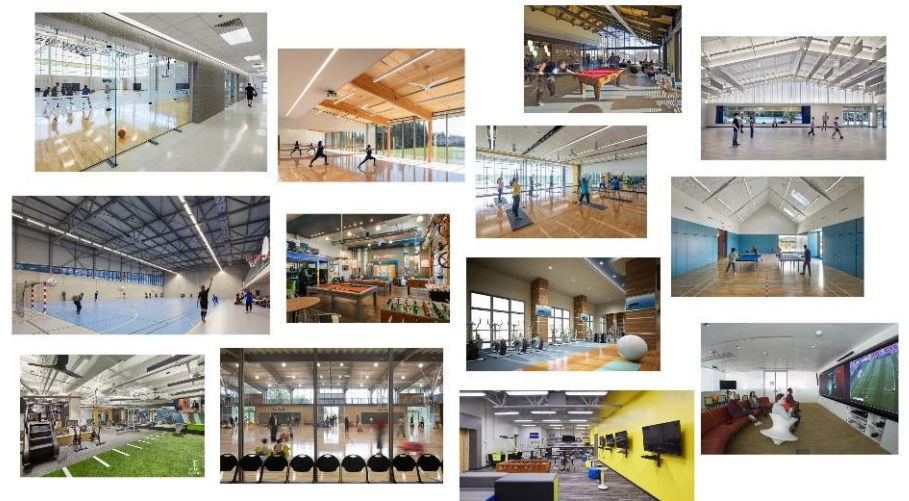
# Community Outreach – Open House Discussions

## Requested Spaces:

- 1. Gymnasium
- 2. Teaching Kitchen
- 3. Arts & Crafts Space
- 4. Living Room Area / Entry
- 5. Raise the Roof - Bigger Spaces/ Dance Studio
- 6. Activating Park – Connect WFCC to Park
- 7. More Parking
- 8. Multi-Generational Spaces

## General Comments:

- 1. Not sure that it is a community center
- 2. Closed off, few windows
- 3. Low ceilings



Conceptual Images  
Washington Fruit Community Center

1/25/2023

KOA

- Site Walk Conducted
  - Facility in Generally Good Working Order
    - Newer Exterior Cladding, lighting, and flooring.
    - Structural Systems in Good Condition
  - Roofing In Need of Replacement
  - Accessibility (ADA) concerns – Doorknobs, Slope of Exterior Patio
  - Program Goals Not Met (Low Ceiling Space)
  - Inadequate Parking Provided to Meet to City Code (Site Lighting Not Adequate)
  - Fire Sprinkler & Alarm Systems are Recommended due to Facility Size & Usage
  - Electrical & Mechanical Systems Beyond Useful Life
    - Electrical Panels & Service Gear are in Good Working Order but Beyond End of Useful Life
    - Areas of Galvanized Plumbing Should be Replaced
    - Hot Water Tanks are Beyond Useful Life



# Facility Assessment



Missing Shingles @ Roof



Ponding @ RTU Curbs



Non-Accessible Drinking Fountain



Exit Door With Knob & Deadbolt



# Facility Assessment



Steep Slope @ Exit Door



Newer Vinyl Windows



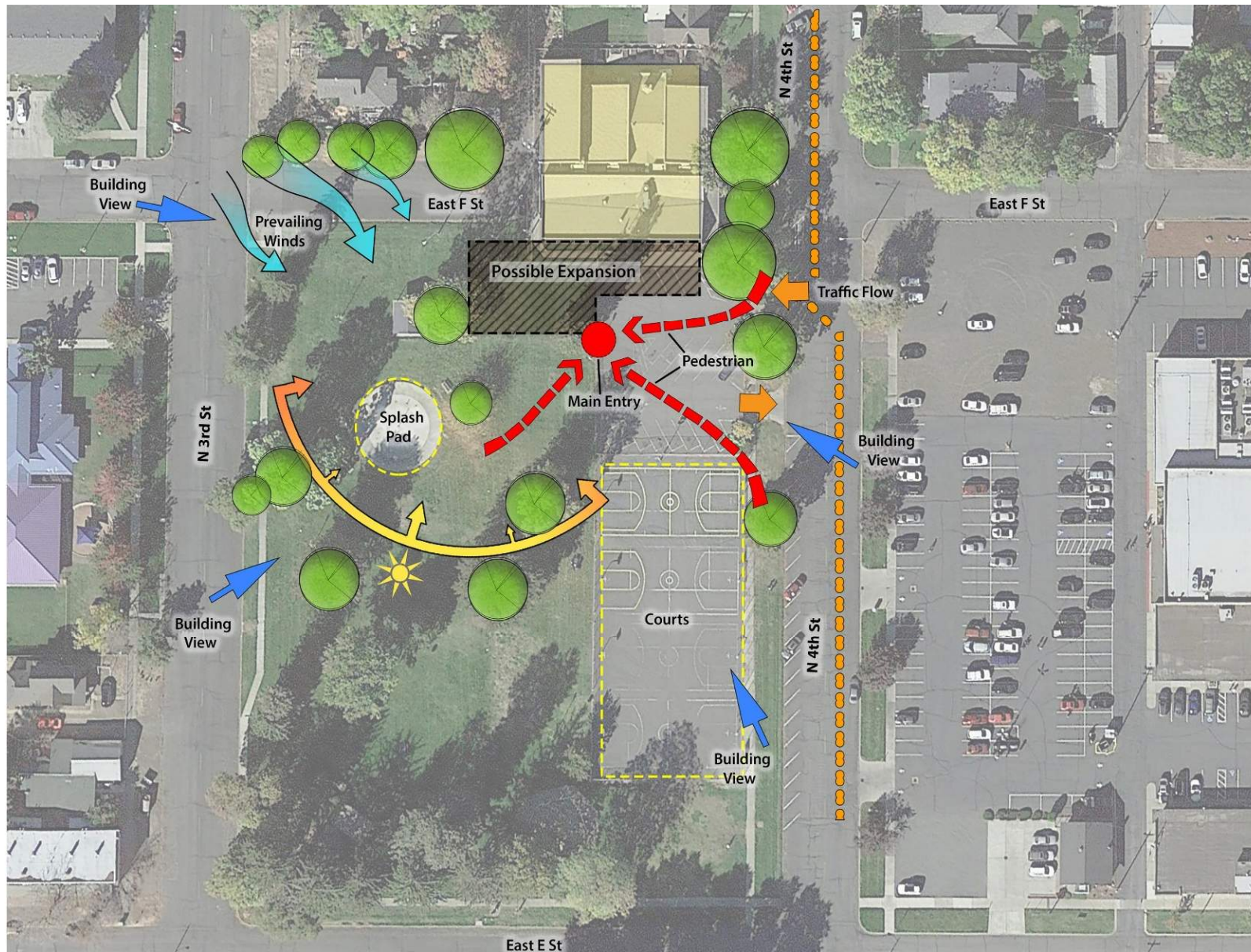
Double Cylinder Deadbolt @ Exit Door



New Carpet, Ceiling, & Lights



# Site Analysis





# Master Plan Methodology

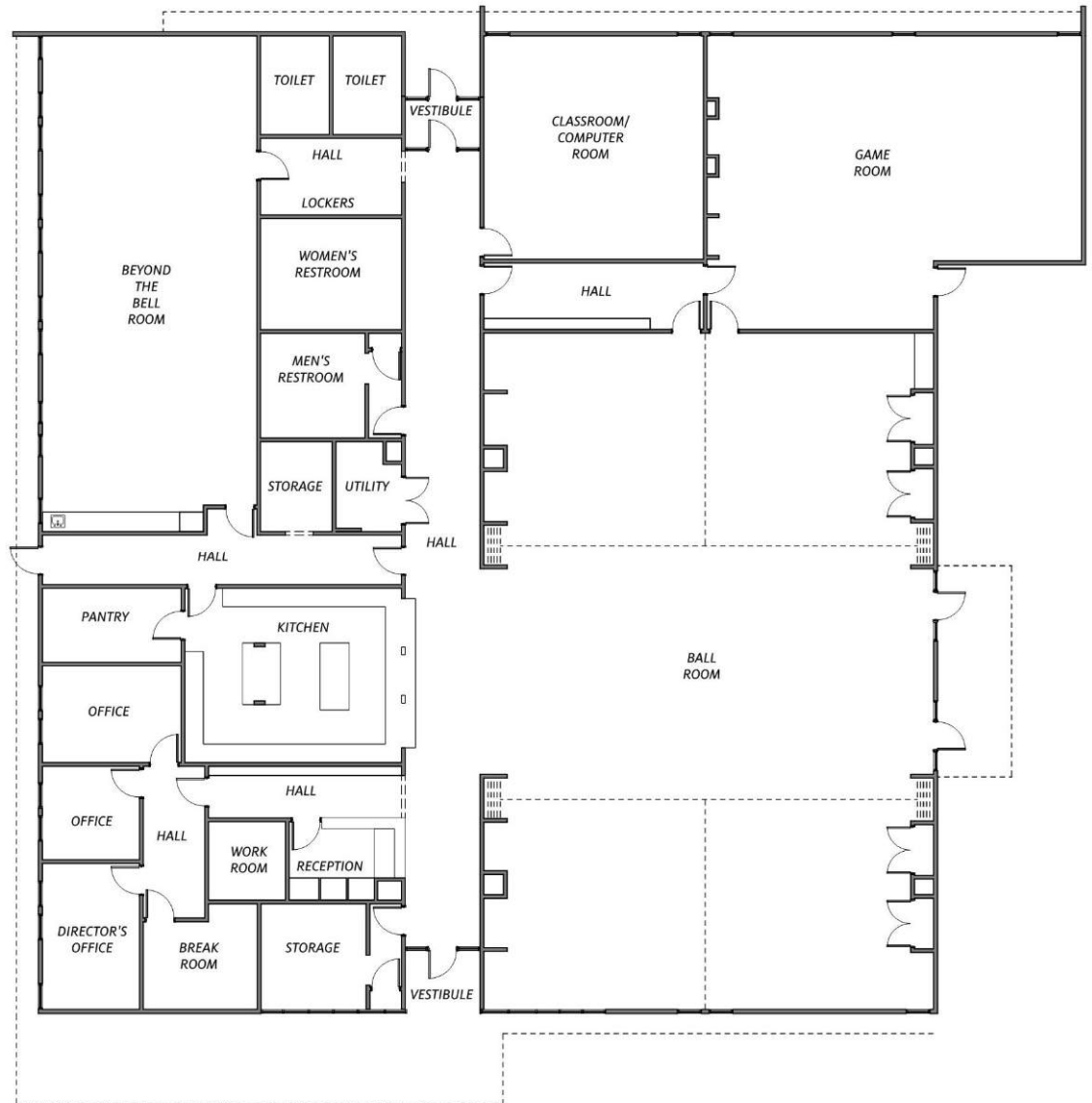
## 3 Levels of Project

Immediate Needs – Urgent Repairs

Intermediate Option – 5-10 Year Plan

Master Plan Option – 5-25 Year Plan

- Each Level builds on the previous.
- Phased to allow completion over time.



# Design Options

## Immediate Needs

### Interior Work:

- Flooring
- New dividers at Ball Room and Beyond the Bell
- Paint
- Remove the low wall barrier at front entry (cattle chute)

### Exterior Work:

- Reroof
- Exterior Paint – Neutralize Palette
- Crosswalks and Drop-off reconfiguration
- Exiting at fenced in areas.

### Electrical and Mechanical:

- Mechanical (HVAC) upgrades
- Lighting upgraded to LED.
- Upgrade security system update including cameras.
- Phones and Intercom Coordination
- Electrical – branch circuitry
- Fire alarm system



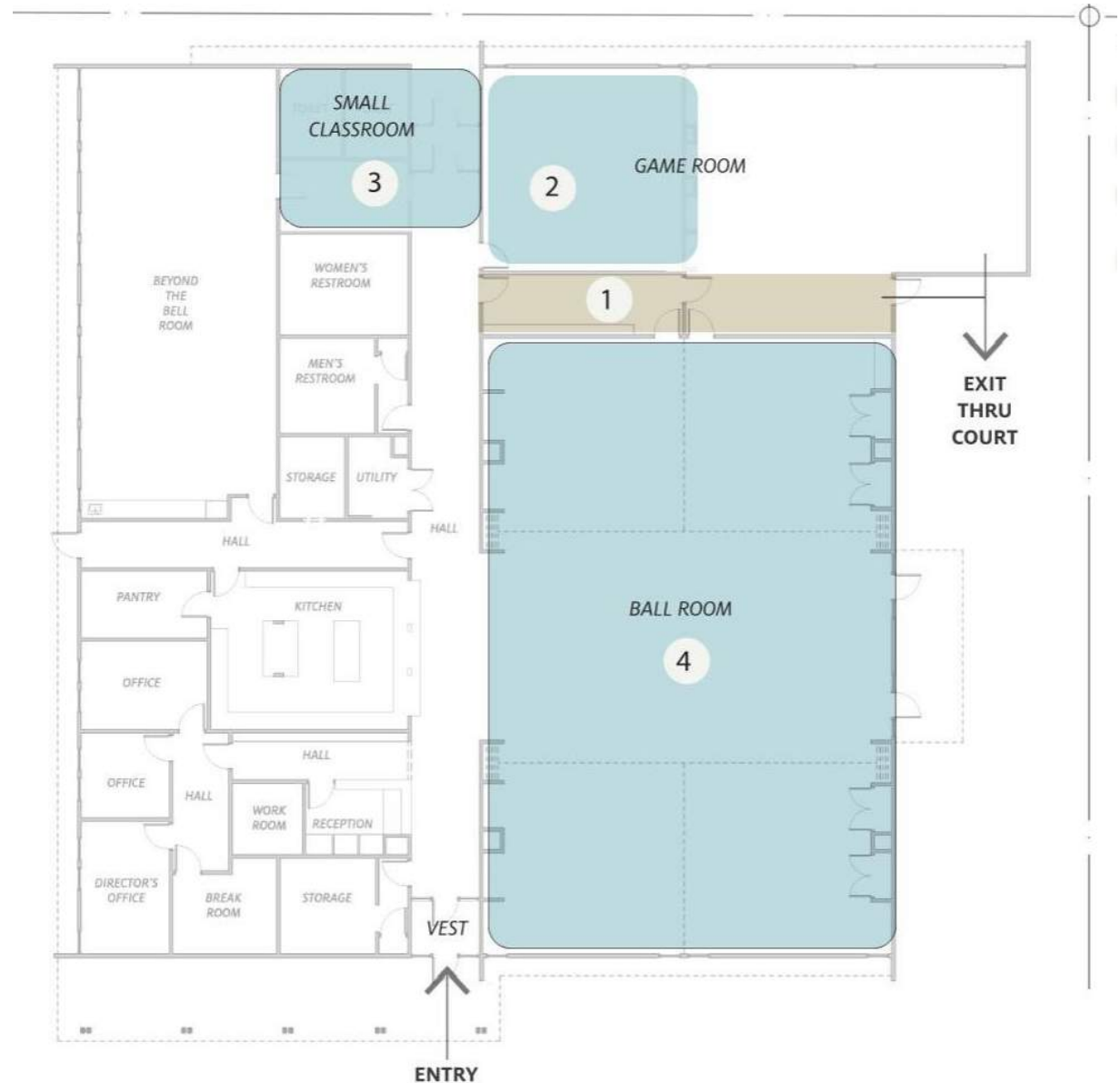
# Design Options

## Intermediate Option - Phase 1

- Expand Game Room
- Create Code Complaint Exit
- Create new Small Classroom
- New larger windows as appropriate
- Replace roofing at sloped roofs with metal roofing.
- Replace ceiling of ball room

### PHASE 1

- 1 Create exit corridor
- 2 Expand Game Room
- 3 Create (Slightly smaller) new Classroom
- 4 Optional Renovation work in Ball Room



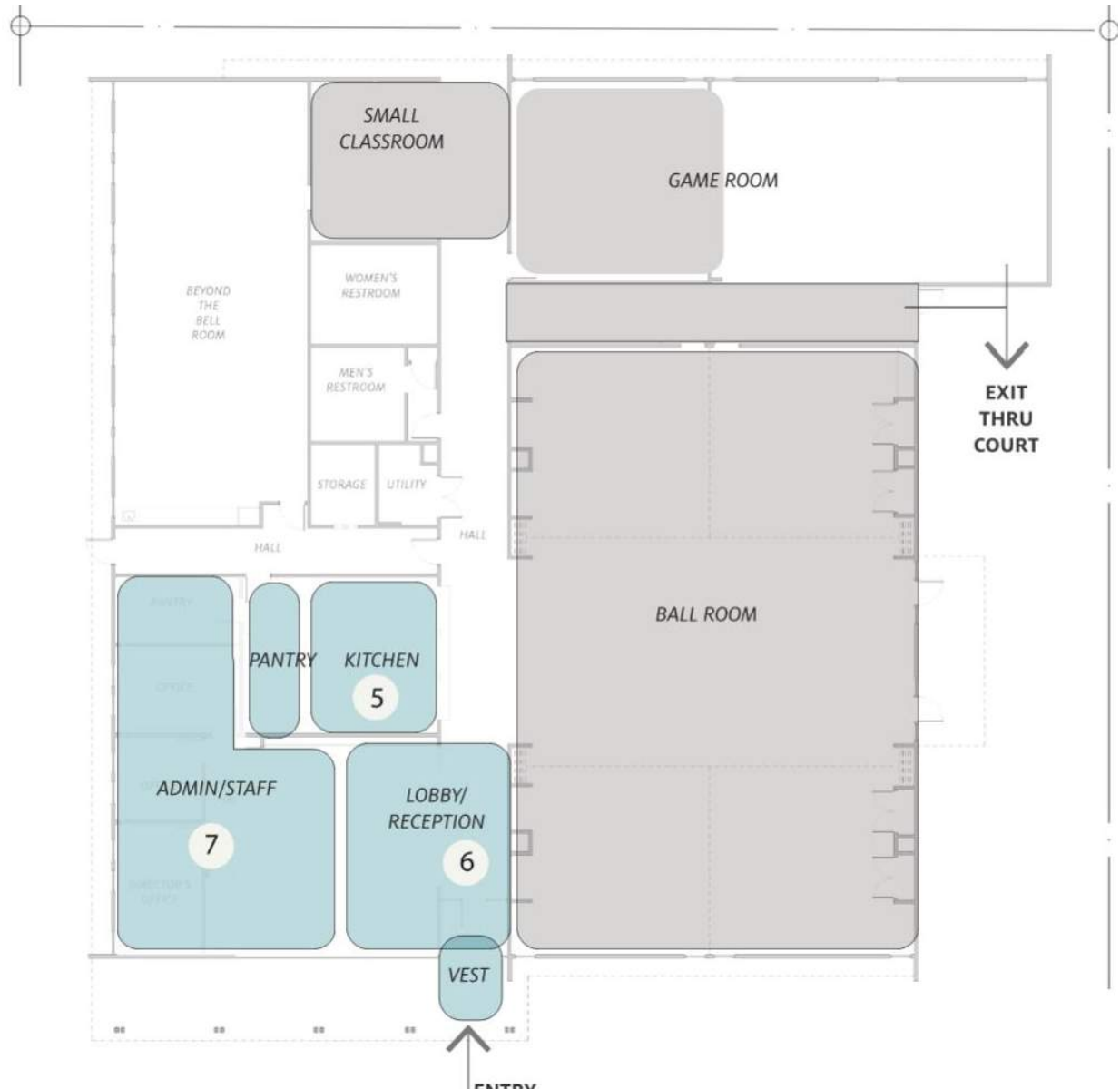
# Design Options

## Intermediate Option - Phase 2

- New Entry/Lobby
  - Reconfiguring existing entry to move the vestibule out under the existing canopy.
  - Extend the canopy out to the south for a stronger presence in the parking lot.
- Larger entry plaza at main entry
- Reconfigure and reduce size of Kitchen including the Pantry.
- Redo administrative offices

### PHASE 2

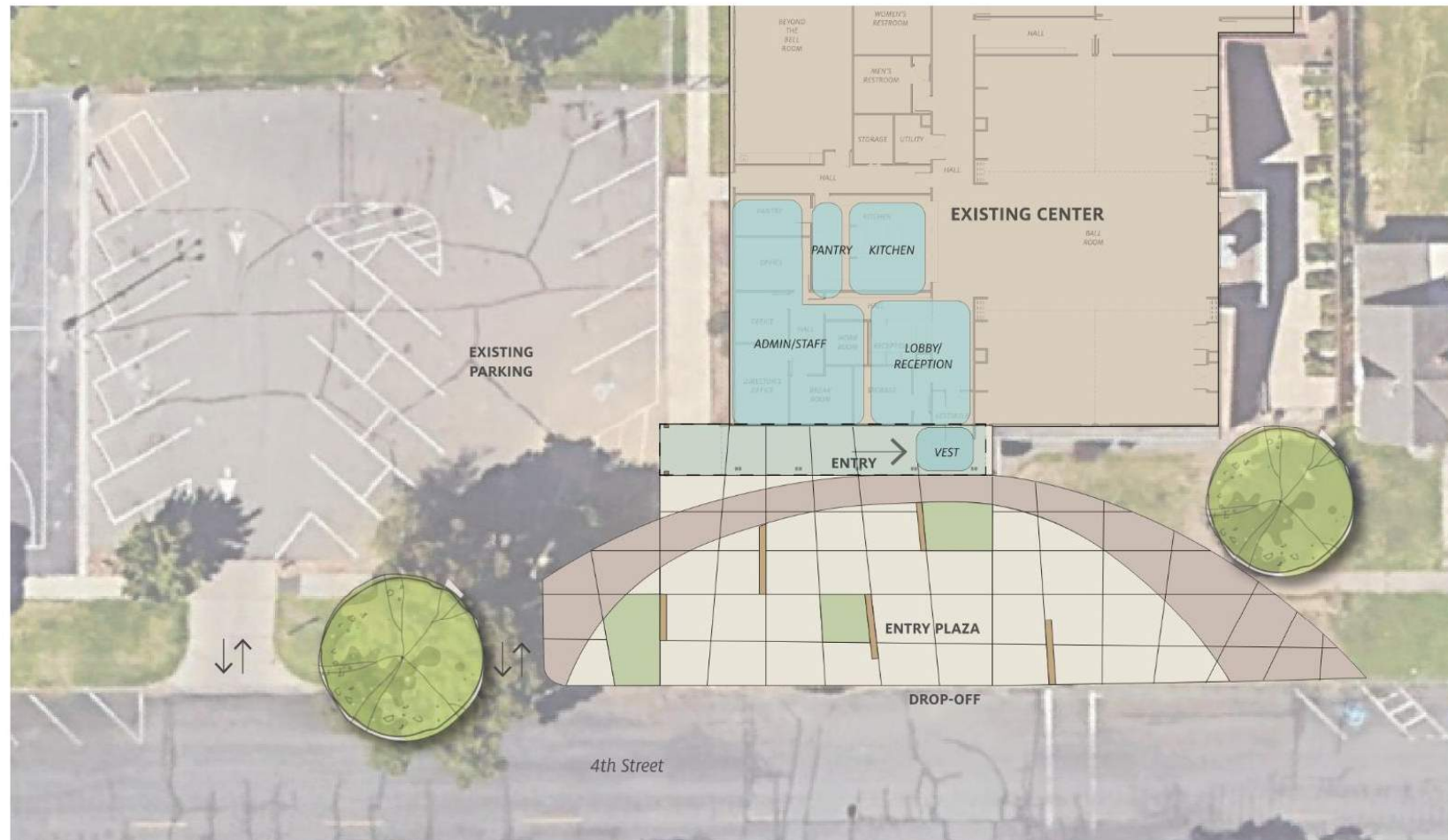
- 5 Renovate Kitchen & Pantry
- 6 Create new Entry/Lobby
- 7 Remodel Admin



# Design Options

## Intermediate Option - Phase 2

- Reconfiguring existing entry to move the vestibule out under the existing canopy.





# Design Options

## Intermediate Option - Phase 2

- New Entry Rendering



# Design Options

## Master Plan

- Build On Intermediate Option
- New Entry & Living Room
- Create New Access Spine from Entry to Ball Room
- Create New Gym
- Create New Dance Studio
- Relocate & Expand Admin



# Design Options

## Master Plan

- New Entry & Parking Lot
- Connection to Park
- Community Garden





# Design Options

## Master Plan

- New Entry Rendering



# Design Options

## Master Plan

- New Entry Rendering





# Cost Estimate

## Immediate Needs

- 14 à la carte items based on facility assessment
- Total Estimated Construction Cost \$1,524,639
- Total Estimated Project Cost \$2,016,501
  - Includes fees, taxes, contingency

## Breakdown

1. Flooring Throughout	\$153,043
2. New Dividers at Ballroom and Beyond the Bell	\$161,347
3. Repaint Interior	\$62,604
4. Remove the Low Barrier Wall at Entry	\$2,947
5. Reroof Building	\$312,403
6. Exterior Paint	\$43,016
7. Crosswalk and Drop-Off Reconfiguration	\$60,521
8. Exiting at Fenced-in Areas	\$17,334
9. Mechanical Upgrades	\$334,976
10. Lighting Upgraded to LED	\$125,845
11. Upgrade Security System Including Cameras	\$60,692
12. Phones and Intercom Coordination	\$34,321
13. Electrical - Branch Circuitry	\$86,947
14. Fire Alarm System	\$68,643

# Cost Estimate

## Intermediate Option

- Total Estimated Construction Cost \$3,168,328
- Total Estimated Project Cost \$4,747,457
  - Includes fees, taxes, contingency
  - Escalated to 3q 2026 @ 6%/year
- Can be executed in 2 phases over time
- Includes All Immediate Needs



## Master Plan

- Total Estimated Construction Cost \$10,687,798
- Total Estimated Project Cost \$15,047,668
  - Includes fees, taxes, contingency
  - Escalated to 3q 2028 @ 6%/year
- Includes All Immediate & Intermediate Items



# Washington Fruit Community Center

## Master Plan

Project No. 201932  
October 2023



## KDA ARCHITECTURE

1310 North 16th Avenue, Yakima, WA 98902  
T 509 575 5408 F 509 453 0293  
[www.KDAarchitecture.com](http://www.KDAarchitecture.com)



# **WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

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## WASHINGTON FRUIT COMMUNITY CENTER

### Master Plan

## EXECUTIVE SUMMARY

## 1.0

### GENERAL INFORMATION

This manual contains the Master Plan documentation for the Washington Fruit Community Center in Yakima, Washington. The Master Plan evaluated three design options, from a minimalistic approach to a grand approach as requested by the City of Yakima. The three design options presented in the Master Plan-immediate needs (minimalistic), intermediate (medium option) and Master Plan (grand) were developed through facility assessments of the existing building, the community engagement, and meetings with City representatives. Each option is intended to build on the previous step, so upgrades and modifications can be incorporated as funding is available. The immediate needs focused on upgrading the existing building where possible to enhance the facility for community use. The intermediate option incorporates the immediate needs and evaluates initial remodel projects in two steps (Phase 1 and Phase 2) with a focus on building toward the ultimate Master Plan. The Master Plan also includes an alternative option for development in multiple phases (Phase 3 and 4). This allows for the project to move forward with the priority need of a gymnasium and hold on the Dance Studio and additional administrative space until funds are available. The Master Plan creates space to expand the programs being offered and lays out the vision for the facility for the next 20 to 30 years.

The scope of each option is as follows:

#### **Immediate Needs (Minimalistic Option)**

##### Interior Work:

- Flooring
- New dividers at Ball Room and Beyond the Bell
- Paint
- Remove the low wall barrier at front entry (cattle chute)

##### Exterior Work:

- Reroof
- Exterior Paint
- Crosswalks and Drop-off reconfiguration
- Exiting at fenced in areas.

##### Electrical and Mechanical:

- Mechanical (HVAC) upgrades
- Lighting upgraded to LED.
- Upgrade security system update including cameras.
- Phones and Intercom Coordination
- Electrical – branch circuitry
- Fire alarm system



# WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

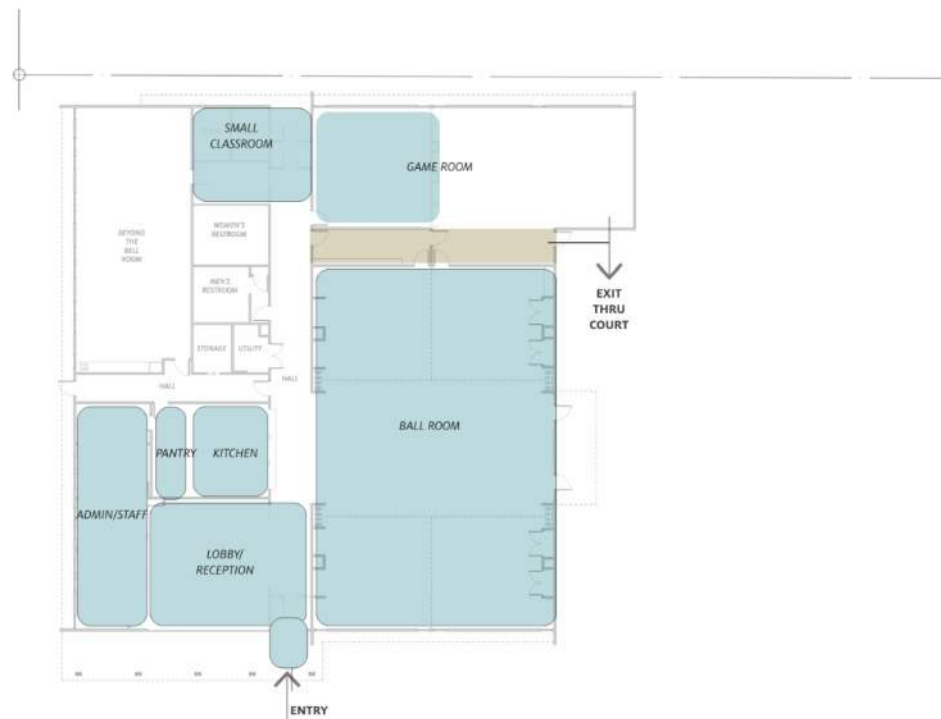
## EXECUTIVE SUMMARY

1.1

### Intermediate Option (Medium Option)

- New Entry/Lobby
  - Reconfiguring existing entry to move the vestibule out under the existing canopy.
  - Extend the canopy out to the south for a stronger presence in the parking lot.
- Larger entry plaza at main entry
- New larger windows as appropriate
- Replace roofing at sloped roofs with metal roofing.
- Replace ceiling of ball room
- Reconfigure and reduce size of Kitchen including the Pantry.
- Redo offices

Refer to Sections 2.3-2.6 for complete set of plan diagrams and drawings.





## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

### EXECUTIVE SUMMARY

1.2

#### Master Plan (Grand Option)

- Add Gymnasium (Elementary School Size)
- Enlarged Game Room
- Add Dance Studio
- Classroom/Computer (2 Additional)

The existing building is approximately 10,660 sf and the expansion included in the Master Plan is 23,056 sf.

Refer to Sections 2.7-2.13 for a complete set of plan diagrams and drawings.



#### COST ESTIMATE

The estimate of probable construction cost for the immediate needs was developed as a laundry list with each need being listed as an additive alternate with a standalone cost. The total of all the needs is \$1,524,639 and each is escalated out to the fourth quarter of 2024 at 6% per year. The soft costs, which include Washington State Sale Tax, construction contingency, fees, permitting and miscellaneous cost for the immediate needs option is \$491,862. The soft costs include allowances and place holders that will be developed as the

## **WASHINGTON FRUIT COMMUNITY CENTER**

### Master Plan

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## **EXECUTIVE SUMMARY**

## **1.3**

project(s) move forward. This puts the estimate of probable project cost at \$2,016,501. If any of the immediate needs are delayed beyond 16 months, then there will be a cost impact.

The estimate of probable construction cost for the Phase 1 project is \$3,168,328. This cost has been escalated out to the third quarter of 2026 at 6% per year. The estimate of probable soft cost is \$1,579,128 for an estimate of probable project cost of \$4,747,457. These costs include all the work in the immediate needs option.

The estimate of probable construction cost for the Master Plan is \$10,687,798. This cost has been escalated out to the third quarter of 2028 at 6% per year. The estimate of probable soft cost is \$4,359,870 for an estimate of probable project cost of \$15,047,668. These costs include all the work in the Immediate needs option and Intermediate Option. There are some portions of the Intermediate option work, which will be demolished in the Master Plan such as the new entry vestibule and entry canopy extension.

Refer to Section 8.0 for the detailed cost estimate.

### **SCHEDULE**

Due to the project being broken up into three different options with multiple intermediate steps or phases and since no funding source has been determined, a project schedule has not been developed. With that said the construction duration of the Intermediate Option is estimated to be 12 months and the duration of the Master Plan is estimated to be 14 months. Keep in mind the Master Plan includes all work in Intermediate Option. The design process through bidding will have a duration of approximately 12 months for the Master Plan and approximately 10 months for the Intermediate Option.

## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

### RECOMMENDED MASTER PLAN

2.0

#### INTRODUCTION

This project has been developed to allow the work to be completed as money becomes available or in bigger chunks or all at once. Ultimately, all items complete would be done so with a focus on the ultimate Master Plan vision.

#### IMMEDIATE NEEDS

The goal of this option was to develop a laundry list of items to be upgraded/replaced such that when money becomes available an item or items can be completed based on level of priority. It is the intent of the Master Plan that a high percentage of the items noted would not be changed if the Master Plan project was complete. As an example, if it was decided to replace the existing roofing the color and material used would be selected based on the Master Plan.

#### INTERMEDIATE OPTION

The goal of this phase is to remodel the existing building to improve its function and expand programs while keeping the vision of the Master Plan. The remodel effort is also seen as a low cost first step to a complete transformation of the existing facility to create a welcoming community venue that becomes a hub of activity.

The plans presented include Phase 1 and 2 to reduce the overall impact of construction on the facilities' use. Phase 1 includes moving the Computer Classroom to the south, which eliminates the two staff toilets and locker alcove and west end of the main corridor. The wall between the existing Computer Classroom and Game Room will be removed to increase the space/capacity of the Game Room. To improve an existing issue at the west end of the main corridor the project will extend the existing short corridor to the existing Game Room to the north to create a more direct exit through the existing courtyard. The Beyond the Bell room will also be restricted to a maximum of 50 occupants since the exit to the north through the locker alcove has been eliminated.

The Ball Room will be upgraded with a new ceiling, lighting, divider walls and finishes.

Phase 2 will include creating a larger lobby/waiting area by adding new all glass vestibule under the existing canopy and a reconfiguration of the reception area. The Kitchen and Pantry will be remodeled to reduce the overall space to become a catering kitchen instead of a full-service kitchen. This will allow the administrative space to grow into the existing Pantry.

Along with the new vestibule the existing canopy will be extended south to increase its presence on the south side of the building. The canopy will also have new columns added. A larger entry plaza will be created to enhance the entry sequence, creating a gathering space

## WASHINGTON FRUIT COMMUNITY CENTER

### Master Plan

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## RECOMMENDED MASTER PLAN

## 2.1

before events, and extending the plaza out to the new drop off for family members to the east.

Refer to Pages 2.3, 2.4, 2.5, and 2.6 for a complete set of floor plans, site plan and rendering.

### MASTER PLAN

The Master Plan incorporates all the Immediate Needs and the Intermediate Option scope while taking this facility to a whole new level by adding a new Main Entry, Living Room, Reception, Gymnasium, Dance Studio, and additional space for Administration. The Living Room becomes the life of the facility with a direct connection to the Gym, Dance Studio, Beyond the Bell, and Ball Room. The expansion also includes new restrooms and other support facilities. To create a strong link between the existing building and the new main entry a wide corridor extends north from the Living Room directly into the Ball Room. This change will require the relocation of the existing main electrical gear. This allows an opportunity to move the electrical gear to a location that allows expanding the electrical service size to accommodate the expansion of the facility.

One of the key elements of the Master Plan was to activate the use of Miller Park and create a strong connection between Miller Park and Washington Fruit Community Center. To do this the new entry has been moved to the south with a large entry canopy with a stronger presence on the south side and extending to the east to address North 4<sup>th</sup> Street. An entry plaza will extend from North 4<sup>th</sup> Street at the family drop off to Miller Park. This will allow easy and secure access for programs that will utilize the Community Center and Park.

The existing courtyard to the north will be updated to eliminate the raised gardens. A new space will be created for community gardens east of the existing building. This will create a more functional space and make it visible to the community. The space will be fenced in with a four-foot-high fence.

The exterior conceptual renderings illustrate a simple building with strong forms and very little detail. The detail appears at the canopy columns and structure. At the existing building the renderings show the removal of all the wing walls and parapets around the sloped roofs. This helps simplify each form and eliminates areas of potential water intrusion.

The gymnasium addition will be constructed with CMU exterior walls with open web steel joist and light gauge metal deck for the roof structure. The exterior skin will be Hardie panel siding with a large graphic on the south side facing the park. The roofing will be single ply TPO membrane.

The new main entry and dance studio will have wood framed walls and roof structure. The main entry will be finished with stucco. The dance studio roof will be sloped similar to the existing facility with metal roofing.

## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

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### RECOMMENDED MASTER PLAN

### 2.2

The existing building is 10,660 square feet and the proposed remodel and expansion is programmed at 23,056 square feet. The new gymnasium is sized at 5,400 square feet, which is the typical size of an elementary school gym. The new dance studio is sized at 1,300 square feet, the expanded game room is 1,580 sf, the large classroom is 800 sf, and the small classroom/computer room is 450 sf.

The conceptual site plan calls for eliminating most of the existing southern parking lot to make space for the south expansion of the building. A new parking lot is created in what remains of the existing parking lot and one of the outdoor basketball courts. The new parking lot has 15 parking stalls including 6 ADA stalls. Based on the square footage spaces being provided, 198 parking stalls are needed for this facility. In our conversation with city planning, they agreed that sharing parking with Champions Centre Church and utilizing the on-street parking is acceptable. An Administrative Adjustment will be required.

To achieve the total required parking stalls in the following lots/areas are proposed:

- Southern on-site lot – 15 parking stalls includes 6 ADA
- Diagonal parking at the basketball courts on west side of N 4<sup>th</sup> – 19 parking stalls
- Parallel parking spaces along east side of N 4<sup>th</sup> Street – 7 parking stalls
- The Champions Centre Church parking across N 4<sup>th</sup> Street – 168 parking stalls (this utilizes the north portion of the parking lot that is currently gravel)
- **Total Available Stalls - 209 Parking Stalls**

As an alternate to the full Master Plan, plans are included which allow the Master Plan to be accomplished in two phases. The Gym addition, which is a priority for additional programming offerings, is developed in the initial alternative plan Phase 3. Phase 4 Alternative Plan delays the Dance Studio addition and expansion of the Administration space until a later time.

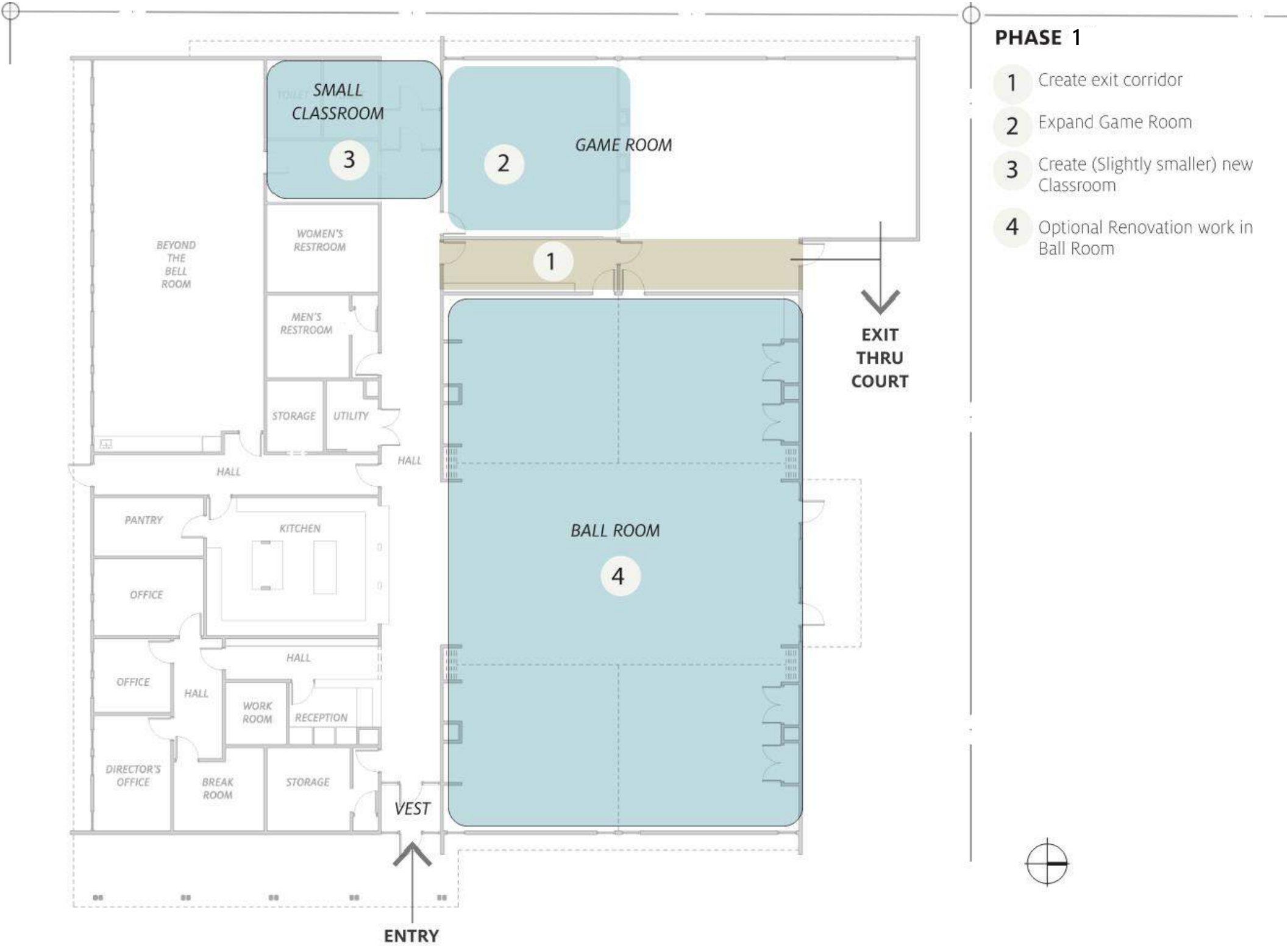
Refer to Pages 2.7 - 2.13 for a complete set of floor plans, site plans, and renderings.

For initial options explored during the Master Plan Process see the Appendix in Section 9.0.

WASHINGTON FRUIT COMMUNITY CENTER  
Master Plan

RECOMMENDED MASTER PLAN - INTERMEDIATE OPTION FLOOR PLAN PHASE 1

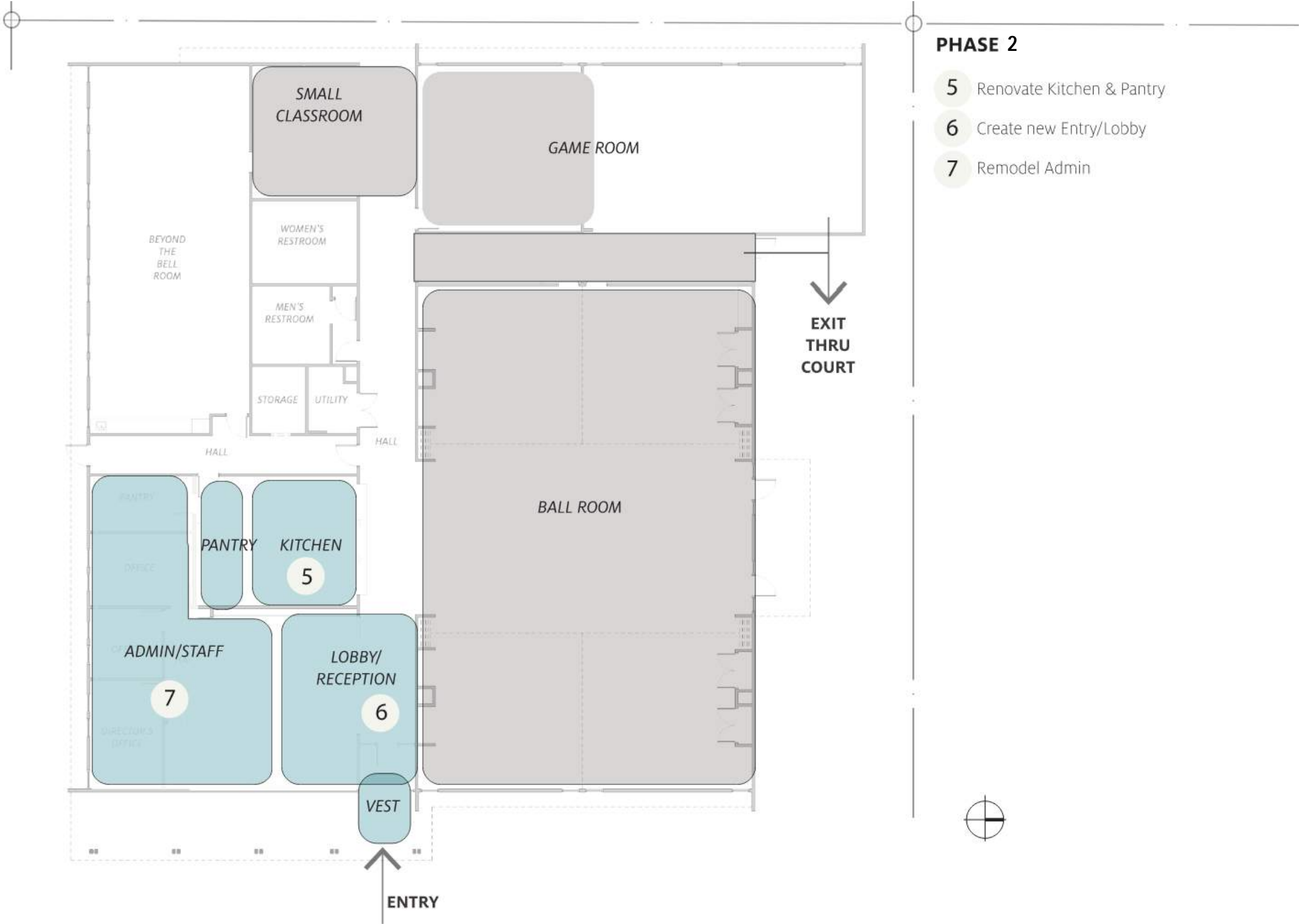
2.3



WASHINGTON FRUIT COMMUNITY CENTER  
Master Plan

RECOMMENDED MASTER PLAN – INTERMEDIATE OPTION FLOOR PLAN PHASE 2

2.4





# WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

## RECOMMENDED MASTER PLAN – INTERMEDIATE OPTION SITE PLAN PHASE 2

2.5





# WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

## RECOMMENDED MASTER PLAN – INTERMEDIATE OPTION CONCEPTUAL RENDERING

2.6



WASHINGTON FRUIT COMMUNITY CENTER  
Master Plan

RECOMMENDED MASTER PLAN

2.7





# WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

## RECOMMENDED MASTER PLAN - SITE DEVELOPMENT PLAN

2.8





# WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

## RECOMMENDED MASTER PLAN - EXTERIOR RENDERING FROM SOUTHEAST

2.9





**WASHINGTON FRUIT COMMUNITY CENTER**  
Master Plan

**RECOMMENDED MASTER PLAN - EXTERIOR RENDERING FROM THE EAST**

**2.10**



WASHINGTON FRUIT COMMUNITY CENTER  
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RECOMMENDED MASTER PLAN - MASTER PLAN PHASE 3

2.11





WASHINGTON FRUIT COMMUNITY CENTER  
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RECOMMENDED MASTER PLAN - MASTER PLAN PHASE 4

2.12





# WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

## RECOMMENDED MASTER PLAN - ENTRY PLAZA SITE PLAN PHASE 3

2.13



## WASHINGTON FRUIT COMMUNITY CENTER

### Master Plan

## COMMUNITY OUTREACH & VISIONING

## 3.0

### INTRODUCTION

A Master Plan is only as good as the information it's based on. For a community center, the information that drives the facility design from a programming level is what does the community want to see in their facility. For Washington Fruit Community Center, this is especially important as there were limited programs in the past and new programs that have been started. In order to learn what those who do not currently use the center would like to see, or what features might entice them to use the facility, a robust community outreach program was required.

### EVENTS

The first event was a Listening Session with tours of the existing facility held on June 14, 2021. Most of the attendees were agencies that provide programming.

The second event was also an open house that included food and sign ups for programs being offered. This event was well attended and the KDA team gathered input on the facility needs from over two dozen people. Our conclusion from what we heard is as follows:

1. Gym
2. Teaching kitchen
3. Arts & Crafts space
4. Living room (fish tank)
5. Raise the roof on the banquet room
6. More parking including handicap parking
7. Connection to the park
8. Exterior plaza (connected to the park)
9. Vending machines

### SURVEY

The survey was distributed at each public event and made available online. The survey included questions about if the respondent has participated in programs at the Center, and if yes, what programs. Respondents were also asked to select the top five programs and services they would consider using at the Center. Additionally, what would keep them from participating in programs or services. Lastly, they were asked demographic information.

### RESULTS

A total of 44 responses were received. See appendix in Section 9 for the survey data and responses.

These responses and their respective rankings were referenced and utilized to create the building program for the facility as we continued to develop the master plan options.

## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

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### FACILITY ASSESSMENT

### 4.0.1

#### ASSESSMENT OVERVIEW

A building walk-through and meeting with Ryan Pharmer, Coffman Engineers and Randy Pitney from the City of Yakima was conducted on December 10, 2019. The intent of this structural, mechanical, and electrical assessment is to provide a general review of the types of systems in the building and provide some general comment regarding their current condition. The intent is also to provide some summary information that may be useful to the Owner for future facility planning.

The property visited at 602 N. 4<sup>th</sup> St., Yakima, Washington is a community center facility including a kitchen, classrooms, gathering area (currently used for Yakima Police Athletics League workout training) and other support spaces. The building is approximately 10,450 square feet. The building was constructed in the early 1970's, an addition expanding the building to the west was completed in the mid to late 1970's, and an addition expanding the building to the south was completed in the early 1990's. Minor renovations to replace the exterior siding, modify a staff lounge to be two ADA restrooms, and replace carpet and lighting throughout classrooms and commons spaces have occurred over the last 5 years.

This condition assessment is based on visual review of readily accessible areas only and discussions with Randy Pitney. City provided scans of record drawings were reviewed for general system understanding. Calculations have not been performed as part of this assessment. Finishes were not removed to view the condition or existence of any elements not readily visible.

This assessment is split up into multiple sections based on the specific discipline being discussed. The sections discussed are as follows: Architectural Assessment, Structural Assessment, Mechanical Assessment, and Electrical Assessment.



**WASHINGTON FRUIT COMMUNITY CENTER**

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**FACILITY ASSESSMENT – ARCHITECTURAL SYSTEMS****4.1.1****ARCHITECTURAL SYSTEMS:****EXTERIOR CONDITION**

The building has two types of roofing, asphalt composition shingles and built-up roofing. The portions of the building clad with composition shingles are showing signs of aging such as slight curling at edges, sluffing of ceramic granules (collecting on low slope built-up roofing areas), and numerous areas of missing shingles (See Photo 1-2).



Photo 1 - Granules



Photo 2 - Missing Shingles

The low-slope built-up roofing areas are showing signs of aging. It was noted in discussions with Randy on site that the low-slope areas have areas of leaking that have been addressed over time. Concerning details were observed in transitions between the two roofing materials, scuppers, counter flashings, and roof drains in the built-up roofing areas. Additionally, the center section of the built-up roof area containing mechanical units is showing signs of inadequate slope for proper drainage. Some areas at the perimeter of the roof, transitioning from asphalt composition shingles to built-up roof gutter area are showing signs of poor drainage and water backing up (dirt staining on shingles).



Photo 3 - Poorly Detailed Roof Drain



Photo 4 - Standing Water @ Built-Up Roofing



## WASHINGTON FRUIT COMMUNITY CENTER

### Master Plan

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## FACILITY ASSESSMENT – ARCHITECTURAL SYSTEMS

### 4.1.2

It is recommended that the building be reroofed entirely with all problem areas including, roof drains, scuppers, roofing type transitions, and counter-flashings installed per manufacturer recommendations.

Seals on the exposed ductwork on the roof appear to be failing presenting the opportunity for water intrusion into the ductwork. These issues should be addressed as soon as possible to prevent damage to the building and systems.

Natural gas piping in some areas on the roof appears to be inadequately supported/braced.

Some roof drain outlets on the exterior of the building were note equipped with downspouts to divert the water from the roof to the ground away from the building. It is recommended to install downspouts at the roof drain outlets.

The exterior wall cladding is fiber cement lap siding and appears to be recently installed and is in good condition.

The windows in the facility are typically newer vinyl style and appear to be in good condition. The main entry windows and door assembly are aluminum storefront and appear to be recently installed and in good working order. The rear entry/exit door/window assembly is an older storefront system and is arranged in a vestibule style configuration with the interior door having a double cylinder lock. This door is signed with a placard noting “this door to remain unlocked during working hours” per the building code. A double cylinder lock on this door presents a potential life safety issue if the door is not unlocked during building occupancy. The slope of the flatwork leading to the public way from this door exceeds 1:12 slope and does not meet ADA code. Additionally, a chain-link security fence equipped with a chain and padlock restrict egress to the public way through the exterior door. This presents a potential fire hazard to occupants utilizing this exit. It is recommended that this exit be eliminated if allowable per code or that the slope and chain-link gate be revised to allow barrier free egress to the public way.

Some miscellaneous doors throughout the facility are equipped with doorknobs. These do not comply with current ADA code as they require pinching, grasping, or clasping to operate and should be replaced with levers to provide barrier free access. Additionally, the exit door leading to the exterior from the classroom space is equipped with a deadbolt. This does not meet building code regulations as it requires more than one operation to exit.

The egress doors leading from the boxing gym area lead onto an exterior patio area enclosed by a chain-link fence, secured by a fork latch which could be locked with a pad lock restricting fire egress from the exterior courtyard. There also, is not a paved accessible route to the public way leading from the exterior courtyard. It is recommended that the latch on this gate be equipped with panic hardware to allow unrestricted egress from the courtyard and that a paved accessible route leading from the exterior courtyard to the public way be installed.

## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

### FACILITY ASSESSMENT – ARCHITECTURAL SYSTEMS

#### 4.1.3

The flatwork around the building is in fair condition with some areas showing signs of settlement and some areas with excessive slope that does not meet ADA requirements.



Photo 5 – Excessive Slope @ Egress Door



Photo 6 – Gate with Fork Latch @ Courtyard

#### ACCESSIBILITY (ADA)

The accessible pathway from the parking lot areas appear to meet current accessibility code from the parking stalls into the building, and (1) signed ADA parking stall is present. With the current count of 22 parking stalls, (1) handicapped parking stall must be provided in the lot serving the facility. While the number of stalls provided is adequate, the dimensions of the stall are not per ADA regulations (the stall is larger than required) and the painted handicapped symbol is not present on the asphalt. An additional (2) handicapped stalls are provided in the public way via on street parking but are not connected to the accessible route via hard surface pathway. It is recommended that the existing ADA stall in the off-street parking lot be restriped to meet current code and that additional ADA stalls be striped on-street and provided with access to the accessible route to the building.

The interior of the building is generally barrier free with the following exceptions: doorknobs on some doors, adequate maneuverability clearance is not provided in the kitchen space or the work room in the office, the transaction counter at the main office is too tall, sinks in built-in cabinetry appear to be taller than 34" to the rim of the sink, only (1) drinking fountain is provided and it appears to be too tall for handicapped access, the AED device appears to be mounted above 48" AFF to the operable parts, and surface material/slopes in and out of the building from doors other than the main entry are not adequate to meet accessibility standards. Toilets all appear to be recently renovated and appear to be ADA compliant.

#### BUILDING CODE

The facility is approximately 10,400 square feet as currently configured. The primary usage appears to be a Group A-3 Occupancy (Community Center). The construction type of this facility is a Type V-A (wood construction) and the facility is not equipped with a fire alarm or fire sprinkler system. With these assumptions, the current facility is allowed to be approximately 16,120 square feet by current building code without the installation of a fire sprinkler system.

## WASHINGTON FRUIT COMMUNITY CENTER

### Master Plan

#### FACILITY ASSESSMENT – ARCHITECTURAL SYSTEMS

#### 4.1.4

Due to the usage of the building as a boxing gym space, the occupant load (412 Occupants) is larger than allowed in a fire area for a Group A-3 building (300 Occupants) which triggers the need for a fire sprinkler system. It is recommended that any modification affecting life safety elements should include the addition of a fire sprinkler and fire alarm system to the facility. The assumption that the building meets the V-A type of construction requirements should be validated as well. The existing documents available do not provide sufficient information to confirm the type of construction of the existing facility.

#### INTERIOR CONDITION

The interior finishes of the facility vary in their age. Carpeting throughout the facility has been recently replaced and is in good condition. Finishes in the restrooms are in good condition and have been recently replaced. Casework throughout the facility is in need of repair or full replacement depending on the severity of the damage. The great room/boxing gym area is equipped with parquet wood flooring that appears to be in moderately good condition and could be repaired and refinished, but wood flooring is not the best choice for this type of activity. If boxing is to continue to be the main activity in this space, it is recommended to change the flooring material to a rubberized athletic flooring.



Photo 7 – Casework in Poor Repair



Photo 8 – Casework in Poor Repair

Light fixtures throughout the facility vary greatly. It appears that the fixtures are being replaced over time as funds become available. It is recommended to replace all fixtures in the facility to reduce energy costs and maintenance efforts.

## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

### FACILITY ASSESSMENT – ARCHITECTURAL SYSTEMS

### 4.1.5



Photo 9 – New LED Lights @ Meeting Room



Photo 10 – Replacement Light Fixture Over Can Light

The paint on the interior of the building is in good condition in spaces that have been recently remodeled, but repainting is needed in spaces that have not been remodeled.

The ceilings in the facility are in good condition but for the areas showing signs of roof leaks and water damage such as the main entry of the boxing gym and in the main entry corridor.



Photo 11 – Water Damage @ Corridor



Photo 12 – Water Damage @ Boxing Gym Entry

The ceiling/lighting layout in the boxing gym appears to be appropriate for a great room/conference room usage. Punching bags for the boxing gym are currently being suspended from the overhead tracking system for the old room divider panels. If the space is to continue as a boxing gym, a revised ceiling layout and structure designed to support the program specific equipment is recommended to facilitate the activities in the space.



**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**FACILITY ASSESSMENT – ARCHITECTURAL SYSTEMS****4.1.6**

Photo 13 – Low Ceiling @ Boxing Ring



Photo 14 – Parquet Flooring @ Boxing Gym

**FUTURE EXPANSION**

The current facility is adequately served by toilets and sinks. By current plumbing code, with the maximum occupancy of 412, 2 toilets for men and 3 toilets for women are required (assuming an A-4 occupancy classification). There are 8 toilets/urinals provided in the facility. The current fixture count allows the building to be expanded to add an additional 108 occupants without requiring additional plumbing fixtures being added. Depending on the configuration, additional exits may be required.

As noted previously, any additional occupant load will require a fire sprinkler and alarm system be installed in the facility.

Parking is a concern with the existing facility. The Yakima Municipal Code Table 6-1 calls for 1 parking stall per 100 gross square feet of building area or 104 stalls. The parking lot serving the facility, shared by the neighboring park and the community center, provides 22 stalls. Street parking on roads abutting the facility provide an additional 28 stalls for a total of 50 stalls. It is likely that when the park is in use, and the community center is open, insufficient parking is available. Further study is needed to determine the maximum parking load required for this parking lot based on the planned use of the park and community center. Any expansion planned for the community center facility should be factored into this evaluation and planning as well.

**ARCHITECTURAL SUMMARY**

Given the age of the building, the deficiencies noted above (accessibility concerns, age and deterioration concerns, expansion concerns, programmatic goals related to the current facility's capacity), as well as the challenges in expansion and renovation/repurposing of the existing building, we recommend a renovation of the existing building to address the deficiencies noted in the report. Expansion of the existing parking lot should be considered as part of this project as well.

## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

### FACILITY ASSESSMENT - STRUCTURAL SYSTEMS

#### 4.2.1

#### STRUCTURAL OVERVIEW

The building structure is a single-story wood building consisting of roof trusses and 2x roof framing, wood stud walls on continuous concrete stem walls and strip footings, and slab on grade for the floor. Each element of the building will be discussed in the following report.

#### ROOF STRUCTURE

The roof of the community center over the classrooms and great room has a series of monosloping press plate roof trusses with approximate slope of 4:12. Over the corridors the framing appears to be 2x flat framing with mechanical units sitting on the flat roof framing. From the existing drawings it appears there is a layer of plywood over the entire roof to create the roof diaphragm. The roof framing is supported by a series of glu-lam beams and exterior bearing walls.



Photo 1 - Typical Truss Roof

Overall, the roof framing appears to be in good condition. Due to the various roof slopes a series of valleys are created at the intersection of the flat roof and sloped roof sections. The flat roof sections do not have any cricketing/sloping to help with drainage and because of the lack of drainage, standing water was observed on top of the flat roof sections. It appears the roofing material may be leaking at the flat roof area as there were indications of water intrusion as

**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**FACILITY ASSESSMENT - STRUCTURAL SYSTEMS****4.2.2**

indicated by the staining of the ceiling tiles. Asphalt tile shingles make up the roofing over the truss portions of the roof, there were some signs of curling and a few missing shingles in places. The shingles appear to be performing adequately overall. The 2x roof joists were not exposed and should be exposed to check for any signs of rot/water damage.



Photo 2 - Water Damage to Ceiling Tiles



Photo 3 - Standing Water on Roof

**WALLS AND FOUNDATION**

The exterior walls appear to be 2x4 stud walls sheathed with plywood to provide lateral resistance for the building. Per the existing drawings the sill plates were anchored to the concrete foundation with ½" diameter anchor bolts, but it does not appear any holdowns were installed.

No signs of excessive settling were observed, and the exterior siding appears to be a combination of Hardie Board type and T1-11 siding. The siding appears to be in good condition.

The east entrance to the building has a flat roof canopy over the sidewalk that is supported by a series of beams and built-up columns which consist of (2) 4x6's spaced approximately 4" apart. Downspouts were installed between the 4x6's and at these locations water appears to be collecting at the bottoms of the 4x6's and minor wicking/rot has developed at the bottom of the columns.

**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**FACILITY ASSESSMENT - STRUCTURAL SYSTEMS****4.2.3**

Photo 4 - Water Collection at Base of Columns

The foundation of the building consists of continuous 6" strip footings with a 1' wide strip footing with pad footings at column locations. The exposed stem walls appear to be in good condition as there were not any signs of significant weathering or spalling. The stem walls appear to extend past the adjacent grade approximately 6". The adjacent grade at the west edge of the building is approximately at the bottom of the siding, possibly up to the sill plate.



Photo 5 - High Grade at West Wall





## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

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### FACILITY ASSESSMENT - STRUCTURAL SYSTEMS

### 4.2.4

The slab on grade was covered with carpet in most areas. The floor appeared to be even in most places and instances of differential settlement were not observed.

#### OVERALL STRUCTURAL CONDITION

Most of the building structure was covered and was not able to be observed. In areas that were observed, the overall condition of the building structure appeared to be good. Issues with water damage were localized and did not appear to be indicative of widespread concerns. Some minor repairs should be completed to promote long term structural longevity, including replacement of the asphalt shingle roof, and at the flat roof areas the waterproof membrane should be repaired, and crickets/sloping should be installed to prevent further water intrusion. Waterproofing around the downspouts should be provided and downspout should have extensions installed. Exterior grade should be removed from against the sill plates and should be sloped away from the building.

#### PROVISIONS FOR A SECOND FLOOR

Due to the roof being framed with mostly monoslope trusses, the trusses would need to be removed and floor joists would need to be installed to create the second floor. The existing beams were most likely not sized for the additional load of adding a second floor and would need to be replaced or reinforced to support the second floor. The 2x4 bearing walls would need to be reinforced for the additional load and the foundation would need to be analyzed to determine if there is adequate bearing capacity. Adding a second floor may be difficult to accomplish without extensive upgrades and engineering.

**WASHINGTON FRUIT COMMUNITY CENTER**

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**FACILITY ASSESSMENT - MECHANICAL SYSTEMS****4.3.1****PLUMBING**

The domestic water piping serving the building is comprised of galvanized steel piping buried under the slab, copper piping, and PEX plastic piping. The galvanized water main runs under the building and daylights in the janitor's closet where it passes through a backflow preventor before serving the rest of the building. Some of the newer areas of the building have been piped with copper and PEX piping that is visible in the janitor's closet. Galvanized water pipes have a life expectancy between 30 and 60 years, depending on water quality. The existing galvanized pipes are around 50 years old and should be considered for replacement in the near future.



Photo 1 - Domestic water backflow preventor located in the Janitor's closet.

## WASHINGTON FRUIT COMMUNITY CENTER

### Master Plan

## FACILITY ASSESSMENT - MECHANICAL SYSTEMS

### 4.3.2

The building domestic hot water is served by two natural gas tank hot water heaters manufactured in 2006 and 2009 respectively. Both tanks appeared to be in working order at the time of our observation but are ending their useful life and should be considered for replacement in the near future.

The sanitary sewer system was not inspected during this assessment and no known issues were gathered from the staff during our walkthrough. From existing building drawings, it appears that sanitary piping under the building slab is cast iron and sanitary piping running outside the building is concrete.

Sinks in the multipurpose room have the water turned off as they are no longer needed. The cold-water supply feeding these sinks is underground piping. The waste lines for these sinks are still connected to the building waste system. If no water is poured down these sink waste traps frequently, the traps could dry out and sewer gasses would be able to enter the building. The waste lines for these sinks should be capped at the wall and the sinks removed. The existing water lines are acceptable to cap at the wall or further back in the system.

Existing drawings show that a 16" irrigation main runs along the south foundation wall of the property. This line may or may not be active but should be of note when considering future projects around this area.

Roof drainage appears to be a combination of scupper drains, gutters, and piped roof drains leading to drywells. No drywells were observed during the assessment, but existing facility drawings show the drywells on the property. Multiple areas of the flat roof appear to have standing water and water damage was observed at ceilings in the building indicating that the roof is leaking.

Natural gas piping was observed on the roof serving the HVAC equipment as well as in the kitchen, and attic serving the domestic hot water and furnaces. The piping is black steel and appears to be in fine condition. The natural gas meter is located on the south exterior wall of the building.

## HEATING, VENTILATING AND AIR CONDITIONING SYSTEMS

The building is served by multiple air handling units and furnaces. There are four package air handlers on the roof that have gas heater and DX cooling. These four rooftop units are located on the flat portion of the roof and are difficult to access for maintenance. They appear to be 10-15 years old and are nearing the end of their useful life. The surrounding roof structure encloses the units making them difficult to walk around and maintain. The filter housings for the units have been modified and are not easily accessible. The duct wrap around the filter housings is no longer sealed and it appears water is entering the ductwork and/or insulation. Using inline filter housings in the return ductwork would allow the filters to be replaced without having to open up the RTU access panels that are blocked by insulation. It is advised that these



**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**FACILITY ASSESSMENT - MECHANICAL SYSTEMS****4.3.3**

units be replaced with new units located on an equipment pad in a location on the roof that provides easier access for maintenance.



Photo 2 - Rooftop air handling units are difficult to access on the flat section of roof.



Photo 3 - Access to air filter is blocked by duct insulation. Seam between air handler and duct insulation is not watertight.

Multiple furnaces with DX cooling coils are in the attic. These units have condensing units sitting on the roof for cooling. The furnaces are past their useful life expectancy and have

**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**FACILITY ASSESSMENT - MECHANICAL SYSTEMS****4.3.4**

damper systems that no longer function. All of the systems have electric air filters that are no longer functioning, but media type air filters are being utilized. These furnaces should be replaced with new high efficiency units.

The exhaust flues serving the furnaces in the attic and the domestic hot water heaters appear to be in acceptable condition. The guy wires supporting the exhaust flues have been disconnected from the roof cap and no longer support the flues. These guy wires are supposed to support the flues in windy conditions and also from sliding snow on the roof.



Photo 4 - Guy wires for the furnace and water heater flues have been disconnected from the roof cap.

The kitchen is served by an exhaust hood over the cooking equipment and a makeup air unit. The hood exhaust fan and makeup air unit are located on the roof. The makeup air unit is equipped with a direct fire natural gas heating unit for tempering the makeup air in the winter. The hood appears to be in good condition and has been maintained. The makeup air unit and exhaust fan on the roof were off during out observation but appeared to be in working order.

**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**FACILITY ASSESSMENT - MECHANICAL SYSTEMS****4.3.5**

Photo 5 - Kitchen hood exhaust fan and makeup air unit on roof.

Multiple exhaust fans located on the roof appear to be abandoned or not functional. One of these exhaust fans used to serve the kiln that has been removed from the building. Abandoned exhaust fans should be removed with the electrical service being capped and roof penetration sealed properly. Any exhaust fans that have failed should be replaced to provide proper ventilation in spaces requiring it, such as restrooms.

**MECHANICAL SYSTEMS SUMMARY**

Overall the mechanical systems appear to be functional but aged. Much of the HVAC equipment is based the recommended life expectancy and should be considered for replacement. New HVAC equipment will be more energy efficient and require less maintenance than the aging equipment. The placement of HVAC units is not ideal (particularly when the roof as snow on it) and makes maintenance difficult which may lead to preventative maintenance being skipped due to difficult working conditions. A new location for HVAC units with easier access is recommended.

The plumbing systems appear to be functional but are ending their useful life as well. Maintenance needs of the aging lines may increase and the potential for major leaks is also increasing. In the future, replacement of sanitary and domestic water lines will need to be considered.



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**FACILITY ASSESSMENT - ELECTRICAL SYSTEMS****4.4.1****POWER DISTRIBUTION**

Electrical service is provided to the building at 208/120 Volts, 3-phase, by Pacific Power via three pole mounted utility transformers located on a pole in the alley west of the building. The service conductors' route down the utility pole and underground to the building. The original service gear was installed in the 1970's. The service gear has a 1200A, 3-phase main disconnect mounted on the western exterior wall of the building. From the disconnect (3) 4"C are running over head through the attic space to the main switchboard location in the center of the building. The switchboard provides overcurrent protection for (4) 208/120 volt, 1-phase branch circuit panelboards (3) of the circuit breaker are rated for 175A and (1) is rated at 200A. All the distribution panels are original and in working condition but are beyond the manufacturer's end of useful life. This designation means that it might be difficult to find replacement parts as failures occur.

**BRANCH CIRCUITRY**

The branch circuit system is comprised of EMT conduit and wire that appears to be in good condition. the receptacles located in areas susceptible to water do not have GFCI protection which is required by the National Electrical Code. We recommend replacing all the receptacles located in area susceptible to water be replaced with GFCI rated receptacles or the entire circuit be protected by a GFCI rated circuit breaker. The latest national electrical code required all receptacles located in a kitchen shall have GFCI protection.

During our observation it was noticed that during previous renovations some possibly abandoned wire were cut and left uncapped in existing junction boxes. We would recommend the complete removal of abandoned wires but at a minimum they should be capped.



Photo 1 – GFCI Outlets Missing



Photo 2 – Open Junction Box

**LIGHTING SYSTEMS**

The majority of the interior lighting is comprised mainly of fluorescent lamp sources via surface mount cylinders luminaires, wrap around strip luminaires. Currently the surface cylinders are installed with (2) twist tube lamps and the wrap around luminaire with T8 lamps. These lamp

## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

### FACILITY ASSESSMENT - ELECTRICAL SYSTEMS

#### 4.4.2

sources are still widely used but are being phased out because they are less efficient than newer LED luminaires and fluorescent lamp also contain mercury which make disposal of lamp more difficult. It is recommended to change out the current luminaire to a LED version to help save energy. Most of the building contains line voltage toggle switch manual controls which does not meet the current energy code, as adopted by the state of Washington. Therefore, in the event of a remodel, these controls would need to be updated to include occupancy and daylight sensors to meet current code. There appears to be no emergency egress lighting in the building besides one battery backed bug-eye luminaire by the main entry. The building is currently going through a phased remodel and in these areas, the original luminaires have been upgraded to LED lay-in grid luminaires.



Photo 3 – Existing T8 Light Fixtures

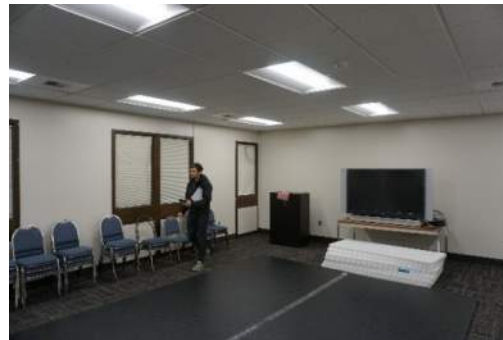


Photo 4 – New Upgraded LED Light Fixtures

The exterior lighting of the facility is comprised of flush mounted soffit lighting around the perimeter of the building with surface mounted flood lights over each entrance. The parking lot next to the building is only served by (1) luminaire. Based on the parking lot layout and the location of the luminaire we do not feel that appropriate lighting levels will be met from the ADA stall to the front entrance. Our site observation took place during daylight hours so exterior light levels could not be measured. We recommend that exterior luminaires be replaced with LED luminaires to help save energy consumption to meet the energy code requirements. The exterior lighting controls are comprised of a pneumatic time clock, contactors and photocell.

## WASHINGTON FRUIT COMMUNITY CENTER

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### FACILITY ASSESSMENT - ELECTRICAL SYSTEMS

### 4.4.3



Photo 5 – ADA Parking Stall with Inadequate Lighting

#### FIRE ALARM SYSTEM

Currently the building is not equipped with a fire alarm system, however there are spot standalone smoke detection devices that have been added in the mechanical rooms and the main open area where boxing/wrestling training occurs. The building does not have any fire alarm notification devices. The kitchen type one hood has a standalone manual activation Ansul fire suppression system which is required by code, but the system is outdated and should have automatic activation features. The equipment located under the hood didn't appear to have a contactor or shunt-trip mechanism to kill power to these devices upon activation of the suppression system.



Photo 6 – ANSUL System @ Kitchen



Photo 7 – ANSUL System Manual Activation Station

**WASHINGTON FRUIT COMMUNITY CENTER**

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**FACILITY ASSESSMENT - ELECTRICAL SYSTEMS****4.4.4**

Based on the building occupancy classification of the facility, a fire alarm system should be installed in the facility. It is recommended that a new addressable fire alarm system that includes both activation and notification devices be installed throughout the facility

**COMMUNICATION SYSTEM**

An underground copper telephone service is provided to the facility from a utility pole located in the ally west of the building. The original phone outlets in the building appear to be still fed from this service. In most areas these copper services have become obsolete and have been replaced by fiber services.

In a recent renovation a high-speed satellite/airpipe internet system was added on the roof of the facility and serve a data cabinet located in the main classroom. The new data cabinet serves data outlets and wireless access points located in the newly renovated classrooms. We can not determine at this time if this service has enough band width to provide adequate high-speed capabilities to the entire facility.



Photo 8 – Data Cabinet @ Classroom



Photo 9 – Satellite/Airpipe Internet System



## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

### BUILDING SYSTEMS DESCRIPTION

### 5.0.0

#### GENERAL OVERVIEW

The property is located at 602 N. 4th St., Yakima, Washington and is an existing community center facility including a kitchen, classrooms, gathering area (currently used for various programs including dance, workout training, arts/crafts, and banquets), and other support spaces. The building was constructed in the early 1970's and an addition was completed in the mid to late 1970's. The building has had other minor remodels over the years including a recent effort to upgrade some lighting and finishes as the city of Yakima took over operations of the facility.

This master plan will evaluate three design options for the facility including a minimalistic option, medium option, and grand option as detailed below:

- **Immediate Needs:**
  - This option focuses on fixing current code deficiencies and upgrading the existing building where possible.
- **Intermediate Option:**
  - This option incorporates the minimalistic and evaluates some initial remodel projects that further enhance the facility for community use.
- **Master Plan:**
  - This option lays out the master vision for the facility for the next 20 to 30 years and builds on the proposed revisions from the Medium Option while including a building addition and complete renovation of the MEP systems.

This section is divided into separate sections each covering specific building systems. The sections are divided as noted below:

- 5.1 – Structural Systems
- 5.2 – Mechanical Systems
- 5.3 – Electrical Systems

**WASHINGTON FRUIT COMMUNITY CENTER**

## Master Plan

**STRUCTURAL SYSTEMS DESCRIPTION****5.1.1****GRAVITY SYSTEM**

- Immediate Needs
  - No work is anticipated structurally for the minimalist option. If replacement of existing RTUs or other equipment exceeds 105% of the existing equipment weight, gravity supporting system work may be needed. That work is anticipated to consist of new glu-lam beams and columns. Due to the uncertainty of the weight and location of these units, it's not possible at this time to project a ROM cost for this work.
- Intermediate Option
  - This option includes new beams and/or headers along the existing hallway bisecting the building in the east-west direction. These beams are needed at the new small conference room in Phase 1A and the revised lobby/reception space in Phase 1B where bearing walls along the south side of the hallway are proposed to be removed. This option includes all work needed for the minimalistic option detailed above.
- Master Plan
  - Gym Option 1 – Roof Structure:
    - The high roof structure for the gym will consist of a light gage steel roof deck supported on open web steel roof joists. The roof joists will be spaced at approximately 6'-0" on center. The roof joists will bear at the exterior on 10 or 12-inch CMU bearing walls. The joists will slope or will have double pitched top chords depending on the final direction for draining the roof. The depth of the steel joists will be selected to maximize member efficiency and cost while maintaining desired clearance below the roof structure for mechanical duct work and ceiling requirements.
  - Gym Option 2 – Roof Structure:
    - Another option for the gym structure would be to utilize plywood roof sheathing supported on open web wood joists spaced at 24-inch on center. The roof joists would bear on perimeter engineered wood stud walls sheathed with plywood sheathing. Studs would be 1.5x9.5 LVL members spaced at 24-inch on center to match roof joist spacing.
  - Remaining Addition Area – Roof Structure:
    - The low roof structure will consist of plywood roof sheathing supported on engineered wood open-web and/or I-type roof joists spaced at 24" on center. Wood and steel roof beams and wood stud bearing walls will be utilized at perimeter and interior joist bearing locations. The roof joist layout will be regular and will accommodate mechanical unit loads as needed. The depth of the joists will be

**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**STRUCTURAL SYSTEMS DESCRIPTION****5.1.2**

selected to maximize member efficiency and cost while maintaining desired clearance below the roof structure for mechanical duct work and ceiling requirements. Wood posts and steel columns will support the roof beams.

- Entire Addition (Gym & Other) – Ground Floor Structure:
  - The ground floor structure will be concrete slab on grade and will be placed on materials specified by the geotechnical report. Thickness will be 4" minimum. Slab thickness may increase if required to accommodate equipment, embedded items, radiant floor tubing, floating gym floor, or other requirements.
- Entire Addition (Gym & Other) – Foundation Structure:
  - The foundation structure will consist of continuous reinforced concrete footings and stem walls around the perimeter of the building with isolated concrete pad footings at column locations at the interior. Concrete stem walls will vary in thickness to accommodate exterior brick veneer and stucco finishes. All footings will be placed on prepared subgrade at a minimum depth of two feet below finished grade in accordance with the geotechnical report.

**LATERAL SYSTEM**

- Immediate Needs
  - No work is anticipated structurally for the minimalist option as the lateral system is not anticipated to be modified.
- Intermediate Option
  - Some plywood shear wall upgrade work may be needed with new hold-downs. Further analysis in future stages of design will be needed to determine the extent of shear wall modifications required for this project. Due to the uncertainty at this level of development, a ROM cost is not able to be provided.
- Master Plan
  - Gym Option 1 – Lateral System:
    - The lateral force resisting system at the gym will consist of a steel deck roof diaphragm. The roof diaphragm loads will be transmitted to the foundation through the gym perimeter CMU walls.
  - Gym Option 2- Lateral System:
    - Alternatively, the lateral force resisting system at the gym could consist of a wood plywood sheathing roof diaphragm. The roof diaphragm loads will be transmitted to the foundation through the gym perimeter wood stud shear walls.
  - Remaining Addition Area – Lateral System:

**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

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**STRUCTURAL SYSTEMS DESCRIPTION****5.1.3**

- The lateral force resisting system at the low roof portion of the addition will consist of a wood plywood sheathing roof diaphragm. The roof diaphragm loads will be transmitted to the foundation through perimeter wood stud shear walls and isolated interior wood stud shear walls. The interior shear walls (if needed) will be strategically placed to simplify the structural system and to allow maximum flexibility for possible future remodel or additions.



**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**MECHANICAL SYSTEMS DESCRIPTION****5.2.1****PLUMBING**

The domestic water piping serving the building is comprised of galvanized steel piping buried under the slab, copper piping, and PEX plastic piping. The galvanized water main runs under the building and daylight in the janitor's closet where it passes through a backflow preventor before serving the rest of the building. Some of the newer areas of the building have been piped with copper and PEX piping that is visible in the janitor's closet. Galvanized water pipes have a life expectancy between 30 and 60 years, depending on water quality. The existing galvanized pipes are around 50 years old and should be considered for replacement in the near future.

- Immediate Needs
  - Replace the water service to the building. A new service from the street or property line will be trenched to the building and enter the building below grade. A small portion of the slab inside the building will need to be removed. Once inside the building, the water main will be above slab for distribution through existing water piping.
    - Rough Order of Magnitude Cost: \$30,000
  - Replace the existing domestic hot water heaters.
    - Rough Order of Magnitude Cost: \$15,000
  - Cap sinks in multipurpose room.
    - Rough Order of Magnitude Cost: \$500
  - Allowance to replace/repair broken fixtures.
    - Rough Order of Magnitude Cost: \$7,000
- Intermediate Option – Includes all items in the Immediate Needs noted above and the following:
  - Minimal plumbing changes to support Phase 1A renovations.
    - Rough Order of Magnitude Cost: \$5,000
  - Plumbing changes to support Phase 1B renovations, including renovated kitchen.
    - Rough Order of Magnitude Cost: \$50,000
- Master Plan – Includes all items in the Immediate Needs and Phase 1 noted above and the following:
  - New plumbing to serve the new addition.
    - Rough Order of Magnitude Cost: \$350,000
  - Relocation of the existing water entry room and water heater to a new mechanical room to make room for the new entry.
    - Rough Order of Magnitude Cost: \$25,000

**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**MECHANICAL SYSTEMS DESCRIPTION****5.2.2****HEATING, VENTILATING AND AIR CONDITIONING SYSTEMS**

The building is served by multiple air handling units and furnaces. There are four package air handlers on the roof that have gas heat and DX cooling. They appear to be 10-15 years old and are nearing the end of their useful life. The duct wrap around the filter housings is no longer sealed and it appears water is entering the ductwork and/or insulation. It is advised that these units be replaced with new units located on an equipment pad in a location on the roof that provides easier access for maintenance.

Multiple furnaces with DX cooling coils are in the attic. These units have condensing units sitting on the roof for cooling. The furnaces are past their useful life expectancy and have damper systems that no longer function. These furnaces should be replaced with new high efficiency heat pump units.

The kitchen is served by an exhaust hood over the cooking equipment and a makeup air unit. The hood exhaust fan and makeup air unit are located on the roof. The makeup air unit is equipped with a direct fired natural gas heating unit for tempering the makeup air in the winter. The hood and makeup air unit should be replaced during a kitchen remodel.

Multiple exhaust fans located on the roof appear to be abandoned or not functional. Abandoned exhaust fans should be removed with the electrical service capped and roof penetration sealed properly. Any exhaust fans that have failed should be replaced to provide proper ventilation in spaces requiring it, such as restrooms.

- Immediate Needs
  - Replace all existing RTUs and repair exterior duct insulation.
    - Rough Order of Magnitude Cost: \$60,000
  - Replace all ducted furnaces with heat pump style units, reuse existing ducting.
    - Rough Order of Magnitude Cost: \$45,000
  - Remove abandoned exhaust fans and replace non-functional fans.
    - Rough Order of Magnitude Cost: \$5,000
- Intermediate Option – Includes all items in the Immediate Needs noted above and the following:
  - Minor HVAC revisions to facilitate phase 1A changes.
    - Rough Order of Magnitude Cost: \$100,000
  - Minor HVAC revisions to facilitate phase 1B changes.
    - Rough Order of Magnitude Cost: \$30,000
  - Replace kitchen exhaust fan and makeup air unit in 1B.
    - Rough Order of Magnitude Cost: \$20,000
- Master Plan – Includes all items in the Immediate Needs and Phase 1 noted above and the following:

**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

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**MECHANICAL SYSTEMS DESCRIPTION****5.2.3**

- New VRF & DOAS to serve the new addition.
  - Rough Order of Magnitude Cost: \$800,000

**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**ELECTRICAL SYSTEMS DESCRIPTION****5.3.1****POWER DISTRIBUTION**

Electrical service is provided to the building at 208/120 Volts, 3-phase, by Pacific Power via three pole mounted utility transformers located on a pole in the alley west of the building. The service conductors' route down the utility pole and underground to the building. The original service gear was installed in the 1970's. The service gear has a 1200A, 3-phase main disconnect mounted on the western exterior wall of the building. From the disconnect (3) 4"C are running overhead through the attic space to the main switchboard location in the center of the building.

- Immediate needs
  - No change will be made to the power distribution system of the facility.
- Intermediate Option
  - No change will be made to the power distribution system of the facility.
- Master Plan
  - Relocation of the existing main service routed into a new 10' x 10' main electrical room in the new addition. Reroute branch circuit panel feeders to the new electrical room location.
    - Rough Order of Magnitude Cost: \$200,000

**BRANCH CIRCUITRY**

The facility is currently served by (4) 208/120V, single phase panelboards to supply branch circuits throughout the building system. The existing branch circuits are comprised of EMT conduit and wire that appears to be in good condition. The following upgrades to the branch circuit systems per design option are:

- Immediate Needs
  - Adding power to new HVAC equipment for the existing facility.
    - Rough Order of Magnitude Cost: \$15,000
  - Replace existing receptacle in code required areas with GFCI style receptacles.
    - Rough Order of Magnitude Cost: \$5,000
  - Remove all abandoned wiring back to source and provide back box covers.
    - Rough Order of Magnitude Cost: \$5,000
  - Replace all outlets in facility with Tamper Resistance style to meet current code.
    - Rough Order of Magnitude Cost: \$12,000
  - Replace all kitchen receptacles or circuit breakers serving receptacles with GFCI devices to meet current code.
    - Rough Order of Magnitude Cost: \$15,000



## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

### ELECTRICAL SYSTEMS DESCRIPTION

### 5.3.2

- Intermediate Option – Includes all items in the Immediate Needs noted above and the following:
  - Replace existing branch circuit panels in same location with new.
    - Rough Order of Magnitude Cost: \$50,000
  - Revise outlet location circuiting in areas of the existing building that are being upgraded as part of this option.
    - Rough Order of Magnitude Cost: \$75,000
  - Upgrade circuit breakers to shunt-trip type for all kitchen devices under the type 1 hood.
    - Rough Order of Magnitude Cost: \$8,000
- Master Plan – Includes all items in the Immediate Needs and Phase 1 noted above and the following:
  - Relocation of the existing branch circuit panels into the new 10' x 10' main electrical room in the new addition.
    - Rough Order of Magnitude Cost: \$75,000
  - Replace all circuitry and devices in new and renovated spaces.
    - Rough Order of Magnitude Cost: \$200,000

### LIGHTING SYSTEMS

Most of the interior lighting is comprised mainly of fluorescent lamp sources via surface mount cylinders luminaires and wrap around strip luminaires and should be updated to new LED style luminaire.

- Immediate Needs
  - Replace existing fluorescent luminaires one for one with LED style luminaires, maintain existing circuitry and controls.
    - Rough Order of Magnitude Cost: \$50,000 - \$75,000
- Intermediate Option – Includes all items in the Immediate Needs noted above and the following:
  - Provide/Update all remodeled spaces with new LED luminaire layout and controls that meet the current Washington State energy code, which includes occupancy sensors, daylight and time clock management of public spaces.
    - Rough Order of Magnitude Cost: \$50,000
  - Add additional exterior pole mounted luminaires to provide adequate light level in the existing parking lot.
    - Rough Order of Magnitude Cost: \$15,000
- Master Plan
  - Provide/Update all existing, remodeled, and new addition spaces with new LED lights and controls that meet the current Washington State energy code,

## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

### ELECTRICAL SYSTEMS DESCRIPTION

### 5.3.3

which includes occupancy sensors, daylight and time clock management of public spaces.

- Rough Order of Magnitude Cost: \$220,000
- Add additional exterior pole mounted luminaires to provide adequate light level in the existing and new parking area.
  - Rough Order of Magnitude Cost: \$25,000

#### FIRE ALARM SYSTEM

Currently the building is not equipped with a fire alarm system. Based on the building occupancy classification, a fire alarm system should be installed in the facility.

- Immediate Needs
  - Install an addressable fire alarm system throughout the existing facility.
    - Rough Order of Magnitude Cost: \$40,000
- Intermediate Option – Includes all items in the Immediate Needs noted above and the following:
  - Replace the existing manual fire suppression system in the kitchen with a new automatic system that meets the current International Fire Code.
    - Rough Order of Magnitude Cost: \$15,000
- Master Plan
  - Install an addressable fire alarm system throughout the facility.
    - Rough Order of Magnitude Cost: \$80,000

#### COMMUNICATION SYSTEM

An underground copper telephone service is provided to the facility from a utility pole located in the ally west of the building. In a recent renovation a high-speed satellite/airpipe internet system was added but is dedicated to serve only the classrooms.

- Immediate Needs – Maintain the existing communication services to the building.
  - Add Security system and Cameras to the Facility
    - Rough Order of Magnitude Cost: \$25,000
  - Add Intercom system into existing spaces.
    - Rough Order of Magnitude Cost: \$20,000
- Intermediate Option – Includes all items in the Immediate Needs noted above and the following:
  - Relocate the existing satellite/airpipe internet system into a new closest and extend existing cabling to that location.
    - Rough Order of Magnitude Cost: \$10,000
- Master Plan
  - Upgrade the entire facility communication system so all devices are on a single fiber backbone system. Relocate all headend services (copper, fiber,

**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

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**ELECTRICAL SYSTEMS DESCRIPTION****5.3.4**

security, intercom) into a new 10' x 10' main communication room located in the new addition.

- Rough Order of Magnitude Cost: \$100,000
- Provide new Cat 6 cabling throughout the building.
  - Rough Order of Magnitude Cost: \$80,000
- Add Security system and Cameras to the Facility
  - Rough Order of Magnitude Cost: \$50,000
- Add Intercom system into existing spaces.
  - Rough Order of Magnitude Cost: \$45,000

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Master Plan

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### OUTLINE SPECIFICATION

**6.0**

Proposed project description, listed in order of CSI (Construction Specification Institute) divisions.

#### **DIVISION 0: PROCUREMENT AND CONTRACTING REQUIREMENTS**

This division includes procedures for procuring bids, general information, and construction contract forms including the following:

- Invitation to Bid (legal advertisement)
- Instructions to Bidders
- Bid Forms
- Construction Contract Forms
- This project will be competitively bid general contractors per the Washington State Public Works project requirements and will be subject to Washington State Prevailing Wage rates.

#### **DIVISION 1: GENERAL REQUIREMENTS**

This encompasses the general contractor's management of the project. These items may include the following:

- Administrative procedures for payment to the contractor and changes to the contract.
- Contractor's management of the project and coordination of subcontractors.
- General requirements for all materials & equipment to be incorporated into the project.
- Temporary Construction Facilities: The site has limited space due to the existing facility and related parking. It is anticipated that the existing facility will remain open and active throughout the entire duration of the project. The scope of work will be phased to allow for business operations to remain operational through construction.
- Company Materials and Tools
- General requirements for sustainable goals / certification – It is anticipated that this project will be built to achieve LEED Silver Certification
- Training Owner's maintenance personnel in operation of equipment and general maintenance procedures.

#### **DIVISION 2: EXISTING CONDITIONS**

This includes the demolition of the existing building as required for the various scopes of work.



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Master Plan

### OUTLINE SPECIFICATION

**6.1**

#### DIVISION 3: CONCRETE

- Concrete work includes replacement of any existing slab on grade that is removed for modified or new below grade utilities. Also included are new foundation footings and stem walls as detailed in the structural building systems section of this document.

#### DIVISION 4: MASONRY

- Single wythe reinforced concrete masonry units as load bearing primary structure with perlite fill as required for 2021 Washington State Commercial Energy Code compliance for the gymnasium volume. Block to be ground face 10-12-inch units. Color to be custom. Non-bearing interior partition walls within the gymnasium volume for storage rooms, to be constructed of reinforced concrete masonry 4x8x16 units.

#### DIVISION 5: METALS

- Gymnasium will have light gage steel roof decking on open web steel joists at 6'-0" OC.
- This includes any miscellaneous metals.
- Misc. metals also include roof ladders, bollards and other sign frames.

#### DIVISION 6: WOOD, PLASTICS, AND COMPOSITES

- Roof Structure for non-gymnasium areas will have plywood roof sheathing supported on engineered open-web and/or I-type roof joists at 24" OC.
- Interior walls to be 2x4 wood stud walls..
- Exterior walls to be 2x6 wood stud bearing wall.
- Wood Blocking at all casework and toilet accessories
- Telephone & electrical panel boards
- Typical casework has a plastic laminate finish with PVC edge band at exposed counter and drawer/door edges.

#### DIVISION 7: THERMAL AND MOISTURE PROTECTION

- Roof insulation – R-38 Continuous polyiso insulation on top of plywood or steel decking.
- Continuous Insulation system: R-3.8 poly iso. This will occur at all wood framed exterior walls.
- Fiberglass wall insulation – R-21
- Acoustical Insulation - interior walls around all classrooms, offices, conference rooms, and restrooms shall be insulated for the suppression of sound transmission.
- Sealants and Caulking
- TPO roofing and accessories.

## WASHINGTON FRUIT COMMUNITY CENTER

Master Plan

### OUTLINE SPECIFICATION

6.2

- Roof access hatches
- Hardie Board Panel or Lap Siding at all wood framed exterior wall surfaces.

#### DIVISION 8: OPENINGS

- The main entry is to be aluminum storefront system with automatic operators.
- All other exterior doors to be insulated hollow metal doors
- All door frames are to be fully welded hollow metal with integral sidelights where noted.
- Interior doors will be solid core wood veneer type.
- All other exterior openings will be aluminum storefront system.

#### DIVISION 9: FINISHES

- Interior Walls: Wood Studs w/ Gypsum Wallboard – Typical wall framing shall be 2x4 wood studs, at 16" O.C., w/ 5/8" GWB, typ.
- Exterior Walls: Load bearing 2x6 wood studs with 1/2-inch exterior plywood sheathing and 5/8" interior layer.
- Metal stud framed soffits will be incorporated throughout the building.
- Wood athletic flooring for the Gymnasium shall be a fixed resilient hard wood system such as Connor Alliance with MFMA Third Grade Northern Hard Maple, anchors, pads and subfloor.
- Wood athletic flooring for the Dance Studio shall be a MFMA Parquet system such as Robbins Sportwood Ultra Star suitable for multi-use fitness floors of Third Grade Northern Hard Maple, subfloor and resilient foam mat
- All finishes as noted by room below:

##### Vestibule

- Walls: General Paint and Storefront Glazing.
- Floors: Walkoff Mat
- Wall Base: Rubber
- Ceiling: ACT

##### Living Room & Typical Corridors

- Walls: General Paint and Accents.
- Floors: polished and stained concrete
- Wall Base: Rubber
- Ceiling: ACT

##### Dance Studio

- Walls: Glazing, Painted GWB w/ 1/2" MDF wainscot, Mirrors
- Floors: Wood athletic flooring

## WASHINGTON FRUIT COMMUNITY CENTER

### Master Plan

## OUTLINE SPECIFICATION

## 6.3

- Wall Base: 6" Vented Rubber Base
- Ceiling: Exposed Structure – painted, Suspended Lay-in Acoust Ceiling (APC) Clouds w/ 2" edge trim

### Gym

- Walls: Standards Face CMU – Painted, Tectum acoustical panels, wall pads, glazing
- Flooring: Wood Athletic Flooring
- Wall Base: 6" Vented Rubber Base
- Ceilings: Exposed Structure, Painted.

### Toilet Rooms (Men's & Women's)

- Walls: Ceramic Tile & Epoxy Paint
- Flooring: Ceramic Tile
- Wall Base: Tile
- Ceiling: Painted GWB

### Admin/Staff

- Walls: General Paint and WVC
- Flooring: Carpet
- Wall Base: Rubber
- Ceilings: ACT

### Reception

- Walls: Paint
- Flooring: Carpet Tile
- Wall Base: Rubber
- Ceiling: ACT
- Wall Base: Rubber

### Large & Small Classrooms

- Walls: General Paint
- Flooring: VCT
- Wall Base: Rubber
- Ceilings: ACT

### Ball Room

- Walls: General Paint and Accent, Folding Panel Partition
- Flooring: Refinish existing parquet wood flooring
- Wall Base: Rubber
- Ceilings: Replace existing glue-on ceiling tiles with new glue on ceiling tiles

## WASHINGTON FRUIT COMMUNITY CENTER

### Master Plan

## OUTLINE SPECIFICATION

## 6.4

### Game Room

- Walls: General Paint and Accent
- Flooring: Carpet Tiles
- Wall Base: Rubber
- Ceilings: ACT

### Beyond the Bell Room

- Walls: General Paint and Accent, Folding Panel Partition
- Flooring: Carpet Tiles
- Wall Base: Rubber
- Ceilings: ACT

### DIVISION 10: SPECIALTIES

- SST corner guards at all outside corners
- Toilet accessories – all contractor furnished and installed
- Interior and exterior signage per ADA
- Knox box
- Fire extinguishers and cabinets
- Marker boards at classrooms and conference rooms
- Toilet compartments, phenolic type
- Folding panel partition – electric heavy duty w/ high STC rating and vinyl wallcovering such as on Modernfold Acoust-Seal at Ball Room & Beyond the Bell Room

### DIVISION 11: EQUIPMENT

- Gymnasium Wall Pads – 2" thick vinyl
- Ballet Barre – 2" Beech wood, wall mount at dance studio

### DIVISION 12: FURNISHINGS

- Window blinds: All exterior windows to have automatic roller shades. - Woven material in both 5% and 10% opacity. All interior relites to have horizontal louver blinds – 1" metal slats

### DIVISION 21: FIRE SUPPRESSION

- Automatic Sprinkler System – Grand Option Only

### DIVISION 22: PLUMBING

- Fixtures
- Water Supply Piping



**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**OUTLINE SPECIFICATION****6.5**

- Drain Piping

**DIVISION 23: HEATING VENTILATING AND AIR CONDITIONING (HVAC)**

- Heating Equipment
- Cooling Equipment
- Ventilation Equipment
- Piping and Ductwork for HVAC System

**DIVISION 26: ELECTRICAL**

- Power Distribution Equipment and Wiring
- Power Outlets
- Lighting Controls and Wiring
- Light Fixtures

**DIVISION 27: COMMUNICATIONS**

- Data / Communications Wiring
- Data / Communications Outlets

**DIVISION 28: ELECTRONIC SECURITY AND SAFETY**

- Fire Alarm System
- Electronic Door Locks and Monitoring

**DIVISION 31: EARTHWORK**

Earthwork to include all excavation for sidewalks and parking lot including infiltration systems.

**DIVISION 32: EXTERIOR IMPROVEMENTS**

Exterior improvements include:

- Asphalt parking lots
- Sidewalks
- Benches
- Exterior garbage cans
- Bike rack
- Flagpole
- Landscaping throughout.
- Chain-link fencing – Black powder coated posts and black vinyl coated fabric.

**DIVISION 33: UTILITIES**

- New Water Service & Power Service needed for Grand Option.



# WASHINGTON FRUIT COMMUNITY CENTER

Master Planning

## SPACE PROGRAM

7.1

DEPARTMENTS/ ROOMS	EXISTING PROGRAM				MASTER PLAN			
	# OF RMS	ROOM NSF	ROOM TOTALS	DEPT NSF	# OF RMS	ROOM NSF	ROOM TOTALS	DEPT NSF
<b>PROGRAMS</b>								
Ball Room	1	3,511	3,511		1	3,511	3,511	
Game Room	1	1,134	1,134		1	1,580	1,580	79
Classroom / Computer Room	1	575	575					
Small Classroom					1	450	450	30
Large Classroom					1	800	800	53
Beyond The Bell Room	1	1,236	1,236		1	1,000	1,000	
Dance Studio					1	1,300	1,300	
Gymnasium					1	5,400	5,400	
Department Net Square Footage				6,456				14,041
<b>ADMINISTRATION</b>								
Reception	1	102	102		1	120	120	
Work Room	1	71	71		1	80	80	
Break Room (with lockers)	1	127	127		1	200	200	
Office	1	157	157		4	100	400	
Office	1	107	107					
Director's Office	1	167	167		1	120	120	
Department Net Square Footage				731				920
<b>SUPPORT SPACES</b>								
Living Room (100 Occupants)					1	1,200	1,200	80
Kitchen	1	445	445		1	300	300	
Pantry	1	120	120		1	130	130	
Storage	1	76	76		1	76	76	
Men's Restroom	1	160	160		1	200	200	
Women's Restroom	1	177	177		1	200	200	
Lockers	1	38	38					
Staff Toilet	2	77	154		2	56	112	
Utility	1	59	59					
Mechanical Room					1	40	40	
Electrical Room					1	160	160	
IS Main Distribution					1	80	80	
Men's Restroom	1	160	160		1	200	200	
Women's Restroom	1	177	177		1	200	200	
Lockers	1	38	38					
Staff Toilet	2	77	154		2	56	112	
Storage (unassigned)	1	174	174		1	174	174	
Dance Studio Storage					1	100	100	
Gym Storage					1	200	200	
Department Net Square Footage				1,932				3,484
Total Department Net Square Footage				9,119				18,445
Building Circulation and Walls			16.9%	1,541			25%	4,611
Building Gross Square				<b>10,660</b>				<b>23,056</b>
Area Increase							116.3%	<b>12,396</b>



WASHINGTON FRUIT COMMUNITY CENTER  
Master Plan

ESTIMATE OF PROBABLE CONSTRUCTION COST8.1

		IMMEDIATE NEEDS (MINIMALISTIC OPTION)		Phase 1 (MEDIUM OPTION)		MASTER PLAN (GRAND OPTION)		REMARKS
BUILDING GROSS SQUARE FOOTAGE								
001	Building Renovation	10,660		10,660		10,660		
002	Building Addition/Expansion					10,120		
	TOTAL	10,660		10,660		20,780		
BUILDING CONSTRUCTION								
101	Concrete Work		\$2.30 /SF	\$24,496		\$7.62 /SF	\$158,251	
102	Superstructure		\$4.10 /SF	\$43,750		\$14.35 /SF	\$298,090	
103	Exterior Closure		\$8.78 /SF	\$93,560		\$32.58 /SF	\$677,070	
104	Roofing		\$16.24 /SF	\$173,128		\$17.75 /SF	\$368,871	
105	Interior Construction		\$17.80 /SF	\$189,755		\$14.72 /SF	\$305,825	
106	Interior Finishes		\$19.15 /SF	\$204,171		\$27.06 /SF	\$562,363	
107	Plumbing		\$10.13 /SF	\$108,000		\$23.24 /SF	\$483,000	
108	HVAC		\$31.52 /SF	\$336,000		\$51.73 /SF	\$1,075,000	
109	Fire Protection		\$0.00 /SF	\$0		\$5.42 /SF	\$112,530	
110	Electrical		\$40.81 /SF	\$435,000		\$57.75 /SF	\$1,200,000	
111	Equipment		\$0.94 /SF	\$10,000		\$4.73 /SF	\$98,345	
112	Casework & Furnishings		\$4.55 /SF	\$48,496		\$2.69 /SF	\$55,996	
113	Selective Demolition		\$8.55 /SF	\$91,148		\$5.80 /SF	\$120,516	
	SUBTOTAL		\$164.87 /SF	\$1,757,504		\$265.44 /SF	\$5,515,857	
114	Design Contingency		20.00%	\$351,501		20.00%	\$1,103,171	
	SUBTOTAL			\$2,109,005			\$6,619,028	
115	Contractor's Mark Up (OH, Profit, Insurance & Bonds)		7.00%	\$147,630		7.00%	\$463,332	
	TOTAL ESTIMATED BUILDING CONSTRUCTION COST			\$2,256,635			\$7,082,360	
	Cost Per Square Foot			\$211.69			\$340.83	
SITE WORK								
120	Site Preparation			\$5,639			\$103,897	
121	Site Improvements			\$59,500			\$248,735	
122	Site Civil/Mechanical Utilities			\$0			\$79,800	
123	Site Electrical Utilities			\$0			\$0	
	SUBTOTAL			\$65,139			\$432,432	
124	Design Contingency		20.00%	\$13,028		20.00%	\$86,486	
	SUBTOTAL			\$78,167			\$518,918	
125	Contractor's Mark Up (OH, Profit, Insurance & Bonds)		7.00%	\$5,472		7.00%	\$36,324	
	TOTAL ESTIMATED SITE CONSTRUCTION COST			\$83,638			\$555,243	
	TOTAL ESTIMATED BUILDING & SITE CONSTRUCTION COST			\$2,340,274			\$7,637,603	
	Cost Per Square Foot			\$219.54			\$367.55	
126	General Requirements		12 Months	\$300,000		14 Months	\$490,000	
	SUBTOTAL			\$2,640,274			\$8,127,603	
127	Escalation @ 6% Per Year		20.00%	\$528,055	Q3 2026	31.50%	\$2,560,195	Q3 2028
	TOTAL ESCALATED CONSTRUCTION COST			\$3,168,328			\$10,687,798	
	Cost Per Square Foot			\$297.22			\$514.33	



WASHINGTON FRUIT COMMUNITY CENTER  
Master Plan

ESTIMATE OF PROBABLE CONSTRUCTION COST8.2

		IMMEDIATE NEEDS (MINIMALISTIC OPTION)		Phase 1 (MEDIUM OPTION)		MASTER PLAN (GRAND OPTION)		REMARKS
ADDITIVE ALTERNATES		PROPOSED	SELECTED	PROPOSED	SELECTED	PROPOSED	SELECTED	
130	1. Flooring Throughout	\$153,043	\$153,043	\$0		\$0		
131	2. New Dividers at Ballroom and Beyond the Bell	\$161,347	\$161,347	\$0		\$0		
132	3. Repaint Interior	\$62,604	\$62,604	\$0		\$0		
133	4. Remove the Low Barrier Wall at Entry	\$2,947	\$2,947	\$0		\$0		
134	5. Reroof Building	\$312,403	\$312,403	\$0		\$0		
135	6. Exterior Paint	\$43,016	\$43,016	\$0		\$0		
136	7. Crosswalk and Drop-Off Reconfiguration	\$60,521	\$60,521	\$0		\$0		
137	8. Exiting at Fenced-in Areas	\$17,334	\$17,334	\$0		\$0		
138	9. Mechanical Upgrades	\$334,976	\$334,976	\$0		\$0		
139	10. Lighting Upgraded to LED	\$125,845	\$125,845	\$0		\$0		
140	11. Upgrade Security System Including Cameras	\$60,692	\$60,692	\$0		\$0		
141	12. Phones and Intercom Coordination	\$34,321	\$34,321	\$0		\$0		
142	13. Electrical - Branch Circuitry	\$86,947	\$86,947	\$0		\$0		
143	14. Fire Alarm System	\$68,643	\$68,643	\$0		\$0		
144	15.	\$0		\$0		\$0		
SUBTOTAL OF ALTERNATES		\$1,524,639	\$1,524,639	\$0	\$0	\$0	\$0	
TOTAL ESTIMATED CONSTRUCTION COST W/ SELECTED ALTERNATES		\$1,524,639		\$3,168,328		\$10,687,798		
Cost Per Square Foot		\$143.02		\$297.22		\$514.33		





WASHINGTON FRUIT COMMUNITY CENTER  
Master Plan

ESTIMATE OF PROBABLE PROJECT COST8.3

		IMMEDIATE NEEDS (MINIMALISTIC OPTION)		Phase 1 (MEDIUM OPTION)		MASTER PLAN (GRAND OPTION)		REMARKS
TOTAL PROBABLE CONSTRUCTION COST		\$1,524,639		\$3,168,328		\$10,687,798		
200	WSST @	8.3%	\$126,545	8.3%	\$262,971	8.3%	\$887,087	
201	Construction Contingency	5.0%	\$76,232	5.0%	\$158,416	5.0%	\$534,390	
202	WSST On Construction Contingency	8.3%	\$6,327	8.3%	\$13,149	8.3%	\$44,354	
SUBTOTAL			\$209,104		\$434,536		\$1,465,832	
A&E FEES								
300	Basic Services Fees	13.00%	\$198,203	12.28%	\$389,071	10.97%	\$1,172,451	
301	Basic Services Fee (Change Orders) - Allowance	13.00%	\$9,910	12.28%	\$19,454	10.97%	\$58,623	
302	Special Consultant Additional Services	5.00%	\$9,910	5.00%	\$19,454	5.00%	\$58,623	
SUBTOTAL			\$218,023		\$427,978		\$1,289,697	
OTHER FEES								
400	Architectural Predesign Fee							
401	Interior Design							
402	Commissioning Agent	Allowance	\$20,000	Allowance	\$75,000	Allowance	\$75,000	
403	Construction Management							
404	Reimbursable Expenses	TM	\$4,000	TM	\$10,000	TM	\$10,000	
405	Construction Testing & Special Inspection	0.00%	\$0	0.50%	\$15,842	0.50%	\$53,439	
406	Site Surveys			LS	\$3,500	LS	\$6,500	
407	Soils Analysis (Geotech)					LS	\$9,000	
408	Hazardous Material Testing	LS	\$5,000	LS	\$5,000	LS	\$5,000	
409	Air Barrier Leakage Testing			Allowance	\$5,000	Allowance	\$8,000	
SUBTOTAL			\$29,000		\$114,342		\$166,939	
FURNITURE, FURNISHINGS, AND EQUIPMENT								
500	Furniture & Furnishings	\$0.00 /SF	\$0	\$12.00 /SF	\$127,920	\$14.00 /SF	\$290,920	
501	Major Equipment	0.00%	\$0	3.00%	\$95,050	3.00%	\$320,634	
502	IT Equipment			LS	\$50,000	LS	\$50,000	
503	IT Cabling	\$0.00 /SF	\$0	\$6.40 /SF	\$68,224	\$6.40 /SF	\$64,768	
504	Security/Access Control	\$0.00 /SF	\$0	\$4.20 /SF	\$0	\$4.20 /SF	\$0	
505	WSST on FF&E	8.30%	\$0	8.30%	\$28,319	8.30%	\$60,285	
SUBTOTAL			\$0		\$369,513		\$786,607	
CONTINGENCIES								
600	General Owner Contingency	2.00%	\$30,493	4.00%	\$126,733	4.00%	\$427,512	
601	Other Contingency	0.00%	\$0	0.00%	\$0	0.00%	\$0	
SUBTOTAL			\$30,493		\$126,733		\$427,512	
MISCELLANEOUS PROJECT COST								
700	Plan Review Fee - City of Yakima		\$1,242		\$6,390		\$18,609	
701	Building Permits		\$4,000		\$12,000		\$37,000	
702	Land Use Application Submittal Fee - City of Yakima			N/A	\$500	N/A	\$500	
703	Plan Review Fee - Yakima Health District			Allow	\$800	Allow	\$800	
704	Utility Fees - City Connections					Allow	\$25,000	
705	Utility Fees - Power					Allow	\$40,000	
706	Utility Fees - Natural Gas							
707	Insurance	0.20%	\$0	0.20%	\$6,337	0.20%	\$21,376	
708	Signage and Graphics (Reader Board)	LS	\$0	LS	\$80,000	LS	\$80,000	
SUBTOTAL			\$5,242		\$106,027		\$223,285	
TOTAL ESTIMATED SOFT COST			\$491,862		\$1,579,128		\$4,359,870	
TOTAL ESTIMATED PROJECT COST			\$2,016,501		\$4,747,457		\$15,047,668	
Soft Cost % of Hard Cost			32.3%		49.8%		40.8%	

**WASHINGTON FRUIT COMMUNITY CENTER**

Master Plan

**APPENDIX****9.0****SECTION 9.0****APPENDIX**

CONCEPTUAL PLAN – NORTH EXPANSION OPTION 1

CONCEPTUAL PLAN – SOUTH EXPANSION OPTION 1

CONCEPTUAL PLAN – SOUTH EXPANSION OPTION 2

CONCEPTUAL PLAN – SOUTH EXPANSION OPTION 3

DETAILED CONSTRUCTION COST ESTIMATE

SURVEY DATA

SURVEY RESPONSES

ENTRY

EXIT

CLASS  
COMPUTERCLASS  
COMPUTER

GAME ROOM

BEYOND  
THE BELL  
ROOMDANCE  
STUDIOLIVING  
ROOM

JAN.

UTILITY

GIRLS  
TOILETBOYS  
TOILET

HANGOUT

BALL ROOM

PLAZA

GARDEN

ADMIN/STAFF

KITCHEN

PANTRY

T

T

ST

SECURED  
PLAY AREA

GYM

# North Expansion Option 1

Washington Fruit Community Center

201932

4/18/2023



1/16"=1'-0"

**NAC**  
ARCHITECTURE





# South Expansion Option 1

Washington Fruit Community Center

201932

4/18/2023

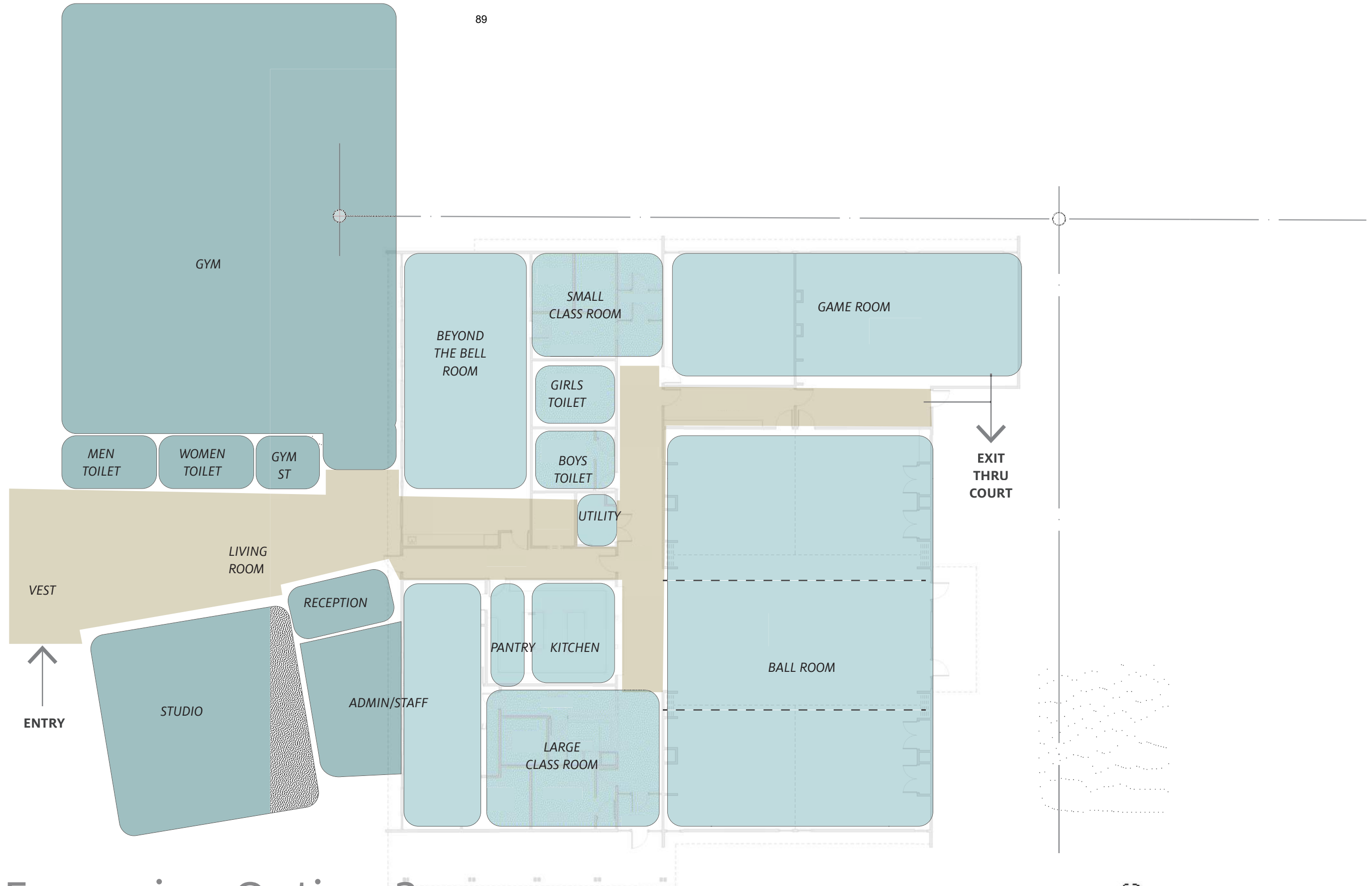


1/16"=1'-0"

**NAC**  
ARCHITECTURE







# South Expansion Option 2

Washington Fruit Community Center

201932

4/18/2023



1/16"=1'-0"

**NAC**  
ARCHITECTURE





# South Expansion Option 3

Washington Fruit Community Center

201932

4/18/2023



1/16"=1'-0"

**NAC**  
ARCHITECTURE





## Construction Cost Summary

Owner: **Washington Fruit Community Center**

Project: **Washington Fruit Community Center**

**June 21, 2023**

## ESTIMATED COSTS SUMMARY

	Minimalist Option	Cost
	Flooring	\$153,043
	New Dividers at Ballroom and Beyond the Bell	\$161,347
	Repaint Interior	\$62,604
	Remove the Low Wall Barrier	\$2,947
	Reroof Building	\$312,403
	Exterior Paint	\$43,016
	Crosswalk and Drop-off Reconfiguration	\$60,521
	Exiting at Fenced-In Areas	\$17,334
	Mechanical Upgrades	\$279,147
	Lighting Upgraded to LED	\$125,845
	Security System update including Cameras	\$60,692
	Phones and Intercom Coordination	\$34,321
	Electrical - Branch Circuitry	\$86,947
	Fire Alarm System	\$68,643
	<b>Total Estimated Minimalist Options</b>	<b>\$1,468,809</b>

Item	Medium Option	QTY	UOM	\$ / UOM	Cost
1	Building	10,660	BGSF	\$200.13	\$2,133,371
2	Sitework	3,080	GSF	\$20.90	\$64,378
3	General Conditions & Support Services	12	MO	\$25,000	\$300,000
	<b>Total Estimated Construction Cost</b>	<b>10,660</b>	<b>BGSF</b>	<b>\$234</b>	<b>\$2,497,749</b>
4	Escalation to Midpoint (Q3, 2026 @ 6%/Year)	20.0%	on	\$2,497,749	\$499,550
	<b>Total Escalated Construction Cost</b>	<b>10,660</b>	<b>BGSF</b>	<b>\$281</b>	<b>\$2,997,299</b>

Item	Grand Option	QTY	UOM	\$ / UOM	Cost
1	Building	20,460	BGSF	\$346.16	\$7,082,360
2	Sitework	25,000	GSF	\$21.18	\$529,539
3	General Conditions & Support Services	14	MO	\$35,000	\$490,000
	<b>Total Estimated Construction Cost</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$396</b>	<b>\$8,101,899</b>
4	Escalation to Midpoint (Qx, 2028 @ 6%/Year)	31.5%	on	\$8,101,899	\$2,552,098
	<b>Total Escalated Construction Cost</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$521</b>	<b>\$10,653,998</b>

**Alternate Grand Option - Steel Roof Structure at Gym**

**(\$13,086)**

**COMMENTS:**

Design, Bid, Build delivery method is assumed

Schedules vary based on Option

Estimate excludes soft costs such as design fees, permits, testing / inspections, construction change order contingencies, loose fixtures / furnishings and sales tax.



Project Owner: **Washington Fruit Community Center**  
Project Name: **Washington Fruit Community Center**  
Project Location: Yakima, WA  
Start Date: April 1, 2024  
Estimate Date: June 21, 2023

Architect: KDA  
Duration: #REF!  
Project GSF: #REF!  
Site GSF: #REF!

<b>ALTERNATE ESTIMATES SUMMARY</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
1	Flooring	1	ls		\$153,043
2	New Dividers at Ballroom and Beyond the Bell	1	ls		\$161,347
3	Repaint Interior	1	ls		\$62,604
4	Remove the Low Wall Barrier	1	ls		\$2,947
5	Reroof Building	1	ls		\$312,403
6	Exterior Paint	1	ls		\$43,016
7	Crosswalk and Drop-off Reconfiguration	1	ls		\$60,521
8	Exiting at Fenced-In Areas	1	ls		\$17,334
9	Mechanical Upgrades	1	ls		\$279,147
10	Lighting Upgraded to LED	1	ls		\$125,845
11	Security System update including Cameras	1	ls		\$60,692
12	Phones and Intercom Coordination	1	ls		\$34,321
13	Electrical - Branch Circuitry	1	ls		\$86,947
14	Fire Alarm System	1	ls		\$68,643
<b>Total Alternate Estimates</b>					<b>\$1,468,809</b>

Estimate excludes soft costs such as design fees, permits, testing / inspections, construction change order contingencies, loose fixtures / furnishings and sales tax.

PROJECT COST ALTERNATES		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
Alt No.	Description				
1 Flooring					
	Demo Flooring	9,530	sf	1.50	\$14,295
	Demo Rubber base	1,740	lf	0.75	\$1,305
	Carpet Tiles	4,790	sf	\$ 6.50	\$31,135
	Sheet Vinyl in Kitchen and Poantry	520	sf	\$ 12.00	\$6,240
	VCT in Classrooms	490	sf	\$ 4.50	\$2,205
	Refinish Wood Floor in Ballroom	3,700	sf	\$ 5.00	\$18,500
	Walk-Off Mat	130	sf	\$ 12.00	\$1,560
	Floor Prep/Moisture Vapor Reducer	9,630	sf	\$ 1.00	\$9,630
	New Rubber base	5,930	sf	\$ 1.00	\$5,930
	Floor Prep Allowance	9,530	sf	1.00	\$9,530
	General Conditions Allowance	10.00%	of	\$100,330	\$10,033
	SUBTOTAL				\$110,363
	Contingency			20.00%	\$22,073
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$9,270
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$11,336
	TOTAL ESTIMATED CONSTRUCTION COSTS				\$153,043
2 New Dividers at Ballroom and Beyond the Bell					
	Remove and Dispose of Existing Dividers	167	lf	35.00	\$5,845
	Remove E-W Tracks in Ballroom	47	lf	7.00	\$329
	Patch Ceiling as Required	150	sf	12.00	\$1,800
	New N-S Dividers in Ballroom and Beyond the Bell	1,200	sf	80.00	\$96,000
	Re-Drill or Modify Existing Header Support	120	lf	15.00	\$1,800
	General Conditions Allowance	10.00%	of	\$105,774	\$10,577
	SUBTOTAL				\$116,351
	Contingency			20.00%	\$23,270
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$9,774
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$11,952
	TOTAL ESTIMATED CONSTRUCTION COSTS				\$161,347
3 Repaint Interior					
	Gross Building SF - Paint Interior	10,660	sf	3.50	\$37,310
	Touch Up allowance - Existing Walls	10,660	sf	0.35	\$3,731
	General Conditions Allowance	10.00%	of	\$41,041	\$4,104
	SUBTOTAL				\$45,145
	Contingency			20.00%	\$9,029
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$3,792
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$4,637
	TOTAL ESTIMATED CONSTRUCTION COSTS				\$62,604
4 Remove the Low Wall Barrier					
	Remove Low Wall Barrier and Dispose	8	lf	50.00	\$400
	Patch Walls and Flooring	1	allow	300.00	\$300

	Patch Walls and Repaint	1	allow	1,000.00	\$1,000
	General Conditions Allowance	25.00%	of	\$1,700	\$425
	<b>SUBTOTAL</b>				<b>\$2,125</b>
	Contingency			20.00%	\$425
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$179
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$218
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>\$2,947</b>
<b>5</b>	<b>Reroof Building</b>				
	Remove Membrane Roof	2,478	sf	4.00	\$9,912
	Remove Asphalt Shingles	9,897	sf	3.00	\$29,691
	New Membrane Roof	2,478	sf	18.00	\$44,604
	New Asphalt Shingles	9,897	sf	10.00	\$98,970
	New Copings	865	sf	25.00	\$21,625
	General Conditions Allowance	10.00%	of	\$204,802	\$20,480
	<b>SUBTOTAL</b>				<b>\$225,282</b>
	Contingency			20.00%	\$45,056
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$18,924
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$23,141
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>\$312,403</b>
<b>6</b>	<b>Exterior Paint</b>				
	Exterior Paint Surface	12,000	sf	2.00	\$24,000
	Scrape and minimal patch as required	12,000	sf	0.35	\$4,200
	General Conditions Allowance	10.00%	of	\$28,200	\$2,820
	<b>SUBTOTAL</b>				<b>\$31,020</b>
	Contingency			20.00%	\$6,204
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$2,606
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$3,186
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>\$43,016</b>
<b>7</b>	<b>Crosswalk and Drop-off Reconfiguration</b>				
	Remove Existing walks from curb to E. side of covered porch	795	sf	3.00	\$2,385
	Remove sod in balance of area	2,285	sf	0.75	\$1,714
	Grade and prep subgrade	3,080	sf	1.00	\$3,080
	New 4" Compacted Gravel	48	cy	35.00	\$1,697
	New Concrete Walks	3,080	sf	10.00	\$30,800
	General Conditions Allowance	10.00%	of	\$39,676	\$3,968
	<b>SUBTOTAL</b>				<b>\$43,643</b>
	Contingency			20.00%	\$8,729
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$3,666
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$4,483
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>\$60,521</b>
<b>8</b>	<b>Exiting at Fenced-In Areas</b>				
	Allowance for Exiting Modifications	1	ls	10,000.00	\$10,000

	General Conditions Allowance	25.00%	of	\$10,000	\$2,500
	<b>SUBTOTAL</b>				<b>\$12,500</b>
	Contingency			20.00%	\$2,500
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$1,050
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$1,284
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>\$17,334</b>
<b>9 Mechanical Upgrades</b>					
	Plumbing				
	Replace water service to building.	1	Is	30,000.00	\$30,000
	patch slab as needed	1	Is	500.00	\$500
	Replace domestic hot water heaters	1	Is	15,000.00	\$15,000
	Cap sinks in Multi-Purpose Room	1	Is	500.00	\$500
	Allowance to repair / replace broken fixtures	1	Is	7,000.00	\$7,000
	HVAC				
	Replace all existing RTU's and repair exterior ductwork	1	Is	60,000.00	\$60,000
	Structural work required due to new units	1	allow	15,000.00	\$15,000
	Replace all ducted furnaces with heat pump style units and reuse ductwork	1	Is	45,000.00	\$45,000
	Remove abandoned exhaust fans and replace non-functional fans	1	Is	5,000.00	\$5,000
	Patch allowance for ceilings and walls	1	Is	5,000.00	\$5,000
	General Conditions Allowance	10.00%	of	\$183,000	\$18,300
	<b>SUBTOTAL</b>				<b>\$201,300</b>
	Contingency			20.00%	\$40,260
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$16,909
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$20,678
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>\$279,147</b>
<b>10 Lighting Upgraded to LED</b>					
	Replace existing fluorescent luminaries one for one with LED style luminaries, maintain existing circuitry and controls	1	Is	75,000.00	\$75,000
	Patch Allowance	1	Is	7,500.00	\$7,500
	General Conditions Allowance	10.00%	of	\$82,500	\$8,250
	<b>SUBTOTAL</b>				<b>\$90,750</b>
	Contingency			20.00%	\$18,150
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$7,623
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$9,322
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>\$125,845</b>
<b>11 Security System update including Cameras</b>					
	Add security System to Facility	1	Is	25,000.00	\$25,000
	Patch Allowance	1	Is	2,500.00	\$2,500
	General Conditions Allowance	10.00%	of	\$162,667	\$16,267
	<b>SUBTOTAL</b>				<b>\$43,767</b>
	Contingency			20.00%	\$8,753
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$3,676

	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$4,496
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>\$60,692</b>
<b>12 Phones and Intercom Coordination</b>					
	Add intercom system in existing facility	1	Is	20,000.00	\$20,000
	Patch Allowance	1	Is	2,500.00	\$2,500
	General Conditions Allowance	10.00%	of	\$22,500	\$2,250
	<b>SUBTOTAL</b>				<b>\$24,750</b>
	Contingency			20.00%	\$4,950
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$2,079
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$2,542
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>\$34,321</b>
<b>13 Electrical - Branch Circuitry</b>					
	Add power to new HVAC Equipment	1	Is	15,000.00	\$15,000
	Replace existing receptacles in code required areas with GFCI	1	Is	5,000.00	\$5,000
	Remove all abandoned wiring back to source and provide covers	1	Is	5,000.00	\$5,000
	Replace all outlets with tamper resistant devices	1	Is	12,000.00	\$12,000
	Replace kitchen receptacles or circuit breakers serving receptacles with GFCI	1	Is	15,000.00	\$15,000
	Patch Allowance	1	Is	5,000.00	\$5,000
	General Conditions Allowance	10.00%	of	\$57,000	\$5,700
	<b>SUBTOTAL</b>				<b>\$62,700</b>
	Contingency			20.00%	\$12,540
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$5,267
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$6,441
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>\$86,947</b>
<b>14 Fire Alarm System</b>					
	Install an Addressible FA System in the existing Facility	1	Is	40,000.00	\$40,000
	Patch Allowance	1	Is	5,000.00	\$5,000
	General Conditions Allowance	10.00%	of	\$45,000	\$4,500
	<b>SUBTOTAL</b>				<b>\$49,500</b>
	Contingency			20.00%	\$9,900
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	\$4,158
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			8.00%	\$5,085
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>\$68,643</b>



Project Owner:	<b>Washington Fruit Community Center</b>	Architect:	KDA
Project Name:	<b>Washington Fruit Community Center</b>	Project Duration:	14 MO
Project Location:	Yakima, WA	Building GSF:	10,660
Project Start Date:	45383	Site GSF:	0
Estimate Date:	June 21, 2023		

<b>ESTIMATE SUMMARY</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
A10	Concrete Work	10,660	BGSF	\$0.89	\$9,496
A20	Basement Construction	10,660	BGSF	\$0.00	\$0
B10	Superstructure	10,660	BGSF	\$1.76	\$18,750
B20	Exterior Enclosure	10,660	BGSF	\$8.78	\$93,560
B30	Roofing	10,660	BGSF	\$16.24	\$173,128
C10	Interior Construction	10,660	BGSF	\$17.80	\$189,755
C20	Stairs	10,660	BGSF	\$0.00	\$0
C30	Interior Finishes	10,660	BGSF	\$19.15	\$204,171
D10	Conveying Systems	10,660	BGSF	\$0.00	\$0
D20	Plumbing	10,660	BGSF	\$10.13	\$108,000
D30	HVAC	10,660	BGSF	\$26.27	\$280,000
D40	Fire Protection	10,660	BGSF	\$0.00	\$0
D50	Electrical	10,660	BGSF	\$40.81	\$435,000
E10	Equipment	10,660	BGSF	\$0.94	\$10,000
E20	Casework & Furnishings	10,660	BGSF	\$4.55	\$48,496
F10	Special Construction	10,660	BGSF	\$0.00	\$0
F20	Selective Demolition	10,660	BGSF	\$8.55	\$91,148
<b>Building Construction Subtotal</b>					<b>\$1,661,504</b>
Design Contingency				20.00%	\$332,301
Subtotal					\$1,993,805
Contractor Mark Up (Overhead, Profit, Insurance, P&P Bond & Sub Bonds)				7.00%	\$139,566
Subtotal					\$2,133,371
Escalation to Mid-Point (See Summary)					\$0
<b>BUILDING GRAND TOTAL</b>		10,660	BGSF	\$200.13	<b>\$2,133,371</b>

Estimate excludes soft costs such as design fees, permits, testing / inspections, construction change order contingencies, loose fixtures / furnishings and sales tax.

DETAILED ESTIMATE		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
A10 CONCRETE WORK					
	Foundation Earthwork				
	Footing Excavation and Backfill	40	cy	\$ 25.00	\$1,000
	Foundations				
	Continuous Footings at new vest and E West Exit @ classroom	32	lf	\$ 50.00	\$1,600
	Perimeter Stem Wall (includes reinforcing)	64	sf	\$ 45.00	\$2,880
	Slab-on-Grade				
	Slab on Grade (includes reinforcing, base course and vapor barrier)	360	sf	\$ 10.00	\$3,600
	Perimeter Insulation / Waterproofing				
	2" Rigid Polystyrene	64	sf	\$ 3.00	\$192
	Stem Wall Damp Proofing	64	sf	\$ 3.50	\$224
	SUBTOTAL FOUNDATIONS	10,660	BGSF	\$0.89	\$9,496
A20 BASEMENT CONSTRUCTION					
	None				
	SUBTOTAL BASEMENT CONSTRUCTION	10,660	BGSF	\$0.00	\$0
B10 SUPERSTRUCTURE					
	Misc Structural				
	Headers / Columns at Lobby / Admin / Classroom	70	lf	\$ 175.00	\$12,250
	Headers at New Window Openings	65	lf	\$ 100.00	\$6,500
	Firestopping - See Interior Partitions				
	SUBTOTAL SUPERSTRUCTURE	10,660	BGSF	\$1.76	\$18,750
B20 EXTERIOR ENCLOSURE					
	Exterior Wall Construction				
	Exterior wall infill at New Classroom	80	sf	\$ 25.00	\$2,000
	Exterior Wall at New Vestibule	240	sf	\$ 24.00	\$5,760
	Exterior Wall Finish				
	Wood Siding at Wall Infill and above vestibule	130	sf	\$ 20.00	\$2,600
	Exterior Windows				
	Storefront/Windows, Standard Clear Anodized with Flashing	600	sf	\$ 70.00	\$42,000
	Exterior Doors				
	Storefront Entry Doors, Hardware, per leaf	2	ea	\$ 4,500.00	\$9,000
	Push Button ADA Auto Operators	1	ea	\$ 4,000.00	\$4,000
	Exterior Paint and Sealants				
	Paint or Stain to Siding	12,000	sf	\$ 2.00	\$24,000
	Patch and prep exterior siding	12,000	sf	\$ 0.35	\$4,200
	Building Graphics				

<b>DETAILED ESTIMATE</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
	Allowance for Building Signage		ls	\$ -	\$0
	<b>SUBTOTAL EXTERIOR ENCLOSURE</b>	<b>10,660</b>	<b>BGSF</b>	<b>\$8.78</b>	<b>\$93,560</b>
<b>B30 ROOFING</b>					
	<b>Roof Coverings</b>				
	Membrane Roofing System with Rigid Insulation	2,478	sf	\$ 18.00	\$44,604
	Asphalt Shingle Roofing - Architectural Grade	9,897	sf	\$ 10.00	\$98,970
	<b>Flashing and Sheet Metal</b>				
	Parapet Caps and Copings	865	lf	25.00	\$21,625
	Miscellaneous Roof Flashing and Blocking	5%	on	\$143,574	\$7,179
	<b>Roof Accessories</b>				
	Walk Pads	100	allow	\$ 7.50	\$750
	<b>SUBTOTAL ROOFING</b>	<b>10,660</b>	<b>BGSF</b>	<b>\$16.24</b>	<b>\$173,128</b>
<b>C10 INTERIOR CONSTRUCTION</b>					
	<b>Partitions</b>				
<b>Metal</b>	GWB Partition (GWB - Finish 2 Sides, 6" metal studs, sound batts)	2,400	sf	\$ 12.25	\$29,400
	Fire Caulking at Penetrations	10,660	gsf	\$ 0.35	\$3,731
	Interior - Caulking and Joint Sealants	10,660	gsf	\$ 0.30	\$3,198
	Miscellaneous Carpentry - Allowance	10,660	gsf	\$ 1.00	\$10,660
	Concrete or CMU Walls - See B10 Superstructure Above				
	<b>Interior Glazing</b>				
	Interior Storefront with 1/4" tempered glazing	64	sf	\$ 60.00	\$3,840
	<b>Interior Doors, Frames, Hardware</b>				
	HM / SCW Dr, HM Frame, Hardware, Complete - Single Door	12	ea	\$ 2,000.00	\$24,000
	Storefront Doors, Hardware, Complete - per leaf	1	ea	\$ 4,200.00	\$4,200
	Access Doors and Panels	10,660	sf	\$ 0.10	\$1,066
	<b>Fittings / Specialties</b>				
101100	Visual Display Specialties				
	Marker Boards (8' x 4')	1	ea	\$ 1,200.00	\$1,200
101400	Signage (Code and Wayfinding)	10,660	gsf	\$ 0.50	\$5,330
102233	Folding Panel Partitions	1,200	sf	\$ 80.00	\$96,000
	Header Support - modify existing - allow	120	lf	\$ 15.00	\$1,800
	Miscellaneous Specialties Allowance (FECs, Corner Guards, etc...)	10,660	gsf	\$ 0.50	\$5,330
	<b>SUBTOTAL INTERIOR CONSTRUCTION</b>	<b>10,660</b>	<b>BGSF</b>	<b>\$17.80</b>	<b>\$189,755</b>

DETAILED ESTIMATE		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
C20 STAIRS					
	None				
	SUBTOTAL STAIRS	10,660	BGSF	\$0.00	\$0
C30 INTERIOR FINISHES					
	Wall Finishes				
	Paint to Walls, Doors, Frames and Miscellaneous	10,660	gsf	\$ 3.00	\$31,980
	Allowance to touch-up existing walls	10,660	sf	\$ 0.35	\$3,731
	Miscellaneous Finish Carpentry Allowance	10,660	gsf	\$ 0.50	\$5,330
	Bases				
	Rubber Base	5,930	sf	\$ 1.00	\$5,930
	Floor Finishes				
	Carpet Tiles	4,790	sf	\$ 6.50	\$31,135
	Sheet Vinyl in Kitchen and Poantry	520	sf	\$ 12.00	\$6,240
	VCT in Classrooms	490	sf	\$ 4.50	\$2,205
	Refinish Wood Floor in Ballroom	3,700	sf	\$ 5.00	\$18,500
	Walk-Off Mat	130	sf	\$ 12.00	\$1,560
	Floor Prep/Moisture Vapor Reducer	9,630	sf	\$ 1.00	\$9,630
	Ceiling Finishes				
	Replace 1x1 in Ballroom	3,600	sf	\$ 6.00	\$21,600
	2x4 ACT	6,030	sf	\$ 11.00	\$66,330
	SUBTOTAL INTERIOR FINISHES	10,660	BGSF	\$19.15	\$204,171
D10 CONVEYING SYSTEMS					
	None				
	SUBTOTAL CONVEYING SYSTEMS	10,660	BGSF	\$0.00	\$0
D20 PLUMBING					
	Plumbing				
	Replace water service to building.	1	ls	30,000.00	\$30,000
	patch slab as needed	1	ls	500.00	\$500
	Replace domestic hot water heaters	1	ls	15,000.00	\$15,000
	Cap sinks in Multi-Purpose Room	1	ls	500.00	\$500
	Allowance to repair / replace broken fixtures	1	ls	7,000.00	\$7,000
	Minimal changes to support Phase 1A Renovations	1	ls	\$ 5,000.00	\$5,000
	Plumbing changes to support Phase 1B Renovations, incl kitchen	1	ls	\$ 50,000.00	\$50,000
	SUBTOTAL PLUMBING	10,660	BGSF	\$10.13	\$108,000

DETAILED ESTIMATE		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
D30 HVAC					
	HVAC				
	Replace all existing RTU's and repair exterior ductwork	1	ls	60,000.00	\$60,000
	Structural work required due to new units	1	allow	20,000.00	\$20,000
	Replace all ducted furnaces with heat pump style units and reuse ductwork	1	ls	45,000.00	\$45,000
	Remove abandoned exhaust fans and replace non-functional fans	1	ls	5,000.00	\$5,000
	Minor HVAC revisions to facilitate phase 1A changes	1	ls	\$ 100,000.00	\$100,000
	Minor HVAC revisions to facilitate phase 1B changes	1	ls	\$ 30,000.00	\$30,000
	Replace kitchen exhaust fan and makeup air unit in 1B	1	ls	\$ 20,000.00	\$20,000
	SUBTOTAL HVAC	10,660	BGSF	\$26.27	\$280,000
D40 FIRE PROTECTION					
	Fire Protection				
	None this option	10,660	gsf		\$0
	SUBTOTAL FIRE PROTECTION	10,660	BGSF	\$0.00	\$0
D50 ELECTRICAL					
	Electrical				
	Add power to new HVAC Equipment	1	ls	15,000.00	\$15,000
	Replace existing receptacles in code required areas with GFCI	1	ls	5,000.00	\$5,000
	Remove all abandoned wiring back to source and provide covers	1	ls	5,000.00	\$5,000
	Replace all outlets with tamper resistant devices	1	ls	12,000.00	\$12,000
	Replace kitchen receptacles or circuit breakers serving receptacles with GFCI	1	ls	15,000.00	\$15,000
	Replace branch circuit panels in same location with new	1	ls	\$ 50,000.00	\$50,000
	Revise outlet location circuiting in areas being upgraded	1	ls	\$ 75,000.00	\$75,000
	Upgrade circuit breakers to shunt-trip type for all kitchen devices under Type 1 Hood	1	ls	\$ 8,000.00	\$8,000
	Replace existing fluorescent luminaries one for one with LED style luminaries, maintain existing circuitry and controls	1	ls	75,000.00	\$75,000
	Provide/Update all remodeled spaces with new LED luminaire layout and controls that nmeet the current WA State energy code, which includes occupancy sensors, daylight and time clock management of public spaces	1	ls	50,000.00	\$50,000
	Additional exterior pole mounted luminaires to provide adequate light level in the exsiting parking lot	1	ls	15,000.00	\$15,000
	Install an Addressible FA System in the existing Facility	1	ls	40,000.00	\$40,000
	Replace the existing fire suppression system in the kitchen with a new automatic system that meets the current IFC	1	ls	\$ 15,000.00	\$15,000
	Add security System to Facility	1	ls	25,000.00	\$25,000
	Add intercom system in existing facility	1	ls	20,000.00	\$20,000
	Relocate the existing sattelite / airpipe internet system into a new closet and extend existing cabling to that location	1	ls	\$ 10,000.00	\$10,000



<b>DETAILED ESTIMATE</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
	<b>SUBTOTAL ELECTRICAL</b>	<b>10,660</b>	<b>BGSF</b>	<b>\$40.81</b>	<b>\$435,000</b>
<b>E10 EQUIPMENT</b>					
	<b>Commercial Kitchen Equipment</b>				
	Relocate existing kitchen equipment. Allowance for cleaning and repair	1	ls	\$ 10,000.00	\$10,000
	<b>SUBTOTAL EQUIPMENT</b>	<b>10,660</b>	<b>BGSF</b>	<b>\$0.94</b>	<b>\$10,000</b>
<b>E20 CASEWORK &amp; FURNISHINGS</b>					
	<b>Fixed Casework</b>				
	Custom P-Lam Casework				
	P-Lam Base w/ P-Lam Countertops - allowance	30	lf	\$ 400.00	\$12,000
	P-Lam Uppers	20	lf	\$ 285.00	\$5,700
	Reception Desk - Allowance	1	ls	\$ 10,000.00	\$10,000
	Full Height Cabinets with Doors	8	lf	\$ 425.00	\$3,400
	<b>Window Treatment</b>				
	Mini Blinds - Sidelights/Relites - allowance	112	sf	\$ 8.00	\$896
	Automated Shades	660	sf	\$ 25.00	\$16,500
	<b>Moveable Furnishings</b>				
	EXCLUDED				
	<b>SUBTOTAL FURNISHINGS</b>	<b>10,660</b>	<b>BGSF</b>	<b>\$4.55</b>	<b>\$48,496</b>
<b>F10 SPECIAL CONSTRUCTION</b>					
	<b>None</b>				
	<b>SUBTOTAL SPECIAL CONSTRUCTION</b>	<b>10,660</b>	<b>BGSF</b>	<b>\$0.00</b>	<b>\$0</b>
<b>F20 SELECTIVE BUILDING DEMOLITION</b>					
	<b>Building Structural Demolition</b>				
	Slab-on-Grade - allowance for plumbing work				
	Saw cut and remove slab at plumbing	200	sf	\$ 15.00	\$3,000
	Cut and remove exterior wall for new storefront - E Wall Ballroom	180	sf	\$ 5.00	\$900
	Install header	20	lf	\$ 100.00	\$2,000
	Reframe opening / patch siding / trim	1	ls	\$ 500.00	\$500
	<b>Building Exterior Demolition</b>				
	Sawcut and remove slab at new vestibule and at Classroom	160	sf	\$ 8.25	\$1,320
	Door, Frame & HW	4	ea	\$ 100.00	\$400
	Demo S Side windows and cut larger openings	180	sf	\$ 15.00	\$2,700
	Storefront	256	sf	\$ 5.00	\$1,280

<b>DETAILED ESTIMATE</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
	<b>Building Interior Demolition</b>				
	Folding Panel Partitions	167	lf	\$ 35.00	\$5,845
	Remove track for E-W partitions in Ballroom	47	lf	\$ 7.00	\$329
	Partitions	350	lf	\$ 7.50	\$2,625
	Substrate Only - allow	1,000	sf	\$ 1.25	\$1,250
	Door, Frame & HW	20	ea	\$ 100.00	\$2,000
	Flooring	9,530	sf	\$ 1.25	\$11,913
	Rubber Base	1,740	lf	\$ 0.75	\$1,305
	Ceilings	9,530	sf	\$ 1.50	\$14,295
	Casework	130	lf	\$ 15.00	\$1,950
	Division 10 Specialties	1	ls	\$ 1,500.00	\$1,500
	Miscellaneous Demolition	80	hrs	\$ 60.00	\$4,800
	Temporary Partitions / Dust Control	1,500	sf	\$ 10.00	\$15,000
	Phasing	2	ea	\$ 2,500.00	\$5,000
	Supervision, Hauling & Dump Fees	15%	on	\$74,912	\$11,237
	Mechanical, Electrical and Plumbing	In MEP Numbers Above			
	<b>Hazardous Components Abatement</b>				
	None				
	<b>SUBTOTAL SELECTIVE BUILDING DEMOLITION</b>	<b>10,660</b>	<b>BGSF</b>	<b>\$8.55</b>	<b>\$91,148</b>
<b>Z10</b>	<b>GENERAL REQUIREMENTS</b>				
	<b>General Conditions</b>				
	See Summary				
	<b>SUBTOTAL GENERAL REQUIREMENTS</b>	<b>10,660</b>	<b>BGSF</b>	<b>\$0.00</b>	<b>\$0</b>

Project Owner: **Washington Fruit Community Center**  
Project Name: **Washington Fruit Community Center**  
Project Location: Yakima, WA  
Start Date: 45383  
Estimate Date: June 21, 2023

Architect: KDA  
Project Duration: 14 MO  
Building GSF: 10,660  
Site GSF: 3,080

<b>ESTIMATE SUMMARY</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
G10	Site Preparation	3,080	gsf	\$1.83	\$5,639
G20	Site Improvements	3,080	gsf	\$14.45	\$44,500
G30	Site Civil / Mech Utilities	3,080	gsf	\$0.00	\$0
G40	Site Electrical Utilities	3,080	gsf	\$0.00	\$0
G50	Other Site Construction	3,080	gsf	\$0.00	\$0
<b>Sitework Subtotal</b>					<b>\$50,139</b>
Design Contingency				20.00%	\$10,028
Subtotal					\$60,167
Contractor Mark Up (Overhead, Profit, Insurance, P&P Bond & Sub Bonds)				7.00%	\$4,212
Subtotal					\$64,378
Escalation				0.00%	\$0
<b>SITE GRAND TOTAL</b>		3,080	BGSF	\$20.90	<b>\$64,378</b>

Estimate excludes soft costs such as design fees, permits, testing / inspections, construction change order contingencies, loose fixtures / furnishings and sales tax.

DETAILED ESTIMATE		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
G10 SITE PREPARATON					
	Site Demolition & Relocation				
	Remove Concrete Walks	795	sf	3.00	\$2,385
	Lawn Site Clearing	2,285	sf	0.75	\$1,714
	Site Earthwork				
	Finish Grading	3,080	sf	0.50	\$1,540
	SUBTOTAL SITE PREPARATON	3,080	SGA	\$1.83	\$5,639
G20 SITE IMPROVEMENTS					
	Concrete Site Work (Base Courses Included)				
	Concrete Sidewalk - 4" over 4" crushed rock	3,080	sf	10.55	\$32,500
	Site Improvements				
	Exit at Fence Areas - Allowance	1	allow	10,000.00	\$10,000
	Landscaping/Irrigation				
	Patch allowance - Landscape and Irrigation	1	ls	2,000.00	\$2,000
	SUBTOTAL SITE IMPROVEMENTS	3,080	SGA	\$14.45	\$44,500
G30 SITE CIVIL / MECHANICAL UTILITIES					
	None				
	SUBTOTAL SITE CIVIL / MECHANICAL UTILITIES	3,080	SGA	\$0.00	\$0
G40 SITE ELECTRICAL UTILITIES					
	Electrical and Telecom Utilities				
	Site Electrical		in Bldg		
	SUBTOTAL SITE ELECTRICAL UTILITIES	3,080	SGA	\$0.00	\$0
G50 OTHER SITE CONSTRUCTION					
	None				
	SUBTOTAL OTHER SITE CONSTRUCTION	3,080	SGA	\$0.00	\$0
Z10 GENERAL REQUIREMENTS					
	General Conditions				
	See Summary				
	SUBTOTAL GENERAL REQUIREMENTS	3,080	SGA	\$0.00	\$0

Project Owner:	<b>Washington Fruit Community Center</b>	Architect:	KDA
Project Name:	<b>Washington Fruit Community Center</b>	Project Duration:	14 MO
Project Location:	Yakima, WA	Building GSF:	20,460
Project Start Date:	45383	Site GSF:	0
Estimate Date:	June 21, 2023		

<b>ESTIMATE SUMMARY</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
A10	Concrete Work	20,460	BGSF	\$7.73	\$158,251
A20	Basement Construction	20,460	BGSF	\$0.00	\$0
B10	Superstructure	20,460	BGSF	\$14.57	\$298,090
B20	Exterior Enclosure	20,460	BGSF	\$33.09	\$677,070
B30	Roofing	20,460	BGSF	\$18.03	\$368,871
C10	Interior Construction	20,460	BGSF	\$14.95	\$305,825
C20	Stairs	20,460	BGSF	\$0.00	\$0
C30	Interior Finishes	20,460	BGSF	\$27.49	\$562,363
D10	Conveying Systems	20,460	BGSF	\$0.00	\$0
D20	Plumbing	20,460	BGSF	\$23.61	\$483,000
D30	HVAC	20,460	BGSF	\$52.54	\$1,075,000
D40	Fire Protection	20,460	BGSF	\$5.50	\$112,530
D50	Electrical	20,460	BGSF	\$58.65	\$1,200,000
E10	Equipment	20,460	BGSF	\$4.81	\$98,345
E20	Casework & Furnishings	20,460	BGSF	\$2.74	\$55,996
F10	Special Construction	20,460	BGSF	\$0.00	\$0
F20	Selective Demolition	20,460	BGSF	\$5.89	\$120,516
<b>Building Construction Subtotal</b>					<b>\$5,515,857</b>
Design Contingency				20.00%	\$1,103,171
Subtotal					\$6,619,028
Contractor Mark Up (Overhead, Profit, Insurance, P&P Bond & Sub Bonds)				7.00%	\$463,332
Subtotal					\$7,082,360
Escalation to Mid-Point (See Summary)					\$0
<b>BUILDING GRAND TOTAL</b>		20,460	BGSF	\$346.16	<b>\$7,082,360</b>

Estimate excludes soft costs such as design fees, permits, testing / inspections, construction change order contingencies, loose fixtures / furnishings and sales tax.



DETAILED ESTIMATE		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
A10 CONCRETE WORK					
	Foundation Earthwork				
	Footing Excavation and Backfill	420	cy	\$ 25.00	\$10,500
	Perimeter Foundation Drain	365	lf	\$ 30.00	\$10,950
	Foundations				
	Continuous Footings at new vest and E West Exit @ classroom	678	lf	\$ 55.00	\$37,290
	Perimeter Stem Wall (includes reinforcing)	320	sf	\$ 45.00	\$14,400
	Slab-on-Grade				
	Slab on Grade (includes reinforcing, base course and vapor barrier)	10,660	sf	\$ 7.50	\$79,950
	Perimeter Insulation / Waterproofing				
	2" Rigid Polystyrene	794	sf	\$ 3.00	\$2,382
	Stem Wall Damp Proofing	794	sf	\$ 3.50	\$2,779
	SUBTOTAL FOUNDATIONS	20,460	BGSF	\$7.73	\$158,251
A20 BASEMENT CONSTRUCTION					
	None				
	SUBTOTAL BASEMENT CONSTRUCTION	20,460	BGSF	\$0.00	\$0
B10 SUPERSTRUCTURE					
	Misc Structural				
	Header / Columns at Waiting and Conference	60	lf	\$ 175.00	\$10,500
	New Header for Panel Partition Wall in Beyond the Bell - with columns (due to shortening of room)	25	lf	\$ 200.00	\$5,000
	Roof Structures				
	Gym - Open Web Wood Joists + Wood Framing as req'd	6,400	sf	\$ 24.00	\$153,600
	Lower Structures - Wood I Joists + Wood Framing as req'd	3,500	sf	\$ 20.00	\$70,000
	Plywood	9,900	sf	\$ 3.00	\$29,700
	Misc Fasteners, Hangers, Rough Hardware	9,900	ea	\$ 1.00	\$9,900
	Floor Structure - mezzanine at Gym				
	I Joists	740	sf	\$ 18.00	\$13,320
	Plywood	740	sf	\$ 4.50	\$3,330
	Misc Fasteners, Hangers, Rough Hardware	740	ea	\$ 1.00	\$740
	Misc Structural				
	HD's at Wood Framed Walls	10	ea	\$ 200.00	\$2,000
	Firestopping - See Interior Partitions				\$0
	SUBTOTAL SUPERSTRUCTURE	20,460	BGSF	\$14.57	\$298,090
B20 EXTERIOR ENCLOSURE					
	Exterior Wall Construction				
	Exterior wall infill at E and W Exits	160	sf	\$ 25.00	\$4,000
	Exterior Walls	2,744	sf	\$ 24.00	\$65,856

<b>DETAILED ESTIMATE</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
	<b>CMU Walls</b>				
	12" Walls	10,496	sf	\$ 32.00	\$335,872
	8" Walls	1,984	sf	\$ 30.00	\$59,520
	Rebar in Walls	12,480	sf	\$ 1.40	\$17,472
	<b>Exterior Wall Finish</b>				
	Wood Siding	2,904	sf	\$ 20.00	\$58,080
	<b>Exterior Windows</b>				
	Storefront/Windows, Standard Clear Anodized with Flashing	852	sf	\$ 70.00	\$59,640
	<b>Exterior Doors</b>				
	Storefront Entry Doors, Hardware, per leaf	2	ea	\$ 4,500.00	\$9,000
	HM / SCW Dr, HM Frame, Hardware, Complete - Pair Doors	3	ea	\$ 3,850.00	\$11,550
	Push Button ADA Auto Operators	1	ea	\$ 4,000.00	\$4,000
	<b>Exterior Paint and Sealants</b>				
	Paint or Stain to Siding	14,904	sf	\$ 2.00	\$29,808
	Patch and prep existing exterior siding	12,000	sf	\$ 0.35	\$4,200
	Sealant at CMU	4,836	sf	\$ 2.00	\$9,672
	Anti-graffiti at CMU	2,100	sf	\$ 4.00	\$8,400
	<b>Building Graphics</b>				
	Allowance for Building Signage		ls	\$ -	\$0
	<b>SUBTOTAL EXTERIOR ENCLOSURE</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$33.09</b>	<b>\$677,070</b>
<b>B30 ROOFING</b>					
	<b>Roof Coverings</b>				
	Membrane Roofing System with Rigid Insulation	10,878	sf	\$ 18.00	\$195,804
	Wrap Membrane up Parapet Walls	910	sf	\$ 6.00	\$5,460
	Asphalt Shingle Roofing - Architectural Grade	11,397	sf	\$ 10.00	\$113,970
	<b>Flashing and Sheet Metal</b>				
	Parapet Caps and Copings	1,285	lf	25.00	\$32,125
	Fascia at Sloped Roof Area	155	lf	25.00	\$3,875
	Miscellaneous Roof Flashing and Blocking	5%	on	\$315,234	\$15,762
	<b>Roof Accessories</b>				
	Walk Pads	250	allow	\$ 7.50	\$1,875
	<b>SUBTOTAL ROOFING</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$18.03</b>	<b>\$368,871</b>
<b>C10 INTERIOR CONSTRUCTION</b>					

<b>DETAILED ESTIMATE</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
	<b>Partitions</b>				
<b>Metal</b>	GWB Partition (GWB - Finish 2 Sides, 6" metal studs, sound batts)	4,480	sf	\$ 12.25	\$54,880
	Fire Caulking at Penetrations	20,460	gsf	\$ 0.35	\$7,161
	Interior - Caulking and Joint Sealants	20,460	gsf	\$ 0.30	\$6,138
	Miscellaneous Carpentry - Allowance	20,460	gsf	\$ 1.00	\$20,460
	Concrete or CMU Walls - See B10 Superstructure Above				
	<b>Interior Glazing</b>				
	Interior Storefront with 1/4" tempered glazing	96	sf	\$ 60.00	\$5,760
	Wall mirrors in Dance Studio	500	sf	\$ 20.00	\$10,000
	<b>Interior Doors, Frames, Hardware</b>				
	HM / SCW Dr, HM Frame, Hardware, Complete - Single Door	24	ea	\$ 2,000.00	\$48,000
	HM / SCW Dr, HM Frame, Hardware, Complete - Pair Doors	2	ea	\$ 3,750.00	\$7,500
	Storefront Doors, Hardware, Complete - per leaf	2	ea	\$ 4,300.00	\$8,600
	Access Doors and Panels	20,460	sf	\$ 0.10	\$2,046
	<b>Fittings / Specialties</b>				
	Toilet Compartments - Phenolic				
	ADA Stalls	2	stalls	\$ 1,300.00	\$2,600
	Standard Stalls	3	stalls	\$ 1,100.00	\$3,300
	Urinal Screens	1	ea	\$ 350.00	\$350
	Toilet Accessories				
	Baby Changing Station	2	ea	\$ 750.00	\$1,500
	Coat Hook	5	ea	\$ 45.00	\$225
	Framed Mirror	4	ea	\$ 150.00	\$600
	Grab Bars - Large ADA Stall (3 Total: 1 - Vertical, 2- Horizontal)	2	ea	\$ 400.00	\$800
	Mop and Broom Holder	1	ea	\$ 50.00	\$50
	Paper Towel Dispenser	2	ea	\$ 175.00	\$350
	Sanitary Napkin Dispenser	1	ea	\$ 750.00	\$750
	Sanitary Napkin Disposal	3	ea	\$ 85.00	\$255
	Soap Dispenser	4	ea	\$ 85.00	\$340
	Toilet Paper Dispenser	5	ea	\$ 60.00	\$300
	Toilet Seat Cover Dispenser	5	ea	\$ 120.00	\$600
	Trash Receptacle (Recessed)	2	ea	\$ 325.00	\$650
	Visual Display Specialties				
	Marker Boards (8' x 4')	3	ea	\$ 1,200.00	\$3,600
	Signage (Code and Wayfinding)	20,460	gsf	\$ 0.50	\$10,230
	Folding Panel Partitions	1,200	sf	\$ 80.00	\$96,000
	Header Support - modify existing - allow	120	lf	\$ 15.00	\$1,800
	Knox Box	1	ea	\$ 750.00	\$750
	Miscellaneous Specialties Allowance (FECs, Corner Guards, etc...)	20,460	gsf	\$ 0.50	\$10,230
	<b>SUBTOTAL INTERIOR CONSTRUCTION</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$14.95</b>	<b>\$305,825</b>

DETAILED ESTIMATE		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
C20 STAIRS					
	None				
	SUBTOTAL STAIRS	20,460	BGSF	\$0.00	\$0
C30 INTERIOR FINISHES					
	Wall Finishes				
	Paint to Walls, Doors, Frames and Miscellaneous	20,460	gsf	\$ 3.00	\$61,380
	Allowance to touch-up existing walls	10,660	sf	\$ 0.35	\$3,731
	Acoustic Panels in Gym - Allowance	600	sf	\$ 20.00	\$12,000
	Ceramic Tile Walls in Toilet Rooms	720	sf	\$ 20.00	\$14,400
	Miscellaneous Finish Carpentry Allowance	20,460	gsf	\$ 0.50	\$10,230
	Bases				
	Rubber Base	8,465	sf	\$ 1.00	\$8,465
	Floor Finishes				
	Carpet Tiles	6,417	sf	\$ 6.50	\$41,711
	Ceramic Tile at Toilet Rooms	410	sf	\$ 20.00	\$8,200
	Sheet Vinyl in Kitchen and Poantry	520	sf	\$ 12.00	\$6,240
	VCT in Classrooms	1,308	sf	\$ 4.50	\$5,886
	Refinish Wood Floor in Ballroom	3,700	sf	\$ 5.00	\$18,500
	Wood Floors in Gym and Dance Studio	7,885	sf	\$ 20.00	\$157,700
	Walk-Off Mat	220	sf	\$ 12.00	\$2,640
	Floor Prep/Moisture Vapor Reducer	20,460	sf	\$ 1.00	\$20,460
	Ceiling Finishes				
	Replace 1x1 in Ballroom	3,600	sf	\$ 6.00	\$21,600
	2x4 ACT	9,900	sf	\$ 11.00	\$108,900
	Paint Exposed Structure	7,885	sf	\$ 2.00	\$15,770
	Acoustic Clouds in Dance Studio - 75%	1,485	sf	\$ 30.00	\$44,550
	SUBTOTAL INTERIOR FINISHES	20,460	BGSF	\$27.49	\$562,363
D10 CONVEYING SYSTEMS					
	None				
	SUBTOTAL CONVEYING SYSTEMS	20,460	BGSF	\$0.00	\$0
D20 PLUMBING					
	Plumbing				
	Replace water service to building.	1	ls	30,000.00	\$30,000
	patch slab as needed	1	ls	500.00	\$500
	Replace domestic hot water heaters	1	ls	15,000.00	\$15,000
	Cap sinks in Multi-Purpose Room	1	ls	500.00	\$500
	Allowance to repair / replace broken fixtures	1	ls	7,000.00	\$7,000

<b>DETAILED ESTIMATE</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
	Minimal changes to support Phase 1A Renovations	1	ls	\$ 5,000.00	\$5,000
	Plumbing changes to support Phase 1B Renovations, incl kitchen	1	ls	\$ 50,000.00	\$50,000
	New plumbing to serve the new addition	1	ls	\$ 350,000.00	\$350,000
	Relocation of water entry room and water heater to a new mechanical room to make room for new entry	1	ls	\$ 25,000.00	\$25,000
	<b>SUBTOTAL PLUMBING</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$23.61</b>	<b>\$483,000</b>
<b>D30 HVAC</b>					
	<b>HVAC</b>				
	Replace all existing RTU's and repair exterior ductwork	1	ls	60,000.00	\$60,000
	Structural work required due to new units	1	allow	15,000.00	\$15,000
	Replace all ducted furnaces with heat pump style units and reuse ductwork	1	ls	45,000.00	\$45,000
	Remove abandoned exhaust fans and replace non-functional fans	1	ls	5,000.00	\$5,000
	Minor HVAC revisions to facilitate phase 1A changes	1	ls	\$ 100,000.00	\$100,000
	Minor HVAC revisions to facilitate phase 1B changes	1	ls	\$ 30,000.00	\$30,000
	Replace kitchen exhaust fan and makeup air unit in 1B	1	ls	\$ 20,000.00	\$20,000
	New VRF and DOAS to serve new addition	1	ls	\$ 800,000.00	\$800,000
	<b>SUBTOTAL HVAC</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$52.54</b>	<b>\$1,075,000</b>
<b>D40 FIRE PROTECTION</b>					
	<b>Fire Protection</b>				
	Automatic Sprinkler System	20,460	gsf	\$ 5.50	\$112,530
	<b>SUBTOTAL FIRE PROTECTION</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$5.50</b>	<b>\$112,530</b>
<b>D50 ELECTRICAL</b>					
	<b>Electrical</b>				
	Relocation of the existing main service routed into a new 10'x10' main electrical room in the new addition. Reroute brance service feeders to the new electrical room location	1	ls	200,000.00	\$200,000
	Add power to new HVAC Equipment	1	ls	15,000.00	\$15,000
	Replace existing receptacles in code required areas with GFCI	1	ls	5,000.00	\$5,000
	Remove all abandoned wiring back to source and provide covers	1	ls	5,000.00	\$5,000
	Replace all outlets with tamper resistant devices	1	ls	12,000.00	\$12,000
	Replace kitchen receptacles or circuit breakers serving receptacles with GFCI	1	ls	15,000.00	\$15,000
	Replace branch circuit panels in same location with new	1	ls	\$ 50,000.00	\$50,000
	Revise outlet location circuiting in areas being upgraded	1	ls	\$ 75,000.00	\$75,000
	Upgrade circuit breakers to shunt-trip type for all kitchen devices under Type 1 Hood	1	ls	\$ 8,000.00	\$8,000



<b>DETAILED ESTIMATE</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
	Relocation of the existing branch circuit panels into the new 10'x10' main electrical room in the new addition	1	ls	\$ 75,000.00	\$75,000
	Replace all circuits and devices in the new and renovated spaces	1	ls	\$ 200,000.00	\$200,000
	Provide/Update all existing remodeled, and new addition spaces with new LED luminaire layout and controls that nmeet the current WA State energy code, which includes occupancy sensors, daylight and time clock management of public spaces	1	ls	220,000.00	\$220,000
	Additional exterior pole mounted luminaires to provide adequate light level in the exsiting parking lot	1	ls	25,000.00	\$25,000
	Install an Addressible FA System in the existing Facility	1	ls	80,000.00	\$80,000
	Replace the existing fire suppression system in the kitchen with a new automatic system that meets the current IFC	1	ls	\$ 15,000.00	\$15,000
	Upgrade the entire facility communication system so all devices are on a single fiber backbone system. Relocate all headend services (copper, fiber, security, intercom) into a new 10'x10' main communications room located in the new addition.	1	ls	25,000.00	\$25,000
	Provide new Cat-6 cabling throughout the building	1	ls	80,000.00	\$80,000
	Add security system and Cameras to the facility	1	ls	50,000.00	\$50,000
	Add intercom system into existing spaces	1	ls	45,000.00	\$45,000
	<b>SUBTOTAL ELECTRICAL</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$58.65</b>	<b>\$1,200,000</b>
<b>E10 EQUIPMENT</b>					
	<b>Commercial Kitchen Equipment</b>				
	Relocate existing kitchen equipment. Allowance for cleaning and repair	1	ls	\$ 10,000.00	\$10,000
	<b>Gym Equipment</b>				
	Ceiling Mount Electrical Backboards and Goals	2	ea	\$ 13,500.00	\$27,000
	Wall Mount Backboard and Goals	4	ea	\$ 4,000.00	\$16,000
	Volleyball Sleeves	2	ea	\$ 700.00	\$1,400
	Ceiling Hung Divider Curtain	1,375	sf	\$ 15.00	\$20,625
	Wall Pads to 7'	1,540	sf	\$ 8.00	\$12,320
	Scoreboard	1	ea	\$ 10,000.00	\$10,000
	Shot Clocks	2	ea	\$ 500.00	\$1,000
	<b>SUBTOTAL EQUIPMENT</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$4.81</b>	<b>\$98,345</b>
<b>E20 CASEWORK &amp; FURNISHINGS</b>					
	<b>Fixed Casework</b>				
	Custom P-Lam Casework				
	P-Lam Base w/ P-Lam Countertops - allowance	30	lf	\$ 400.00	\$12,000
	P-Lam Uppers	20	lf	\$ 285.00	\$5,700
	Reception Desk - Allowance	1	ls	\$ 10,000.00	\$10,000
	Full Height Cabinets with Doors	8	lf	\$ 425.00	\$3,400
	Cubbies in Dance Studio	20	lf	\$ 450.00	\$9,000

<b>DETAILED ESTIMATE</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
	<b>Window Treatment</b>				
	Mini Blinds - Sidelights/Relites - allowance	112	sf	\$ 8.00	\$896
	Automated Shades	480	sf	\$ 25.00	\$12,000
	<b>Studio Equipment</b>				
	Ballet Barre	60	lf	\$ 50.00	\$3,000
	<b>Moveable Furnishings</b>				
	EXCLUDED				
	<b>SUBTOTAL FURNISHINGS</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$2.74</b>	<b>\$55,996</b>
<b>F10 SPECIAL CONSTRUCTION</b>					
	None				
	<b>SUBTOTAL SPECIAL CONSTRUCTION</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$0.00</b>	<b>\$0</b>
<b>F20 SELECTIVE BUILDING DEMOLITION</b>					
	<b>Building Structural Demolition</b>				
	Slab-on-Grade - allowance for plumbing work				
	Saw cut and remove slab at plumbing	200	sf	\$ 15.00	\$3,000
	Cut and remove exterior wall for new storefront - E Wall Ballroom	180	sf	\$ 5.00	\$900
	Install header	20	lf	\$ 100.00	\$2,000
	Reframe opening / patch siding / trim	1	ls	\$ 500.00	\$500
	Canopy along south and east sides	1,500	sf	\$ 10.00	\$15,000
	Patch and repair siding at East Side	250	sf	\$ 20.00	\$5,000
	<b>Building Exterior Demolition</b>				
	Sawcut and remove slab at new vestibule and at Classroom	160	sf	\$ 8.25	\$1,320
	Door, Frame & HW	4	ea	\$ 100.00	\$400
	Storefront	256	sf	\$ 5.00	\$1,280
	Remove Windows on South Side	17	ea	\$ 125.00	\$2,125
	Remove section of wall at Tie-ins	200	sf	\$ 10.00	\$2,000
	Remove siding along south side	1,200	sf	\$ 0.75	\$900
	<b>Building Interior Demolition</b>				
	Folding Panel Partitions	167	lf	\$ 35.00	\$5,845
	Remove track for E-W partitions in Ballroom	47	lf	\$ 7.00	\$329
	Partitions	375	lf	\$ 7.50	\$2,813
	Substrate Only - allow	1,500	sf	\$ 1.25	\$1,875
	Door, Frame & HW	20	ea	\$ 100.00	\$2,000
	Flooring	9,530	sf	\$ 1.25	\$11,913
	Rubber Base	1,740	lf	\$ 0.75	\$1,305
	Ceilings	9,530	sf	\$ 1.50	\$14,295
	Casework	130	lf	\$ 15.00	\$1,950
	Division 10 Specialties	1	ls	\$ 1,500.00	\$1,500
	Miscellaneous Demolition	120	hrs	\$ 60.00	\$7,200

<b>DETAILED ESTIMATE</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
	Temporary Partitions / Dust Control	1,500	sf	\$ 10.00	\$15,000
	Phasing	2	ea	\$ 2,500.00	\$5,000
	Supervision, Hauling & Dump Fees	15%	on	\$100,449	\$15,067
	Mechanical, Electrical and Plumbing	In MEP Numbers Above			
	<b>Hazardous Components Abatement</b>				
	None				
	<b>SUBTOTAL SELECTIVE BUILDING DEMOLITION</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$5.89</b>	<b>\$120,516</b>
<b>Z10 GENERAL REQUIREMENTS</b>					
	<b>General Conditions</b>				
	See Summary				
	<b>SUBTOTAL GENERAL REQUIREMENTS</b>	<b>20,460</b>	<b>BGSF</b>	<b>\$0.00</b>	<b>\$0</b>

Project Owner:	<b>Washington Fruit Community Center</b>	Architect:	KDA
Project Name:	<b>Washington Fruit Community Center</b>	Project Duration:	14 MO
Project Location:	Yakima, WA	Building GSF:	10,660
Start Date:	45383	Site GSF:	25,000
Estimate Date:	June 21, 2023		

<b>ESTIMATE SUMMARY</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
G10	Site Preparation	25,000	gsf	\$4.16	\$103,879
G20	Site Improvements	25,000	gsf	\$9.15	\$228,735
G30	Site Civil / Mech Utilities	25,000	gsf	\$3.19	\$79,800
G40	Site Electrical Utilities	25,000	gsf	\$0.00	\$0
G50	Other Site Construction	25,000	gsf	\$0.00	\$0
<b>Sitework Grand Subtotal</b>					<b>\$412,414</b>
Design Contingency				20.00%	\$82,483
Subtotal					\$494,897
Contractor Mark Up (Overhead, Profit, Insurance, P&P Bond & Sub Bonds)				7.00%	\$34,643
Subtotal					\$529,539
Escalation				0.00%	\$0
<b>SITE GRAND TOTAL</b>		25,000	BGSF	\$21.18	<b>\$529,539</b>

Estimate excludes soft costs such as design fees, permits, testing / inspections, construction change order contingencies, loose fixtures / furnishings and sales tax.

DETAILED ESTIMATE		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
G10 SITE PREPARATON					
	Mobilization	1	ls	10,000.00	\$10,000
	Site Demolition & Relocation				
	Demo Entry Canopy	1,500	sf	4.00	\$6,000
	Sawcut Existing Asphalt Paving Lines	150	lf	2.00	\$300
	Remove Asphalt Paving	11,075	sf	1.00	\$11,075
	Remove Concrete Walks	1,600	sf	2.00	\$3,200
	Misc. Site Clearing	1	ls	2,500.00	\$2,500
	Site Earthwork				
	Temporary Construction Fencing	750	lf	15.00	\$11,250
	TESC Erosion Control				
	Filter Fabric Fence	600	lf	6.00	\$3,600
	Catch Basin Inlet Protection	2	ea	150.00	\$300
	Stabilized Construction Entry	650	sf	2.50	\$1,625
	Tree Protection Fencing	50	lf	20.00	\$1,000
	Contractor Access and Laydown Area	1,000	sf	2.00	\$2,000
	Clear and Grub	25,000	sf	0.25	\$6,250
	Excavation				
	Strip Topsoil (to stockpile)	370	cy	3.75	\$1,389
	Native Cut / Fill - Allowance	926	cy	15.00	\$13,890
	Export Unsuitable - Allowance	350	cy	35.00	\$12,250
	Imported Fill - Allowance	100	cy	35.00	\$3,500
	Building Pad	10,000	sf	\$ 0.75	\$7,500
	Finish Grading	25,000	sf	0.25	\$6,250
	Dewatering - Allowance		ls	-	\$0
	Foundation Earthwork				
	Footing Excavation and Backfill	In Building Section A10			
	Footing Drains with Gravel	In Building Section A10			
	Hazardous Waste Remediation				
	None Included				
	SUBTOTAL SITE PREPARATON	25,000	SGA	\$4.16	\$103,879
G20 SITE IMPROVEMENTS					
	Asphalt Paving (Base Courses Included)				
	Light Duty (Play Area) (2" HMA over 4" Crushed Rock)	4,020	sf	3.00	\$12,060
	Concrete Site Work (Base Courses Included)				
	Curbs - Standard	170	lf	20.00	\$3,400
	Concrete Sidewalk - 4" over 4" crushed rock	7,200	sf	7.00	\$50,400
	Concrete Driveway Entries over 6" crushed rock	1	ea	4,500.00	\$4,500
	Pavement Markings/Site Signage				
	Wheel Stops	6	ea	200.00	\$1,200
	Striping - ADA Stalls with Signage	6	ea	950.00	\$5,700



<b>DETAILED ESTIMATE</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
	Striping - Cross Hatching	600	sf	1.00	\$600
	Tactile Warning Strips	160	sf	35.00	\$5,600
	<b>Site Development</b>				
	Entry Canopy	1,020	sf	90.00	\$91,800
	Flagpole	1	ls	3,500.00	\$3,500
	Bike Rack	1	ea	600.00	\$600
	Exit at Fence Areas - Allowance	1	allow	10,000.00	\$10,000
	<b>Landscaping/Irrigation</b>				
	Irrigation - General Landscaping	6,500	sf	3.00	\$19,500
	Place Topsoil (from stockpile)	200	cy	15.00	\$3,000
	Planter Shrubs and Ground Cover	4,000	sf	3.00	\$12,000
	Sod	2,500	sf	0.75	\$1,875
	Trees	6	ea	500.00	\$3,000
	<b>SUBTOTAL SITE IMPROVEMENTS</b>	<b>25,000</b>	<b>SGA</b>	<b>\$9.15</b>	<b>\$228,735</b>
<b>G30 SITE CIVIL / MECHANICAL UTILITIES</b>					
	<b>Water Service</b>				
	Tie-in at Existing (includes gate valve)	1	ea	\$ 3,000.00	\$3,000
	Water/Fire Line, 6" Ductile Iron (includes trench, bedding and backfill)	100	lf	\$ 75.00	\$7,500
	Water Meter	1	ea	\$ 5,000.00	\$5,000
	Irrigation Meter	1	ea	\$ 1,500.00	\$1,500
	Irrigation Line, 1" PVC (includes trench, bedding and backfill)	100	lf	\$ 15.00	\$1,500
	Double Check Valve (in vault)	1	ea	\$ 12,000.00	\$12,000
	Pressure Reducing Valve (Domestic)	1	ea	\$ 3,700.00	\$3,700
	Domestic Water, 4" Ductile Iron (includes trench, bedding and backfill)	100	lf	\$ 55.00	\$5,500
	FDC - Fire Department Connection	1	ea	\$ 1,800.00	\$1,800
	PIV - Post Indicator Valve	1	ea	\$ 2,500.00	\$2,500
	Street Patch Allowance	1	ls	\$ 5,000.00	\$5,000
	<b>Sanitary Sewer Systems</b>				
	Tie-in at Existing	1	ea	\$ 500.00	\$500
	Side Sewer, 6" PVC (includes trench, bedding and backfill)	100	lf	\$ 45.00	\$4,500
	Cleanouts	2	ea	\$ 650.00	\$1,300
	Manhole	1	ea	\$ 3,500.00	\$3,500
	Existing Street Surface Repair/Traffic Control	1	ls	\$ 5,000.00	\$5,000
	<b>Storm Drainage</b>				
	Drain Line, 12" PVC (includes trench, bedding and backfill)	100	lf	\$ 40.00	\$4,000
	Roof Drain Line, 4"/6" PVC (includes trench, bedding and backfill)	100	lf	\$ 30.00	\$3,000
	Cleanouts	2	ea	\$ 500.00	\$1,000
	Catch Basin	1	ea	\$ 2,500.00	\$2,500
	Drywells	1	ea	\$ 5,500.00	\$5,500
	<b>SUBTOTAL SITE CIVIL / MECHANICAL UTILITIES</b>	<b>25,000</b>	<b>SGA</b>	<b>\$3.19</b>	<b>\$79,800</b>

<b>DETAILED ESTIMATE</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
<b>G40</b>	<b>SITE ELECTRICAL UTILITIES</b>				
	Electrical and Telecom Utilities				
	Site Electrical		in Bldg		
	<b>SUBTOTAL SITE ELECTRICAL UTILITIES</b>	<b>25,000</b>	<b>SGA</b>	<b>\$0.00</b>	<b>\$0</b>
<b>G50</b>	<b>OTHER SITE CONSTRUCTION</b>				
	None				
	<b>SUBTOTAL OTHER SITE CONSTRUCTION</b>	<b>25,000</b>	<b>SGA</b>	<b>\$0.00</b>	<b>\$0</b>
<b>Z10</b>	<b>GENERAL REQUIREMENTS</b>				
	General Conditions				
	See Summary				
	<b>SUBTOTAL GENERAL REQUIREMENTS</b>	<b>25,000</b>	<b>SGA</b>	<b>\$0.00</b>	<b>\$0</b>

Project Owner: **Washington Fruit Community Center**  
Project Name: **Washington Fruit Community Center**  
Project Location: Yakima, WA  
Start Date: April 1, 2024  
Estimate Date: June 21, 2023

Architect: KDA  
Duration: #REF!  
Project GSF: #REF!  
Site GSF: #REF!

<b>ALTERNATE ESTIMATES SUMMARY</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
No.	Description				
1	Grand Option - Steel Roof Structure at Gym	1	ls		(\$13,086)
<b>Total Alternate Estimates</b>					<b>(\$13,086)</b>

Estimate excludes soft costs such as design fees, permits, testing / inspections, construction change order contingencies, loose fixtures / furnishings and sales tax.

<b>PROJECT COST ALTERNATES</b>		Quantity	Unit of Measure	Unit Cost	Total Estimated Cost
Alt No.	Description				
<b>1</b>	<b>Grand Option - Steel Roof Structure at Gym</b>				
	Deduct Wood Framing	6,400	sf	(24.00)	(\$153,600)
	Deduct Plywood Deck	6,400	sf	(3.00)	(\$19,200)
	Add Metal Josits	6,400	sf	20.00	\$128,000
	Add Perimeter L	330	lf	25.00	\$8,250
	Add Metal Deck - B Type	6,400	sf	4.50	\$28,800
					\$0
	<b>SUBTOTAL</b>				<b>(\$7,750)</b>
	Contingency			20.00%	(\$1,550)
	Markups (Insurance, Bond, OH & P, B&O Tax)			7.00%	(\$651)
	Escalation to Midpoint (Q3, 2026 @ 6%/Year)			31.50%	(\$3,135)
	<b>TOTAL ESTIMATED CONSTRUCTION COSTS</b>				<b>(\$13,086)</b>

Dashboard

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Comments

Genesis Blocks

Appearance

Plugins 2

Users

Tools

Settings

SEO

Nivo Slider

Wordfence

Security

Collapse menu



2021 Washington Fruit ...

Edit

Settings

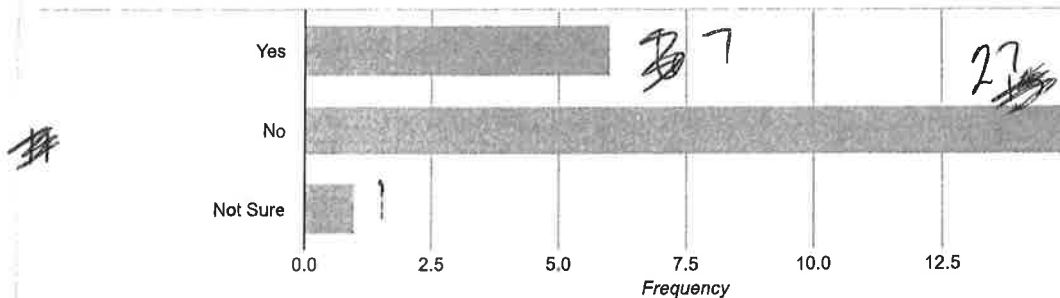
Entries

Survey Results

Preview

Welcome to Gravity Forms 2.5! [Learn more](#) about all the new features and updates included in this version.

Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past?



Results Filter

Include results

Add a condition

Start date

End date

Apply filter

If you answered yes, please tell us what programs you or your family members attended.

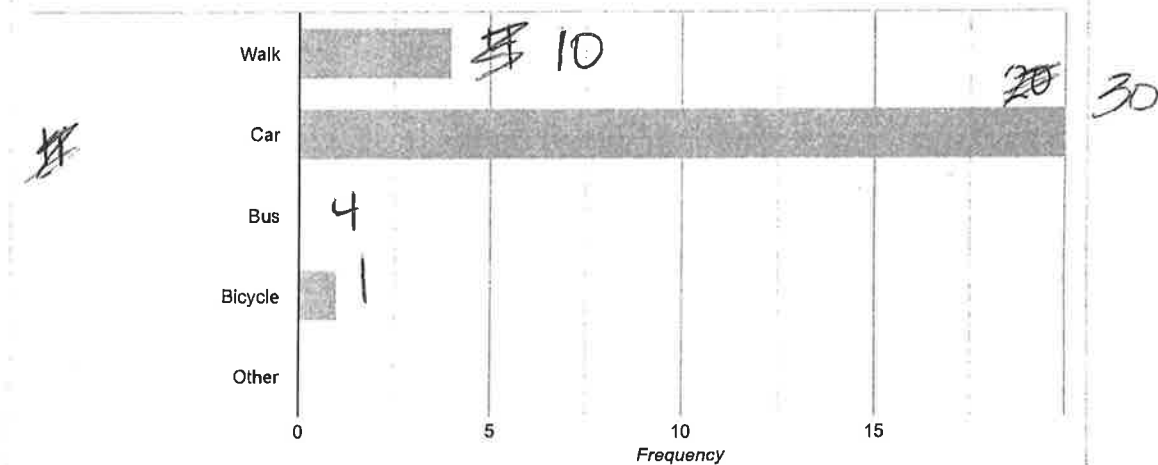
Latest values:

- Kids After School,, Summer Day Camp,, Membership, Karate class
- Youth daycare
- Ham Radio swap meet, back in 1993
- We provided esl classes to adults in the past through thr yakima school district and tutoring for students.
- Years ago after school activities and attended meetings held at the center

[Show more](#)

Boxing &amp; k

In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center?



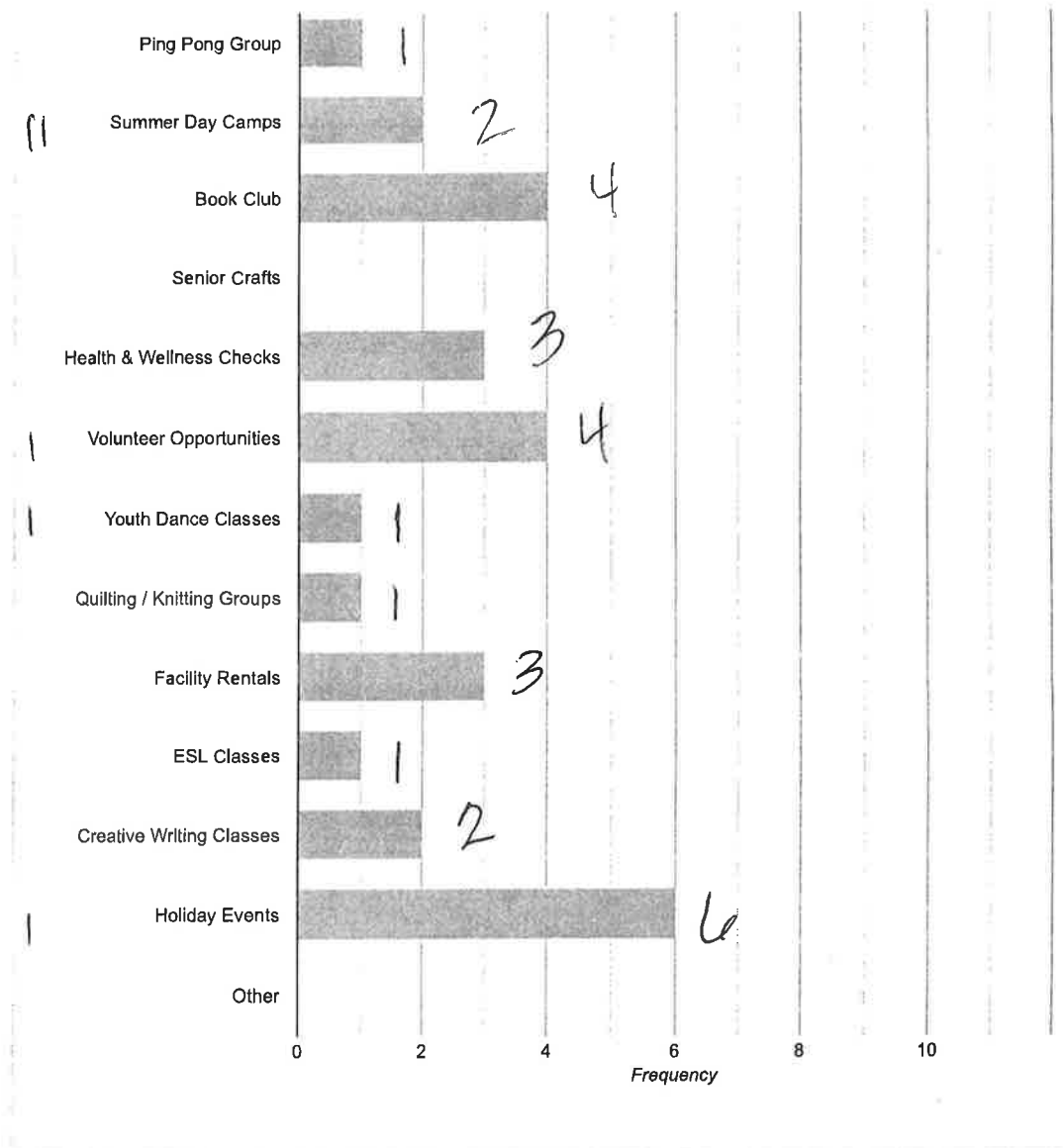
No entries for this field

Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit

Community Center.





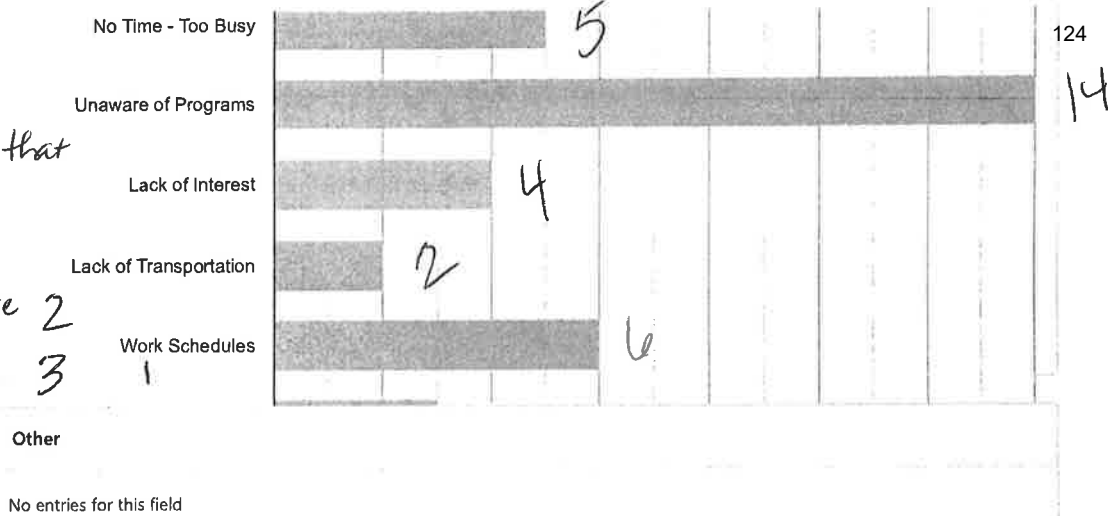


Other

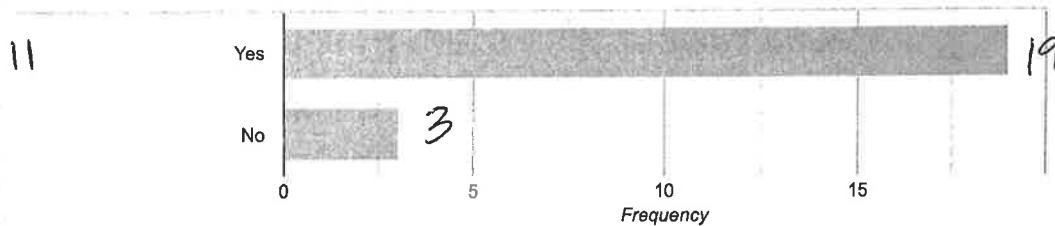
No entries for this field

What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

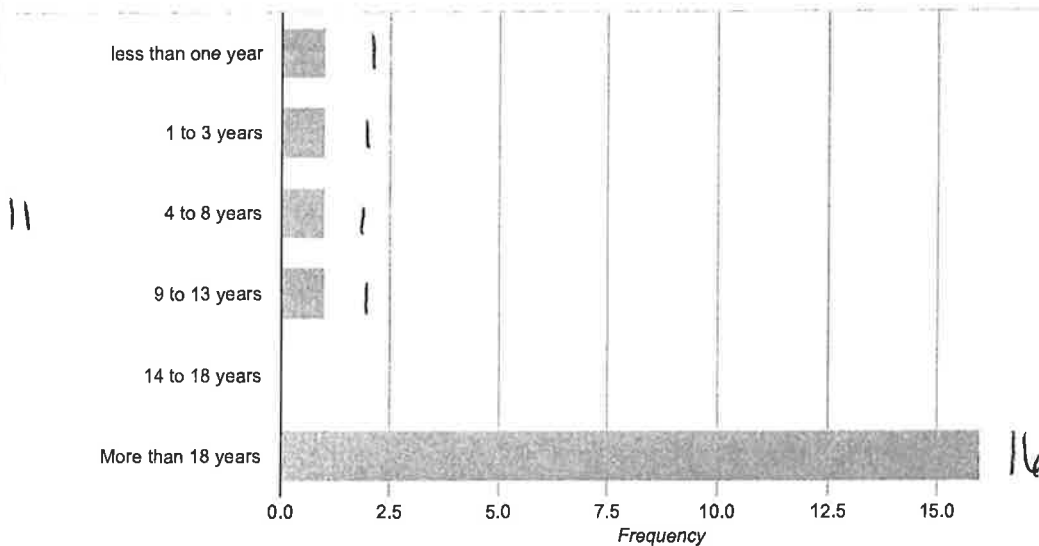
No programs that  
 I need 3  
 No child care 2  
 Lack of Funds 3  
 Other 0



Do you live within the Yakima City limits?



If you live in Yakima, how long have you lived within the city limits?



What is your age?

14 or younger

15-19

20-29

30-39

40-49

50-59

60-69

70-79

80+

125

How many people live in your house or apartment?

1

2

3

4

5

6

7

8

9

10+

0

1

2

3

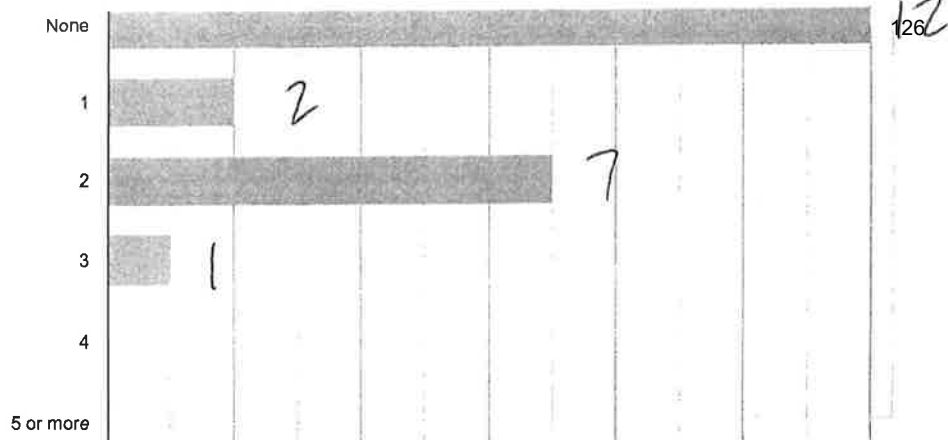
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5

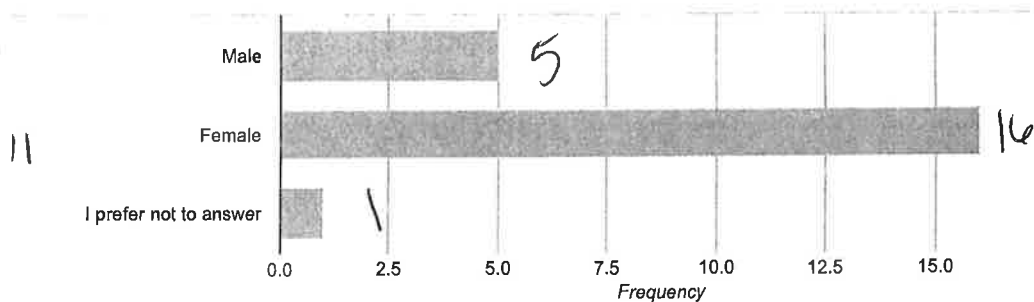
6

Frequency

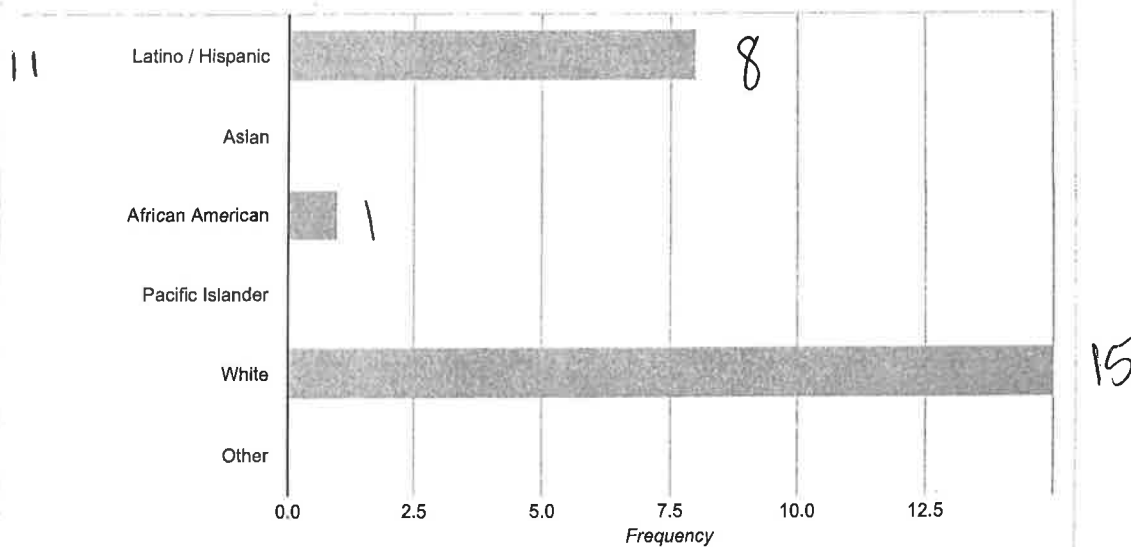
How many children live in your home that are under the age of 18?



What is your gender?



What is your ethnic origin? Please check all boxes that apply for those living in your home.



Other

No entries for this field

Please write additional thoughts or ideas you have regarding programs and services.

Latest values:

- Just curious to see what opportunities to help there are
- My idea is: Spanish language classes for English Language Learners (for all ages). Our community needs to learn to speak, read,

write, and understand Spanish fluently. In Yakima it is a necessity. This skill will pay off in dividends. Participants will be able to help customers, neighbors, compete for higher wage bilingual jobs, improve community relations, and strengthen local partnerships and networking opportunities.

- I would like to see your youth sports programs play other nearby cities youth sports programs.
- YAMA! I would love for YAMA's programming to run out of the center.
- English please, not everyone on the Eastside is Hispanic and speak Spanish.
- Parks and Rec is not a sound organization IMO. Does not offer enough interesting classes/activities- check out what they do in Wenatchee-Bend- or the Tri Cities. Yakima Parks and Rec has long history of not being dynamic forward thinking organization. When the biggest accomplishment you point to is the paving at Randal Park that says it all. Try getting someone younger and more dynamic in charge instead of 'placeholder' Wilkinson- perfect example of do nothing bureaucrat.

[Show more](#)



If you answered yes, please tell us what programs you or your family members attended.

Latest values:

- Kids After School,, Summer Day Camp,, Membership, Karate class
- Youth daycare
- Ham Radio swap meet, back in 1993
- We provided esl classes to adults in the past through thr yakima school district and tutoring for students.
- Years ago after school activities and attended meetings held at the center
- Boxing and Karate

Please write additional thoughts or ideas you have regarding programs and services.

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A dance studio.

More transportation opportunities for those in need.

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.
- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Adult Fitness Classes     | <input checked="" type="checkbox"/> Youth Sports          | <input checked="" type="checkbox"/> Summer Day Camps        |
| <input type="checkbox"/> Nutrition/Cooking Classes | <input type="checkbox"/> Senior Meal Program              | <input type="checkbox"/> Book Club                          |
| <input type="checkbox"/> Youth Crafts              | <input checked="" type="checkbox"/> After School Programs | <input type="checkbox"/> Senior Crafts                      |
| <input type="checkbox"/> Senior Card & Table Games | <input type="checkbox"/> Tutoring Assistance              | <input type="checkbox"/> Health & Wellness Checks           |
| <input type="checkbox"/> Computer Classes          | <input type="checkbox"/> Legal Assistance                 | <input type="checkbox"/> Volunteer Opportunities            |
| <input type="checkbox"/> Cheerleading              | <input type="checkbox"/> Yoga/Pilates                     | <input type="checkbox"/> Youth Dance Classes                |
| <input type="checkbox"/> Adult Education/GED       | <input type="checkbox"/> Senior Fitness Classes           | <input type="checkbox"/> Quilting/Knitting Groups           |
| <input type="checkbox"/> Adult Dance Classes       | <input type="checkbox"/> Social Media Classes             | <input type="checkbox"/> Facility Rentals                   |
| <input type="checkbox"/> Naturalization Classes    | <input type="checkbox"/> Youth Drop In Programs           | <input type="checkbox"/> ESL Classes                        |
| <input type="checkbox"/> Wood Carving              | <input type="checkbox"/> Gardening Club                   | <input type="checkbox"/> Creative Writing Classes           |
| <input type="checkbox"/> Music Classes             | <input type="checkbox"/> Ping Pong Group                  | <input checked="" type="checkbox"/> Holiday Events          |
| <input type="checkbox"/> Other _____               | <input type="checkbox"/> Other _____                      | <input checked="" type="checkbox"/> Other <u>Pool table</u> |
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.
- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> No Time - Too Busy | <input type="checkbox"/> Lack of Transportation  | <input type="checkbox"/> No Child Care |
| <input type="checkbox"/> Unaware of Programs           | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds |
| <input type="checkbox"/> Lack of Interest              | <input type="checkbox"/> No Programs That I Need | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☐ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?
- |  |   |   |
|--|---|---|
| <input checked="" type="checkbox"/> less than one year | <input type="checkbox"/> 4 to 8 years             | <input type="checkbox"/> 14 to 18 years     |
| <input type="checkbox"/> 1 to 3 years                  | <input checked="" type="checkbox"/> 9 to 13 years | <input type="checkbox"/> More than 18 years |
- 3 What is your age?
- |   |                                |                                |
|---|--------------------------------|--------------------------------|
| <input checked="" type="checkbox"/> 14 or younger | <input type="checkbox"/> 30-39 | <input type="checkbox"/> 60-69 |
| <input type="checkbox"/> 15-19                    | <input type="checkbox"/> 40-49 | <input type="checkbox"/> 70-79 |
| <input type="checkbox"/> 20-29                    | <input type="checkbox"/> 50-59 | <input type="checkbox"/> 80+   |
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☒ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.
- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Latino/Hispanic | <input checked="" type="checkbox"/> African American | <input checked="" type="checkbox"/> White |
| <input type="checkbox"/> Asian           | <input type="checkbox"/> Pacific Islander            | <input type="checkbox"/> Other _____      |

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

a swimming pool, video games, pizza.

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Adult Fitness Classes     | <input type="checkbox"/> Youth Sports               | <input type="checkbox"/> Summer Day Camps         |
| <input type="checkbox"/> Nutrition/Cooking Classes | <input type="checkbox"/> Senior Meal Program        | <input type="checkbox"/> Book Club                |
| <input type="checkbox"/> Youth Crafts              | <input type="checkbox"/> After School Programs      | <input type="checkbox"/> Senior Crafts            |
| <input type="checkbox"/> Senior Card & Table Games | <input type="checkbox"/> Tutoring Assistance        | <input type="checkbox"/> Health & Wellness Checks |
| <input type="checkbox"/> Computer Classes          | <input type="checkbox"/> Legal Assistance           | <input type="checkbox"/> Volunteer Opportunities  |
| <input type="checkbox"/> Cheerleading              | <input type="checkbox"/> Yoga/Pilates               | <input type="checkbox"/> Youth Dance Classes      |
| <input type="checkbox"/> Adult Education/GED       | <input type="checkbox"/> Senior Fitness Classes     | <input type="checkbox"/> Quilting/Knitting Groups |
| <input type="checkbox"/> Adult Dance Classes       | <input type="checkbox"/> Social Media Classes       | <input type="checkbox"/> Facility Rentals         |
| <input type="checkbox"/> Naturalization Classes    | <input type="checkbox"/> Youth Drop In Programs     | <input type="checkbox"/> ESL Classes              |
| <input type="checkbox"/> Wood Carving              | <input type="checkbox"/> Gardening Club             | <input type="checkbox"/> Creative Writing Classes |
| <input type="checkbox"/> Music Classes             | <input checked="" type="checkbox"/> Ping Pong Group | <input type="checkbox"/> Holiday Events           |
| <input type="checkbox"/> Other _____               | <input type="checkbox"/> Other _____                | <input type="checkbox"/> Other _____              |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> No Time - Too Busy | <input type="checkbox"/> Lack of Transportation  | <input type="checkbox"/> No Child Care |
| <input type="checkbox"/> Unaware of Programs           | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds |
| <input type="checkbox"/> Lack of Interest              | <input type="checkbox"/> No Programs That I Need | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
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- |   |   |   |
|---|---|---|
| <input type="checkbox"/> less than one year | <input type="checkbox"/> 4 to 8 years             | <input type="checkbox"/> 14 to 18 years     |
| <input type="checkbox"/> 1 to 3 years       | <input checked="" type="checkbox"/> 9 to 13 years | <input type="checkbox"/> More than 18 years |
- 3 What is your age?
- |  |                                |                                |
|--|--------------------------------|--------------------------------|
| <input type="checkbox"/> 14 or younger | <input type="checkbox"/> 30-39 | <input type="checkbox"/> 60-69 |
| <input type="checkbox"/> 15-19         | <input type="checkbox"/> 40-49 | <input type="checkbox"/> 70-79 |
| <input type="checkbox"/> 20-29         | <input type="checkbox"/> 50-59 | <input type="checkbox"/> 80+   |
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☒ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.
- |   |   |                                      |
|---|---|--------------------------------------|
| <input checked="" type="checkbox"/> Latino/Hispanic | <input type="checkbox"/> African American | <input type="checkbox"/> White       |
| <input type="checkbox"/> Asian                      | <input type="checkbox"/> Pacific Islander | <input type="checkbox"/> Other _____ |

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

have a PS

# Washington Fruit Community Center - Community Interest Questionnaire

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- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Adult Fitness Classes     | <input checked="" type="checkbox"/> Youth Sports          | <input checked="" type="checkbox"/> Summer Day Camps |
| <input type="checkbox"/> Nutrition/Cooking Classes | <input type="checkbox"/> Senior Meal Program              | <input type="checkbox"/> Book Club                   |
| <input type="checkbox"/> Youth Crafts              | <input checked="" type="checkbox"/> After School Programs | <input type="checkbox"/> Senior Crafts               |
| <input type="checkbox"/> Senior Card & Table Games | <input type="checkbox"/> Tutoring Assistance              | <input type="checkbox"/> Health & Wellness Checks    |
| <input type="checkbox"/> Computer Classes          | <input type="checkbox"/> Legal Assistance                 | <input type="checkbox"/> Volunteer Opportunities     |
| <input type="checkbox"/> Cheerleading              | <input type="checkbox"/> Yoga/Pilates                     | <input type="checkbox"/> Youth Dance Classes         |
| <input type="checkbox"/> Adult Education/GED       | <input type="checkbox"/> Senior Fitness Classes           | <input type="checkbox"/> Quilting/Knitting Groups    |
| <input type="checkbox"/> Adult Dance Classes       | <input type="checkbox"/> Social Media Classes             | <input type="checkbox"/> Facility Rentals            |
| <input type="checkbox"/> Naturalization Classes    | <input type="checkbox"/> Youth Drop In Programs           | <input type="checkbox"/> ESL Classes                 |
| <input type="checkbox"/> Wood Carving              | <input type="checkbox"/> Gardening Club                   | <input type="checkbox"/> Creative Writing Classes    |
| <input type="checkbox"/> Music Classes             | <input type="checkbox"/> Ping Pong Group                  | <input type="checkbox"/> Holiday Events              |
| <input type="checkbox"/> Other _____               | <input type="checkbox"/> Other _____                      | <input type="checkbox"/> Other _____                 |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> No Time - Too Busy  | <input type="checkbox"/> Lack of Transportation  | <input type="checkbox"/> No Child Care |
| <input type="checkbox"/> Unaware of Programs | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds |
| <input type="checkbox"/> Lack of Interest    | <input type="checkbox"/> No Programs That I Need | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input checked="" type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input checked="" type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input checked="" type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☐ Not Sure ☒
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input type="checkbox"/> Adult Fitness Classes	<input type="checkbox"/> Youth Sports	<input checked="" type="checkbox"/> Summer Day Camps
<input type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input type="checkbox"/> Book Club
<input checked="" type="checkbox"/> Youth Crafts	<input type="checkbox"/> After School Programs	<input checked="" type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input type="checkbox"/> Computer Classes	<input type="checkbox"/> Legal Assistance	<input checked="" type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input type="checkbox"/> Social Media Classes	<input type="checkbox"/> Facility Rentals
<input type="checkbox"/> Naturalization Classes	<input type="checkbox"/> Youth Drop In Programs	<input type="checkbox"/> ESL Classes
<input type="checkbox"/> Wood Carving	<input type="checkbox"/> Gardening Club	<input checked="" type="checkbox"/> Creative Writing Classes
<input type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input checked="" type="checkbox"/> No Time - Too Busy	<input type="checkbox"/> Lack of Transportation	<input type="checkbox"/> No Child Care
<input type="checkbox"/> Unaware of Programs	<input type="checkbox"/> Work Schedules	<input type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input type="checkbox"/> Other _____

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input checked="" type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input checked="" type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

None



# Washington Fruit Community Center - Community Interest Questionnaire

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Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Adult Fitness Classes     | <input checked="" type="checkbox"/> Youth Sports          | <input checked="" type="checkbox"/> Summer Day Camps |
| <input type="checkbox"/> Nutrition/Cooking Classes | <input type="checkbox"/> Senior Meal Program              | <input type="checkbox"/> Book Club                   |
| <input type="checkbox"/> Youth Crafts              | <input checked="" type="checkbox"/> After School Programs | <input type="checkbox"/> Senior Crafts               |
| <input type="checkbox"/> Senior Card & Table Games | <input type="checkbox"/> Tutoring Assistance              | <input type="checkbox"/> Health & Wellness Checks    |
| <input type="checkbox"/> Computer Classes          | <input type="checkbox"/> Legal Assistance                 | <input type="checkbox"/> Volunteer Opportunities     |
| <input type="checkbox"/> Cheerleading              | <input type="checkbox"/> Yoga/Pilates                     | <input type="checkbox"/> Youth Dance Classes         |
| <input type="checkbox"/> Adult Education/GED       | <input type="checkbox"/> Senior Fitness Classes           | <input type="checkbox"/> Quilting/Knitting Groups    |
| <input type="checkbox"/> Adult Dance Classes       | <input type="checkbox"/> Social Media Classes             | <input type="checkbox"/> Facility Rentals            |
| <input type="checkbox"/> Naturalization Classes    | <input type="checkbox"/> Youth Drop In Programs           | <input type="checkbox"/> ESL Classes                 |
| <input checked="" type="checkbox"/> Wood Carving   | <input type="checkbox"/> Gardening Club                   | <input type="checkbox"/> Creative Writing Classes    |
| <input type="checkbox"/> Music Classes             | <input type="checkbox"/> Ping Pong Group                  | <input checked="" type="checkbox"/> Holiday Events   |
| <input type="checkbox"/> Other _____               | <input type="checkbox"/> Other _____                      | <input type="checkbox"/> Other _____                 |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> No Time - Too Busy  | <input type="checkbox"/> Lack of Transportation             | <input checked="" type="checkbox"/> No Child Care |
| <input type="checkbox"/> Unaware of Programs | <input type="checkbox"/> Work Schedules                     | <input type="checkbox"/> Lack of Funds            |
| <input type="checkbox"/> Lack of Interest    | <input checked="" type="checkbox"/> No Programs That I Need | <input type="checkbox"/> Other _____              |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☐ Yes ☒ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input checked="" type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input checked="" type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☒ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input checked="" type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☐ Not Sure ☒
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Adult Fitness Classes              | <input checked="" type="checkbox"/> Youth Sports    | <input checked="" type="checkbox"/> Summer Day Camps |
| <input type="checkbox"/> Nutrition/Cooking Classes          | <input type="checkbox"/> Senior Meal Program        | <input type="checkbox"/> Book Club                   |
| <input type="checkbox"/> Youth Crafts                       | <input type="checkbox"/> After School Programs      | <input type="checkbox"/> Senior Crafts               |
| <input type="checkbox"/> Senior Card & Table Games          | <input type="checkbox"/> Tutoring Assistance        | <input type="checkbox"/> Health & Wellness Checks    |
| <input checked="" type="checkbox"/> Computer Classes        | <input type="checkbox"/> Legal Assistance           | <input type="checkbox"/> Volunteer Opportunities     |
| <input type="checkbox"/> Cheerleading                       | <input type="checkbox"/> Yoga/Pilates               | <input type="checkbox"/> Youth Dance Classes         |
| <input type="checkbox"/> Adult Education/GED                | <input type="checkbox"/> Senior Fitness Classes     | <input type="checkbox"/> Quilting/Knitting Groups    |
| <input type="checkbox"/> Adult Dance Classes                | <input type="checkbox"/> Social Media Classes       | <input type="checkbox"/> Facility Rentals            |
| <input type="checkbox"/> Naturalization Classes             | <input type="checkbox"/> Youth Drop In Programs     | <input type="checkbox"/> ESL Classes                 |
| <input checked="" type="checkbox"/> Wood Carving            | <input type="checkbox"/> Gardening Club             | <input type="checkbox"/> Creative Writing Classes    |
| <input type="checkbox"/> Music Classes                      | <input checked="" type="checkbox"/> Ping Pong Group | <input type="checkbox"/> Holiday Events              |
| <input checked="" type="checkbox"/> Other <u>pool table</u> | <input type="checkbox"/> Other _____                | <input type="checkbox"/> Other _____                 |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> No Time - Too Busy             | <input type="checkbox"/> Lack of Transportation  | <input type="checkbox"/> No Child Care          |
| <input checked="" type="checkbox"/> Unaware of Programs | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds          |
| <input type="checkbox"/> Lack of Interest               | <input type="checkbox"/> No Programs That I Need | <input checked="" type="checkbox"/> Other _____ |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input checked="" type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input checked="" type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input checked="" type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

a swimming pool

# Washington Fruit Community Center - Community Interest Questionnaire

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Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.

- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Adult Fitness Classes                | <input type="checkbox"/> Youth Sports                     | <input checked="" type="checkbox"/> Summer Day Camps |
| <input checked="" type="checkbox"/> Nutrition/Cooking Classes | <input type="checkbox"/> Senior Meal Program              | <input type="checkbox"/> Book Club                   |
| <input type="checkbox"/> Youth Crafts                         | <input checked="" type="checkbox"/> After School Programs | <input type="checkbox"/> Senior Crafts               |
| <input type="checkbox"/> Senior Card & Table Games            | <input type="checkbox"/> Tutoring Assistance              | <input type="checkbox"/> Health & Wellness Checks    |
| <input type="checkbox"/> Computer Classes                     | <input type="checkbox"/> Legal Assistance                 | <input type="checkbox"/> Volunteer Opportunities     |
| <input type="checkbox"/> Cheerleading                         | <input type="checkbox"/> Yoga/Pilates                     | <input type="checkbox"/> Youth Dance Classes         |
| <input type="checkbox"/> Adult Education/GED                  | <input type="checkbox"/> Senior Fitness Classes           | <input type="checkbox"/> Quilting/Knitting Groups    |
| <input type="checkbox"/> Adult Dance Classes                  | <input type="checkbox"/> Social Media Classes             | <input type="checkbox"/> Facility Rentals            |
| <input type="checkbox"/> Naturalization Classes               | <input type="checkbox"/> Youth Drop In Programs           | <input type="checkbox"/> ESL Classes                 |
| <input type="checkbox"/> Wood Carving                         | <input type="checkbox"/> Gardening Club                   | <input type="checkbox"/> Creative Writing Classes    |
| <input type="checkbox"/> Music Classes                        | <input checked="" type="checkbox"/> Ping Pong Group       | <input checked="" type="checkbox"/> Holiday Events   |
| <input checked="" type="checkbox"/> Other <u>Ice skating</u>  | <input type="checkbox"/> Other _____                      | <input type="checkbox"/> Other _____                 |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> No Time - Too Busy  | <input type="checkbox"/> Lack of Transportation    | <input type="checkbox"/> No Child Care |
| <input checked="" type="checkbox"/> Unaware of Programs | <input checked="" type="checkbox"/> Work Schedules | <input type="checkbox"/> Lack of Funds |
| <input type="checkbox"/> Lack of Interest               | <input type="checkbox"/> No Programs That I Need   | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input checked="" type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input checked="" type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input checked="" type="checkbox"/> Other <u>Palaistine</u>

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

Hockey, ~~and~~ fencing

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input type="checkbox"/> Adult Fitness Classes	<input type="checkbox"/> Youth Sports	<input checked="" type="checkbox"/> Summer Day Camps
<input type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input type="checkbox"/> Book Club
<input type="checkbox"/> Youth Crafts	<input checked="" type="checkbox"/> After School Programs	<input type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input type="checkbox"/> Computer Classes	<input type="checkbox"/> Legal Assistance	<input checked="" type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input checked="" type="checkbox"/> Social Media Classes	<input type="checkbox"/> Facility Rentals
<input type="checkbox"/> Naturalization Classes	<input type="checkbox"/> Youth Drop In Programs	<input type="checkbox"/> ESL Classes
<input type="checkbox"/> Wood Carving	<input checked="" type="checkbox"/> Gardening Club	<input type="checkbox"/> Creative Writing Classes
<input type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input checked="" type="checkbox"/> No Time - Too Busy	<input checked="" type="checkbox"/> Lack of Transportation	<input type="checkbox"/> No Child Care
<input type="checkbox"/> Unaware of Programs	<input type="checkbox"/> Work Schedules	<input type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input type="checkbox"/> Other _____

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☐ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input checked="" type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input checked="" type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

Smoothie stand, movies

# Washington Fruit Community Center - Community Interest Questionnaire

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Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
  - 2 If you answered yes, please tell us what programs you or your family members attended.
- 
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input type="checkbox"/> Adult Fitness Classes	<input type="checkbox"/> Youth Sports	<input checked="" type="checkbox"/> Summer Day Camps
<input type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input type="checkbox"/> Book Club
<input type="checkbox"/> Youth Crafts	<input checked="" type="checkbox"/> After School Programs	<input type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input type="checkbox"/> Computer Classes	<input type="checkbox"/> Legal Assistance	<input checked="" type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input checked="" type="checkbox"/> Social Media Classes	<input type="checkbox"/> Facility Rentals
<input type="checkbox"/> Naturalization Classes	<input type="checkbox"/> Youth Drop In Programs	<input type="checkbox"/> ESL Classes
<input type="checkbox"/> Wood Carving	<input checked="" type="checkbox"/> Gardening Club	<input type="checkbox"/> Creative Writing Classes
<input type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input checked="" type="checkbox"/> No Time - Too Busy	<input checked="" type="checkbox"/> Lack of Transportation	<input type="checkbox"/> No Child Care
<input type="checkbox"/> Unaware of Programs	<input type="checkbox"/> Work Schedules	<input type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input type="checkbox"/> Other _____

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☐ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input checked="" type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input checked="" type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

Smoothie stand, movies



# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.  
No
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Adult Fitness Classes     | <input type="checkbox"/> Youth Sports           | <input type="checkbox"/> Summer Day Camps          |
| <input type="checkbox"/> Nutrition/Cooking Classes | <input type="checkbox"/> Senior Meal Program    | <input type="checkbox"/> Book Club                 |
| <input type="checkbox"/> Youth Crafts              | <input type="checkbox"/> After School Programs  | <input type="checkbox"/> Senior Crafts             |
| <input type="checkbox"/> Senior Card & Table Games | <input type="checkbox"/> Tutoring Assistance    | <input type="checkbox"/> Health & Wellness Checks  |
| <input type="checkbox"/> Computer Classes          | <input type="checkbox"/> Legal Assistance       | <input type="checkbox"/> Volunteer Opportunities   |
| <input type="checkbox"/> Cheerleading              | <input type="checkbox"/> Yoga/Pilates           | <input type="checkbox"/> Youth Dance Classes       |
| <input type="checkbox"/> Adult Education/GED       | <input type="checkbox"/> Senior Fitness Classes | <input type="checkbox"/> Quilting/Knitting Groups  |
| <input type="checkbox"/> Adult Dance Classes       | <input type="checkbox"/> Social Media Classes   | <input type="checkbox"/> Facility Rentals          |
| <input type="checkbox"/> Naturalization Classes    | <input type="checkbox"/> Youth Drop In Programs | <input type="checkbox"/> ESL Classes               |
| <input type="checkbox"/> Wood Carving              | <input type="checkbox"/> Gardening Club         | <input type="checkbox"/> Creative Writing Classes  |
| <input type="checkbox"/> Music Classes             | <input type="checkbox"/> Ping Pong Group        | <input checked="" type="checkbox"/> Holiday Events |
| <input type="checkbox"/> Other _____               | <input type="checkbox"/> Other _____            | <input type="checkbox"/> Other _____               |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> No Time - Too Busy | <input type="checkbox"/> Lack of Transportation  | <input type="checkbox"/> No Child Care |
| <input type="checkbox"/> Unaware of Programs           | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds |
| <input type="checkbox"/> Lack of Interest              | <input type="checkbox"/> No Programs That I Need | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?
- |   |   |   |
|---|---|---|
| <input type="checkbox"/> less than one year | <input type="checkbox"/> 4 to 8 years             | <input type="checkbox"/> 14 to 18 years     |
| <input type="checkbox"/> 1 to 3 years       | <input checked="" type="checkbox"/> 9 to 13 years | <input type="checkbox"/> More than 18 years |
- 3 What is your age?
- |   |                                |                                |
|---|--------------------------------|--------------------------------|
| <input checked="" type="checkbox"/> 14 or younger | <input type="checkbox"/> 30-39 | <input type="checkbox"/> 60-69 |
| <input type="checkbox"/> 15-19                    | <input type="checkbox"/> 40-49 | <input type="checkbox"/> 70-79 |
| <input type="checkbox"/> 20-29                    | <input type="checkbox"/> 50-59 | <input type="checkbox"/> 80+   |
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 ☐ 6 ☒ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☒ None ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.
- |   |   |                                      |
|---|---|--------------------------------------|
| <input checked="" type="checkbox"/> Latino/Hispanic | <input type="checkbox"/> African American | <input type="checkbox"/> White       |
| <input type="checkbox"/> Asian                      | <input type="checkbox"/> Pacific Islander | <input type="checkbox"/> Other _____ |

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

like playing basketball

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.

- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☐ Bus ☒ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Adult Fitness Classes     | <input type="checkbox"/> Youth Sports                     | <input type="checkbox"/> Summer Day Camps                    |
| <input type="checkbox"/> Nutrition/Cooking Classes | <input type="checkbox"/> Senior Meal Program              | <input type="checkbox"/> Book Club                           |
| <input type="checkbox"/> Youth Crafts              | <input checked="" type="checkbox"/> After School Programs | <input type="checkbox"/> Senior Crafts                       |
| <input type="checkbox"/> Senior Card & Table Games | <input type="checkbox"/> Tutoring Assistance              | <input type="checkbox"/> Health & Wellness Checks            |
| <input type="checkbox"/> Computer Classes          | <input type="checkbox"/> Legal Assistance                 | <input type="checkbox"/> Volunteer Opportunities             |
| <input type="checkbox"/> Cheerleading              | <input type="checkbox"/> Yoga/Pilates                     | <input type="checkbox"/> Youth Dance Classes                 |
| <input type="checkbox"/> Adult Education/GED       | <input type="checkbox"/> Senior Fitness Classes           | <input type="checkbox"/> Quilting/Knitting Groups            |
| <input type="checkbox"/> Adult Dance Classes       | <input type="checkbox"/> Social Media Classes             | <input type="checkbox"/> Facility Rentals                    |
| <input type="checkbox"/> Naturalization Classes    | <input type="checkbox"/> Youth Drop In Programs           | <input type="checkbox"/> ESL Classes                         |
| <input type="checkbox"/> Wood Carving              | <input type="checkbox"/> Gardening Club                   | <input checked="" type="checkbox"/> Creative Writing Classes |
| <input type="checkbox"/> Music Classes             | <input type="checkbox"/> Ping Pong Group                  | <input type="checkbox"/> Holiday Events                      |
| <input type="checkbox"/> Other _____               | <input type="checkbox"/> Other _____                      | <input type="checkbox"/> Other _____                         |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> No Time - Too Busy  | <input type="checkbox"/> Lack of Transportation  | <input type="checkbox"/> No Child Care |
| <input type="checkbox"/> Unaware of Programs | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds |
| <input type="checkbox"/> Lack of Interest    | <input type="checkbox"/> No Programs That I Need | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☐ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?
- |   |   |   |
|---|---|---|
| <input type="checkbox"/> less than one year | <input checked="" type="checkbox"/> 4 to 8 years  | <input type="checkbox"/> 14 to 18 years     |
| <input type="checkbox"/> 1 to 3 years       | <input checked="" type="checkbox"/> 9 to 13 years | <input type="checkbox"/> More than 18 years |
- 3 What is your age?
- |   |                                |                                |
|---|--------------------------------|--------------------------------|
| <input checked="" type="checkbox"/> 14 or younger | <input type="checkbox"/> 30-39 | <input type="checkbox"/> 60-69 |
| <input type="checkbox"/> 15-19                    | <input type="checkbox"/> 40-49 | <input type="checkbox"/> 70-79 |
| <input type="checkbox"/> 20-29                    | <input type="checkbox"/> 50-59 | <input type="checkbox"/> 80+   |
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☒ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.
- |   |   |   |
|---|---|---|
| <input checked="" type="checkbox"/> Latino/Hispanic | <input type="checkbox"/> African American | <input checked="" type="checkbox"/> White |
| <input type="checkbox"/> Asian                      | <input type="checkbox"/> Pacific Islander | <input type="checkbox"/> Other _____      |

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

pool with a slide  
smoothie stands  
playing video games  
water park

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
  - 2 If you answered yes, please tell us what programs you or your family members attended.
- 
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Adult Fitness Classes | <input type="checkbox"/> Youth Sports                      | <input checked="" type="checkbox"/> Summer Day Camps |
| <input type="checkbox"/> Nutrition/Cooking Classes        | <input type="checkbox"/> Senior Meal Program               | <input type="checkbox"/> Book Club                   |
| <input checked="" type="checkbox"/> Youth Crafts          | <input type="checkbox"/> After School Programs             | <input type="checkbox"/> Senior Crafts               |
| <input type="checkbox"/> Senior Card & Table Games        | <input type="checkbox"/> Tutoring Assistance               | <input type="checkbox"/> Health & Wellness Checks    |
| <input type="checkbox"/> Computer Classes                 | <input type="checkbox"/> Legal Assistance                  | <input type="checkbox"/> Volunteer Opportunities     |
| <input type="checkbox"/> Cheerleading                     | <input type="checkbox"/> Yoga/Pilates                      | <input type="checkbox"/> Youth Dance Classes         |
| <input type="checkbox"/> Adult Education/GED              | <input type="checkbox"/> Senior Fitness Classes            | <input type="checkbox"/> Quilting/Knitting Groups    |
| <input type="checkbox"/> Adult Dance Classes              | <input type="checkbox"/> Social Media Classes              | <input type="checkbox"/> Facility Rentals            |
| <input type="checkbox"/> Naturalization Classes           | <input checked="" type="checkbox"/> Youth Drop In Programs | <input type="checkbox"/> ESL Classes                 |
| <input checked="" type="checkbox"/> Wood Carving          | <input type="checkbox"/> Gardening Club                    | <input type="checkbox"/> Creative Writing Classes    |
| <input type="checkbox"/> Music Classes                    | <input type="checkbox"/> Ping Pong Group                   | <input type="checkbox"/> Holiday Events              |
| <input type="checkbox"/> Other _____                      | <input type="checkbox"/> Other _____                       | <input type="checkbox"/> Other _____                 |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> No Time - Too Busy  | <input type="checkbox"/> Lack of Transportation    | <input type="checkbox"/> No Child Care |
| <input checked="" type="checkbox"/> Unaware of Programs | <input checked="" type="checkbox"/> Work Schedules | <input type="checkbox"/> Lack of Funds |
| <input type="checkbox"/> Lack of Interest               | <input type="checkbox"/> No Programs That I Need   | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☐ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input checked="" type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input checked="" type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.
- 
-

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☒ No ☐ Not Sure ☒
  - 2 If you answered yes, please tell us what programs you or your family members attended.
- 
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input type="checkbox"/> Adult Fitness Classes	<input type="checkbox"/> Youth Sports	<input type="checkbox"/> Summer Day Camps
<input type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input type="checkbox"/> Book Club
<input type="checkbox"/> Youth Crafts	<input type="checkbox"/> After School Programs	<input type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input checked="" type="checkbox"/> Computer Classes	<input type="checkbox"/> Legal Assistance	<input type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input checked="" type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input type="checkbox"/> Social Media Classes	<input type="checkbox"/> Facility Rentals
<input checked="" type="checkbox"/> Naturalization Classes	<input checked="" type="checkbox"/> Youth Drop In Programs	<input checked="" type="checkbox"/> ESL Classes
<input type="checkbox"/> Wood Carving	<input type="checkbox"/> Gardening Club	<input type="checkbox"/> Creative Writing Classes
<input type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input type="checkbox"/> No Time - Too Busy	<input checked="" type="checkbox"/> Lack of Transportation	<input checked="" type="checkbox"/> No Child Care
<input checked="" type="checkbox"/> Unaware of Programs	<input checked="" type="checkbox"/> Work Schedules	<input checked="" type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input type="checkbox"/> Other _____

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input checked="" type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input checked="" type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☒ None ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.
- 
-

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Adult Fitness Classes          | <input type="checkbox"/> Youth Sports                      | <input type="checkbox"/> Summer Day Camps               |
| <input type="checkbox"/> Nutrition/Cooking Classes      | <input type="checkbox"/> Senior Meal Program               | <input type="checkbox"/> Book Club                      |
| <input type="checkbox"/> Youth Crafts                   | <input type="checkbox"/> After School Programs             | <input type="checkbox"/> Senior Crafts                  |
| <input type="checkbox"/> Senior Card & Table Games      | <input type="checkbox"/> Tutoring Assistance               | <input type="checkbox"/> Health & Wellness Checks       |
| <input type="checkbox"/> Computer Classes               | <input type="checkbox"/> Legal Assistance                  | <input type="checkbox"/> Volunteer Opportunities        |
| <input type="checkbox"/> Cheerleading                   | <input type="checkbox"/> Yoga/Pilates                      | <input checked="" type="checkbox"/> Youth Dance Classes |
| <input type="checkbox"/> Adult Education/GED            | <input type="checkbox"/> Senior Fitness Classes            | <input type="checkbox"/> Quilting/Knitting Groups       |
| <input checked="" type="checkbox"/> Adult Dance Classes | <input type="checkbox"/> Social Media Classes              | <input type="checkbox"/> Facility Rentals               |
| <input type="checkbox"/> Naturalization Classes         | <input checked="" type="checkbox"/> Youth Drop In Programs | <input type="checkbox"/> ESL Classes                    |
| <input type="checkbox"/> Wood Carving                   | <input type="checkbox"/> Gardening Club                    | <input type="checkbox"/> Creative Writing Classes       |
| <input type="checkbox"/> Music Classes                  | <input type="checkbox"/> Ping Pong Group                   | <input type="checkbox"/> Holiday Events                 |
| <input type="checkbox"/> Other _____                    | <input type="checkbox"/> Other _____                       | <input type="checkbox"/> Other _____                    |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> No Time - Too Busy  | <input type="checkbox"/> Lack of Transportation  | <input type="checkbox"/> No Child Care |
| <input type="checkbox"/> Unaware of Programs | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds |
| <input type="checkbox"/> Lack of Interest    | <input type="checkbox"/> No Programs That I Need | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☐ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input checked="" type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input checked="" type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☒ None ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input checked="" type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.
- 
-



# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
  - 2 If you answered yes, please tell us what programs you or your family members attended.
- 
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Adult Fitness Classes                       | <input type="checkbox"/> Youth Sports                     | <input checked="" type="checkbox"/> Summer Day Camps |
| <input checked="" type="checkbox"/> Nutrition/Cooking Classes        | <input type="checkbox"/> Senior Meal Program              | <input type="checkbox"/> Book Club                   |
| <input checked="" type="checkbox"/> Youth Crafts                     | <input checked="" type="checkbox"/> After School Programs | <input type="checkbox"/> Senior Crafts               |
| <input type="checkbox"/> Senior Card & Table Games                   | <input type="checkbox"/> Tutoring Assistance              | <input type="checkbox"/> Health & Wellness Checks    |
| <input type="checkbox"/> Computer Classes                            | <input type="checkbox"/> Legal Assistance                 | <input type="checkbox"/> Volunteer Opportunities     |
| <input type="checkbox"/> Cheerleading                                | <input type="checkbox"/> Yoga/Pilates                     | <input type="checkbox"/> Youth Dance Classes         |
| <input type="checkbox"/> Adult Education/GED                         | <input type="checkbox"/> Senior Fitness Classes           | <input type="checkbox"/> Quilting/Knitting Groups    |
| <input type="checkbox"/> Adult Dance Classes                         | <input type="checkbox"/> Social Media Classes             | <input type="checkbox"/> Facility Rentals            |
| <input checked="" type="checkbox"/> Naturalization Classes           | <input type="checkbox"/> Youth Drop In Programs           | <input checked="" type="checkbox"/> ESL Classes      |
| <input type="checkbox"/> Wood Carving                                | <input type="checkbox"/> Gardening Club                   | <input type="checkbox"/> Creative Writing Classes    |
| <input type="checkbox"/> Music Classes                               | <input type="checkbox"/> Ping Pong Group                  | <input type="checkbox"/> Holiday Events              |
| <input checked="" type="checkbox"/> Other <u>Visual Arts classes</u> | <input type="checkbox"/> Other _____                      | <input type="checkbox"/> Other _____                 |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> No Time - Too Busy             | <input type="checkbox"/> Lack of Transportation  | <input type="checkbox"/> No Child Care |
| <input checked="" type="checkbox"/> Unaware of Programs | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds |
| <input checked="" type="checkbox"/> Lack of Interest    | <input type="checkbox"/> No Programs That I Need | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☐ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input checked="" type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input checked="" type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☒ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

I believe an After School Visual Arts program is crucial in this community center since YSD does not provide Visual Art classes to K-5 students.

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☐ Not Sure ☒
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☒ Car ☒ Bus ☐ Bicycle ☒ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input checked="" type="checkbox"/> Adult Fitness Classes	<input type="checkbox"/> Youth Sports	<input type="checkbox"/> Summer Day Camps
<input checked="" type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input checked="" type="checkbox"/> Book Club
<input type="checkbox"/> Youth Crafts	<input type="checkbox"/> After School Programs	<input type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input type="checkbox"/> Computer Classes	<input checked="" type="checkbox"/> Legal Assistance	<input type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input type="checkbox"/> Social Media Classes	<input type="checkbox"/> Facility Rentals
<input type="checkbox"/> Naturalization Classes	<input type="checkbox"/> Youth Drop In Programs	<input type="checkbox"/> ESL Classes
<input type="checkbox"/> Wood Carving	<input type="checkbox"/> Gardening Club	<input type="checkbox"/> Creative Writing Classes
<input type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input checked="" type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input checked="" type="checkbox"/> No Time - Too Busy	<input type="checkbox"/> Lack of Transportation	<input type="checkbox"/> No Child Care
<input checked="" type="checkbox"/> Unaware of Programs	<input checked="" type="checkbox"/> Work Schedules	<input type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input type="checkbox"/> Other _____

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input checked="" type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input checked="" type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☒ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☒ None ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

Would be great to have a program focused on undocumented youth

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
  - 2 If you answered yes, please tell us what programs you or your family members attended.
- 
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input type="checkbox"/> Adult Fitness Classes	<input type="checkbox"/> Youth Sports	<input type="checkbox"/> Summer Day Camps
<input checked="" type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input type="checkbox"/> Book Club
<input type="checkbox"/> Youth Crafts	<input type="checkbox"/> After School Programs	<input type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input type="checkbox"/> Computer Classes	<input type="checkbox"/> Legal Assistance	<input checked="" type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input type="checkbox"/> Social Media Classes	<input checked="" type="checkbox"/> Facility Rentals
<input type="checkbox"/> Naturalization Classes	<input type="checkbox"/> Youth Drop In Programs	<input type="checkbox"/> ESL Classes
<input checked="" type="checkbox"/> Wood Carving	<input type="checkbox"/> Gardening Club	<input type="checkbox"/> Creative Writing Classes
<input type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input checked="" type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input type="checkbox"/> No Time - Too Busy	<input type="checkbox"/> Lack of Transportation	<input type="checkbox"/> No Child Care
<input checked="" type="checkbox"/> Unaware of Programs	<input checked="" type="checkbox"/> Work Schedules	<input type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input type="checkbox"/> Other _____

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input checked="" type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input checked="" type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☒ None ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input checked="" type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

Ideas re: warming up the space - make me  
are feel inclusive re: pride flag on door (shows me  
this is a safe place)

# Washington Fruit Community Center - Cuestionario de Interés Comunitario

Por favor, tome unos minutos para decirnos qué programas y servicios le gustaría ver ofrecidos en el Washington Fruit Community Center. Utilizaremos la información para tomar decisiones sobre los programas y servicios ofrecidos en la instalación. Gracias por su tiempo.

## SECCIÓN I - Preguntas Generales

- 1 ¿Usted o alguien de su familia ha participado en algún programa en el Washington Fruit Community Center, anteriormente el Edificio YPAL, en el pasado? Si ☐ No ☐ No se ☒
- 2 Si respondió que sí, por favor díganos a qué programas asistió usted o miembros de su familia.

- 3 En el futuro, ¿cómo viajará para participar en programas o servicios en el Washington Fruit Community Center? Caminar ☐ Auto ☒ Autobús ☐ Bicicleta ☐ Otro \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Por favor, seleccione los 5 mejores programas y servicios que usted y su familia considerarían usar en el Washington Fruit Community Center.

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Clases de Ejercicio Físico para Adultos | <input type="checkbox"/> Deportes Juveniles                              | <input type="checkbox"/> Campamento de Verano                   |
| <input type="checkbox"/> Clases de Nutrición/Cocina              | <input type="checkbox"/> Programa de Comida para Personas Mayores        | <input type="checkbox"/> Club de Lectura                        |
| <input checked="" type="checkbox"/> Artesanía Juvenil            | <input checked="" type="checkbox"/> Programa Extraescolar                | <input type="checkbox"/> Artesanías Para Adultos Mayores        |
| <input type="checkbox"/> Juegos de Mesa para Personas Mayores    | <input type="checkbox"/> Asistencia de Tutoría                           | <input type="checkbox"/> Clases de Salud y Bienestar            |
| <input checked="" type="checkbox"/> Clases de Computadora        | <input type="checkbox"/> Asistencia Legal                                | <input checked="" type="checkbox"/> Oportunidades de Voluntario |
| <input type="checkbox"/> Animación Deportiva (Porrista)          | <input type="checkbox"/> Yoga/Pilates                                    | <input type="checkbox"/> Clases de Baile para Jóvenes           |
| <input type="checkbox"/> Educación para Adultos/GED              | <input type="checkbox"/> Clases de Ejercicio Físico para Adultos Mayores | <input type="checkbox"/> Grupos de Acolchado/Tejido             |
| <input type="checkbox"/> Clases de Baile para Adultos            | <input type="checkbox"/> Clases de Redes Sociales                        | <input type="checkbox"/> Alquiler de Instalaciones              |
| <input type="checkbox"/> Clases de Naturalización                | <input type="checkbox"/> Programas Juveniles sin inscripción             | <input type="checkbox"/> Clases de Inglés                       |
| <input type="checkbox"/> Tallado en Madera                       | <input type="checkbox"/> Club de Jardinería                              | <input type="checkbox"/> Clases de Escritura Creativa           |
| <input type="checkbox"/> Clases de Música                        | <input type="checkbox"/> Grupo de Ping Pong                              | <input checked="" type="checkbox"/> Eventos de Día de Festivo   |
| <input type="checkbox"/> Otro _____                              | <input type="checkbox"/> Otro _____                                      | <input type="checkbox"/> Otro _____                             |

- 2 ¿Qué le impediría participar en programas y servicios en el Washington Fruit Community Center? Marque todas las que aplican.

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> No Tengo Tiempo                         | <input type="checkbox"/> Falta de Transportación       | <input type="checkbox"/> No Tengo Cuidado de Niños |
| <input checked="" type="checkbox"/> Desconocimiento de Programas | <input type="checkbox"/> Horario de Trabajo            | <input type="checkbox"/> Falta de Fondos           |
| <input checked="" type="checkbox"/> Falta de Interés             | <input type="checkbox"/> No hay Programas que Necesito | <input type="checkbox"/> Otro _____                |

## SECCIÓN OPCIONAL III - Información demográfica - Cuéntanos de ti. Respuestas son opcionales

- 1 ¿Vives dentro de los límites de la Ciudad de Yakima? ☒ Si ☐ No
- 2 Si vives en Yakima, ¿cuánto tiempo has vivido dentro de los límites de la ciudad?
- |  |                                      |   |
|--|--------------------------------------|---|
| <input type="checkbox"/> Menos de un año       | <input type="checkbox"/> 4 a 8 años  | <input type="checkbox"/> 14 a 18 años   |
| <input checked="" type="checkbox"/> 1 a 3 años | <input type="checkbox"/> 9 a 13 años | <input type="checkbox"/> Más de 18 años |
- 3 ¿Cual es su edad?
- |   |   |                                |
|---|---|--------------------------------|
| <input type="checkbox"/> 14 o más joven | <input type="checkbox"/> 30-39            | <input type="checkbox"/> 60-69 |
| <input type="checkbox"/> 15-19          | <input checked="" type="checkbox"/> 40-49 | <input type="checkbox"/> 70-79 |
| <input type="checkbox"/> 20-29          | <input type="checkbox"/> 50-59            | <input type="checkbox"/> 80+   |
- 4 ¿Cuántas personas viven en su vivienda? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 ¿Cuántos niños viven en su hogar que son menores de 18 años? ☐ Ninguno ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 o más
- 6 ¿Cuál es su género? ☐ Hombre ☐ Mujer ☒ Prefiero no responder
- 7 ¿Cuál es su origen étnico? Por favor marque todas las cajas que aplican para los que viven en su hogar.
- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Latino/Hispano | <input type="checkbox"/> Afroamericano       | <input type="checkbox"/> Blanco               |
| <input type="checkbox"/> Asiático       | <input type="checkbox"/> Isleño del Pacifico | <input type="checkbox"/> Otro <u>Mexicano</u> |

## SECCIÓN IV - Información Adicional

- 1 Por favor, escriba comentarios o ideas adicionales que tenga con respecto a los programas y servicios.

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☒ No ☐ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.  
Kids in the Kitchen
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input type="checkbox"/> Adult Fitness Classes	<input type="checkbox"/> Youth Sports	<input type="checkbox"/> Summer Day Camps
<input type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input checked="" type="checkbox"/> Book Club
<input type="checkbox"/> Youth Crafts	<input checked="" type="checkbox"/> After School Programs	<input type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input type="checkbox"/> Computer Classes	<input type="checkbox"/> Legal Assistance	<input checked="" type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input type="checkbox"/> Social Media Classes	<input type="checkbox"/> Facility Rentals
<input type="checkbox"/> Naturalization Classes	<input type="checkbox"/> Youth Drop In Programs	<input type="checkbox"/> ESL Classes
<input type="checkbox"/> Wood Carving	<input type="checkbox"/> Gardening Club	<input type="checkbox"/> Creative Writing Classes
<input type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input checked="" type="checkbox"/> Other <u>Drama/Theater Classes</u>
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input checked="" type="checkbox"/> No Time - Too Busy	<input type="checkbox"/> Lack of Transportation	<input type="checkbox"/> No Child Care
<input type="checkbox"/> Unaware of Programs	<input checked="" type="checkbox"/> Work Schedules	<input type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input type="checkbox"/> Other _____

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input checked="" type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input checked="" type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☒ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input checked="" type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

Junior League would like to collaborate on a book club for girls.



# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☐ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.  
WFWC collaborative events @ the park
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other Any community collaborations

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input type="checkbox"/> Adult Fitness Classes	<input type="checkbox"/> Youth Sports	<input type="checkbox"/> Summer Day Camps
<input type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input type="checkbox"/> Book Club
<input type="checkbox"/> Youth Crafts	<input type="checkbox"/> After School Programs	<input type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input type="checkbox"/> Computer Classes	<input type="checkbox"/> Legal Assistance	<input type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input type="checkbox"/> Social Media Classes	<input type="checkbox"/> Facility Rentals
<input type="checkbox"/> Naturalization Classes	<input type="checkbox"/> Youth Drop In Programs	<input type="checkbox"/> ESL Classes
<input type="checkbox"/> Wood Carving	<input type="checkbox"/> Gardening Club	<input type="checkbox"/> Creative Writing Classes
<input type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input type="checkbox"/> No Time - Too Busy	<input type="checkbox"/> Lack of Transportation	<input type="checkbox"/> No Child Care
<input checked="" type="checkbox"/> Unaware of Programs	<input type="checkbox"/> Work Schedules	<input type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input type="checkbox"/> Other _____

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☐ Yes ☒ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input checked="" type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☒ None ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input checked="" type="checkbox"/> Other <u>Native American</u>

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☒ Car ☒ Bus ☒ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input type="checkbox"/> Adult Fitness Classes	<input type="checkbox"/> Youth Sports	<input checked="" type="checkbox"/> Summer Day Camps
<input type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input type="checkbox"/> Book Club
<input type="checkbox"/> Youth Crafts	<input type="checkbox"/> After School Programs	<input type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input checked="" type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input type="checkbox"/> Computer Classes	<input type="checkbox"/> Legal Assistance	<input type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input type="checkbox"/> Social Media Classes	<input type="checkbox"/> Facility Rentals
<input type="checkbox"/> Naturalization Classes	<input type="checkbox"/> Youth Drop In Programs	<input type="checkbox"/> ESL Classes
<input type="checkbox"/> Wood Carving	<input type="checkbox"/> Gardening Club	<input type="checkbox"/> Creative Writing Classes
<input checked="" type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input checked="" type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input type="checkbox"/> No Time - Too Busy	<input checked="" type="checkbox"/> Lack of Transportation	<input checked="" type="checkbox"/> No Child Care
<input type="checkbox"/> Unaware of Programs	<input type="checkbox"/> Work Schedules	<input type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input type="checkbox"/> Other _____

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input checked="" type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input checked="" type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☒ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |   |   |  |
|---|---|--|
| <input checked="" type="checkbox"/> Adult Fitness Classes | <input type="checkbox"/> Youth Sports                   | <input checked="" type="checkbox"/> Summer Day Camps |
| <input type="checkbox"/> Nutrition/Cooking Classes        | <input checked="" type="checkbox"/> Senior Meal Program | <input type="checkbox"/> Book Club                   |
| <input type="checkbox"/> Youth Crafts                     | <input type="checkbox"/> After School Programs          | <input type="checkbox"/> Senior Crafts               |
| <input type="checkbox"/> Senior Card & Table Games        | <input type="checkbox"/> Tutoring Assistance            | <input type="checkbox"/> Health & Wellness Checks    |
| <input checked="" type="checkbox"/> Computer Classes      | <input type="checkbox"/> Legal Assistance               | <input type="checkbox"/> Volunteer Opportunities     |
| <input type="checkbox"/> Cheerleading                     | <input type="checkbox"/> Yoga/Pilates                   | <input type="checkbox"/> Youth Dance Classes         |
| <input type="checkbox"/> Adult Education/GED              | <input type="checkbox"/> Senior Fitness Classes         | <input type="checkbox"/> Quilting/Knitting Groups    |
| <input type="checkbox"/> Adult Dance Classes              | <input type="checkbox"/> Social Media Classes           | <input type="checkbox"/> Facility Rentals            |
| <input type="checkbox"/> Naturalization Classes           | <input type="checkbox"/> Youth Drop In Programs         | <input type="checkbox"/> ESL Classes                 |
| <input type="checkbox"/> Wood Carving                     | <input type="checkbox"/> Gardening Club                 | <input type="checkbox"/> Creative Writing Classes    |
| <input checked="" type="checkbox"/> Music Classes         | <input type="checkbox"/> Ping Pong Group                | <input type="checkbox"/> Holiday Events              |
| <input type="checkbox"/> Other _____                      | <input type="checkbox"/> Other _____                    | <input type="checkbox"/> Other _____                 |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> No Time - Too Busy  | <input checked="" type="checkbox"/> Lack of Transportation | <input type="checkbox"/> No Child Care |
| <input checked="" type="checkbox"/> Unaware of Programs | <input checked="" type="checkbox"/> Work Schedules         | <input type="checkbox"/> Lack of Funds |
| <input type="checkbox"/> Lack of Interest               | <input type="checkbox"/> No Programs That I Need           | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input checked="" type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input checked="" type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☒ None ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input checked="" type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Adult Fitness Classes          | <input type="checkbox"/> Youth Sports                      | <input type="checkbox"/> Summer Day Camps                    |
| <input type="checkbox"/> Nutrition/Cooking Classes      | <input type="checkbox"/> Senior Meal Program               | <input type="checkbox"/> Book Club                           |
| <input type="checkbox"/> Youth Crafts                   | <input checked="" type="checkbox"/> After School Programs  | <input type="checkbox"/> Senior Crafts                       |
| <input type="checkbox"/> Senior Card & Table Games      | <input type="checkbox"/> Tutoring Assistance               | <input type="checkbox"/> Health & Wellness Checks            |
| <input type="checkbox"/> Computer Classes               | <input type="checkbox"/> Legal Assistance                  | <input type="checkbox"/> Volunteer Opportunities             |
| <input type="checkbox"/> Cheerleading                   | <input type="checkbox"/> Yoga/Pilates                      | <input type="checkbox"/> Youth Dance Classes                 |
| <input checked="" type="checkbox"/> Adult Education/GED | <input type="checkbox"/> Senior Fitness Classes            | <input type="checkbox"/> Quilting/Knitting Groups            |
| <input type="checkbox"/> Adult Dance Classes            | <input type="checkbox"/> Social Media Classes              | <input type="checkbox"/> Facility Rentals                    |
| <input type="checkbox"/> Naturalization Classes         | <input checked="" type="checkbox"/> Youth Drop In Programs | <input checked="" type="checkbox"/> ESL Classes              |
| <input type="checkbox"/> Wood Carving                   | <input type="checkbox"/> Gardening Club                    | <input checked="" type="checkbox"/> Creative Writing Classes |
| <input type="checkbox"/> Music Classes                  | <input type="checkbox"/> Ping Pong Group                   | <input type="checkbox"/> Holiday Events                      |
| <input type="checkbox"/> Other <u>CULTURAL EVENTS</u>   | <input type="checkbox"/> Other _____                       | <input type="checkbox"/> Other _____                         |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> No Time - Too Busy             | <input type="checkbox"/> Lack of Transportation  | <input type="checkbox"/> No Child Care |
| <input checked="" type="checkbox"/> Unaware of Programs | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds |
| <input type="checkbox"/> Lack of Interest               | <input type="checkbox"/> No Programs That I Need | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input checked="" type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input checked="" type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☒ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

CULTURAL EVENTS? PROGRAMMING THAT REFLECTS THE VALUES OF THE COMMUNITY IT SERVES.

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☒ No ☐ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.  
Boxing Program
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Adult Fitness Classes     | <input type="checkbox"/> Youth Sports                   | <input checked="" type="checkbox"/> Summer Day Camps |
| <input type="checkbox"/> Nutrition/Cooking Classes | <input type="checkbox"/> Senior Meal Program            | <input type="checkbox"/> Book Club                   |
| <input type="checkbox"/> Youth Crafts              | <input type="checkbox"/> After School Programs          | <input type="checkbox"/> Senior Crafts               |
| <input type="checkbox"/> Senior Card & Table Games | <input checked="" type="checkbox"/> Tutoring Assistance | <input type="checkbox"/> Health & Wellness Checks    |
| <input type="checkbox"/> Computer Classes          | <input type="checkbox"/> Legal Assistance               | <input type="checkbox"/> Volunteer Opportunities     |
| <input type="checkbox"/> Cheerleading              | <input type="checkbox"/> Yoga/Pilates                   | <input type="checkbox"/> Youth Dance Classes         |
| <input type="checkbox"/> Adult Education/GED       | <input type="checkbox"/> Senior Fitness Classes         | <input type="checkbox"/> Quilting/Knitting Groups    |
| <input type="checkbox"/> Adult Dance Classes       | <input type="checkbox"/> Social Media Classes           | <input type="checkbox"/> Facility Rentals            |
| <input type="checkbox"/> Naturalization Classes    | <input type="checkbox"/> Youth Drop In Programs         | <input type="checkbox"/> ESL Classes                 |
| <input type="checkbox"/> Wood Carving              | <input checked="" type="checkbox"/> Gardening Club      | <input type="checkbox"/> Creative Writing Classes    |
| <input checked="" type="checkbox"/> Music Classes  | <input type="checkbox"/> Ping Pong Group                | <input type="checkbox"/> Holiday Events              |
| <input type="checkbox"/> Other _____               | <input type="checkbox"/> Other _____                    | <input type="checkbox"/> Other _____                 |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> No Time - Too Busy  | <input checked="" type="checkbox"/> Lack of Transportation | <input type="checkbox"/> No Child Care |
| <input checked="" type="checkbox"/> Unaware of Programs | <input checked="" type="checkbox"/> Work Schedules         | <input type="checkbox"/> Lack of Funds |
| <input checked="" type="checkbox"/> Lack of Interest    | <input type="checkbox"/> No Programs That I Need           | <input type="checkbox"/> Other _____   |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☐ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?  
☐ less than one year ☐ 4 to 8 years ☒ 14 to 18 years  
☐ 1 to 3 years ☐ 9 to 13 years ☐ More than 18 years
- 3 What is your age?  
☐ 14 or younger ☐ 30-39 ☐ 60-69  
☒ 15-19 ☐ 40-49 ☐ 70-79  
☐ 20-29 ☐ 50-59 ☐ 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☒ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☒ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.  
☒ Latino/Hispanic ☐ African American ☐ White  
☐ Asian ☐ Pacific Islander ☐ Other \_\_\_\_\_

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

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## Washington Fruit Community Center - Cuestionario de Interés Comunitario

Por favor, tome unos minutos para decirnos qué programas y servicios le gustaría ver ofrecidos en el Washington Fruit Community Center. Utilizaremos la información para tomar decisiones sobre los programas y servicios ofrecidos en la instalación. Gracias por su tiempo.

### SECCIÓN I - Preguntas Generales

- 1 ¿Usted o alguien de su familia ha participado en algún programa en el Washington Fruit Community Center, anteriormente el Edificio YPAL, en el pasado? Si ☐ No ☒ No se ☐
- 2 Si respondió que sí, por favor díganos a qué programas asistió usted o miembros de su familia.
- 3 En el futuro, ¿cómo viajará para participar en programas o servicios en el Washington Fruit Community Center? Caminar ☐ Auto ☒ Autobús ☐ Bicicleta ☐ Otro \_\_\_\_\_

### SECTION II - Programs and Services

- 1 Por favor, seleccione los 5 mejores programas y servicios que usted y su familia considerarían usar en el Washington Fruit Community Center.

- |   |  |   |
|---|--|---|
| <input checked="" type="checkbox"/> Clases de Ejercicio Físico para Adultos | <input checked="" type="checkbox"/> Deportes Juveniles                   | <input checked="" type="checkbox"/> Campamento de Verano        |
| <input type="checkbox"/> Clases de Nutrición/Cocina                         | <input type="checkbox"/> Programa de Comida para Personas Mayores        | <input type="checkbox"/> Club de Lectura                        |
| <input type="checkbox"/> Artesanía Juvenil                                  | <input type="checkbox"/> Programa Extraescolar                           | <input type="checkbox"/> Artesanías Para Adultos Mayores        |
| <input type="checkbox"/> Juegos de Mesa para Personas Mayores               | <input checked="" type="checkbox"/> Asistencia de Tutoría                | <input checked="" type="checkbox"/> Clases de Salud y Bienestar |
| <input type="checkbox"/> Clases de Computadora                              | <input checked="" type="checkbox"/> Asistencia Legal                     | <input type="checkbox"/> Oportunidades de Voluntario            |
| <input type="checkbox"/> Animación Deportiva (Porrista)                     | <input type="checkbox"/> Yoga/Pilates                                    | <input type="checkbox"/> Clases de Baile para Jóvenes           |
| <input type="checkbox"/> Educación para Adultos/GED                         | <input type="checkbox"/> Clases de Ejercicio Físico para Adultos Mayores | <input type="checkbox"/> Grupos de Acolchado/Tejido             |
| <input type="checkbox"/> Clases de Baile para Adultos                       | <input type="checkbox"/> Clases de Redes Sociales                        | <input type="checkbox"/> Alquiler de Instalaciones              |
| <input type="checkbox"/> Clases de Naturalización                           | <input type="checkbox"/> Programas Juveniles sin inscripción             | <input type="checkbox"/> Clases de Inglés                       |
| <input type="checkbox"/> Tallado en Madera                                  | <input type="checkbox"/> Club de Jardinería                              | <input type="checkbox"/> Clases de Escritura Creativa           |
| <input type="checkbox"/> Clases de Música                                   | <input type="checkbox"/> Grupo de Ping Pong                              | <input type="checkbox"/> Eventos de Día de Festivo              |
| <input type="checkbox"/> Otro _____   | <input type="checkbox"/> Otro _____                                      | <input type="checkbox"/> Otro _____                             |

- 2 ¿Qué le impediría participar en programas y servicios en el Washington Fruit Community Center? Marque todas las que aplican.

- |  |   |  |
|--|---|--|
| <input checked="" type="checkbox"/> No Tengo Tiempo              | <input type="checkbox"/> Falta de Transportación                  | <input type="checkbox"/> No Tengo Cuidado de Niños |
| <input checked="" type="checkbox"/> Desconocimiento de Programas | <input checked="" type="checkbox"/> Horario de Trabajo            | <input type="checkbox"/> Falta de Fondos           |
| <input type="checkbox"/> Falta de Interés                        | <input checked="" type="checkbox"/> No hay Programas que Necesito | <input type="checkbox"/> Otro _____                |

### SECCIÓN OPCIONAL III - Información demográfica - Cuéntanos de ti. Respuestas son opcionales

- 1 ¿Vives dentro de los límites de la Ciudad de Yakima? ☒ Si ☐ No
- 2 Si vives en Yakima, ¿cuánto tiempo has vivido dentro de los límites de la ciudad?  
☐ Menos de un año ☐ 4 a 8 años ☐ 14 a 18 años  
☐ 1 a 3 años ☐ 9 a 13 años ☒ Más de 18 años
- 3 ¿Cual es su edad?  
☐ 14 o más joven ☐ 30-39 ☐ 60-69  
☐ 15-19 ☒ 40-49 ☐ 70-79  
☐ 20-29 ☐ 50-59 ☐ 80+
- 4 ¿Cuántas personas viven en su vivienda? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 ¿Cuántos niños viven en su hogar que son menores de 18 años? ☐ Ninguno ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 o más
- 6 ¿Cuál es su género? ☒ Hombre ☐ Mujer ☐ Prefiero no responder
- 7 ¿Cuál es su origen étnico? Por favor marque todas las cajas que aplican para los que viven en su hogar.  
☒ Latino/Hispano ☐ Afroamericano ☐ Blanco  
☐ Asiático ☐ Isleño del Pacifico ☐ Otro \_\_\_\_\_

### SECCIÓN IV - Información Adicional

- 1 Por favor, escriba comentarios o ideas adicionales que tenga con respecto a los programas y servicios.

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
  - 2 If you answered yes, please tell us what programs you or your family members attended.
- 
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input type="checkbox"/> Adult Fitness Classes	<input checked="" type="checkbox"/> Youth Sports	<input checked="" type="checkbox"/> Summer Day Camps
<input checked="" type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input checked="" type="checkbox"/> Book Club
<input type="checkbox"/> Youth Crafts	<input type="checkbox"/> After School Programs	<input type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input type="checkbox"/> Computer Classes	<input type="checkbox"/> Legal Assistance	<input type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input type="checkbox"/> Social Media Classes	<input type="checkbox"/> Facility Rentals
<input type="checkbox"/> Naturalization Classes	<input type="checkbox"/> Youth Drop In Programs	<input type="checkbox"/> ESL Classes
<input checked="" type="checkbox"/> Wood Carving	<input type="checkbox"/> Gardening Club	<input type="checkbox"/> Creative Writing Classes
<input type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input type="checkbox"/> No Time - Too Busy	<input type="checkbox"/> Lack of Transportation	<input type="checkbox"/> No Child Care
<input checked="" type="checkbox"/> Unaware of Programs	<input type="checkbox"/> Work Schedules	<input type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input type="checkbox"/> Other _____

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input checked="" type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input checked="" type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

Parenting classes

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

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  - 2 If you answered yes, please tell us what programs you or your family members attended.
- 
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input type="checkbox"/> Adult Fitness Classes	<input type="checkbox"/> Youth Sports	<input type="checkbox"/> Summer Day Camps
<input type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input type="checkbox"/> Book Club
<input type="checkbox"/> Youth Crafts	<input checked="" type="checkbox"/> After School Programs	<input type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input checked="" type="checkbox"/> Computer Classes	<input type="checkbox"/> Legal Assistance	<input type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input checked="" type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input type="checkbox"/> Social Media Classes	<input type="checkbox"/> Facility Rentals
<input checked="" type="checkbox"/> Naturalization Classes	<input checked="" type="checkbox"/> Youth Drop In Programs	<input type="checkbox"/> ESL Classes
<input type="checkbox"/> Wood Carving	<input type="checkbox"/> Gardening Club	<input type="checkbox"/> Creative Writing Classes
<input type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input type="checkbox"/> No Time - Too Busy	<input type="checkbox"/> Lack of Transportation	<input checked="" type="checkbox"/> No Child Care
<input checked="" type="checkbox"/> Unaware of Programs	<input type="checkbox"/> Work Schedules	<input checked="" type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input checked="" type="checkbox"/> Other <u>Spanish Programs</u>

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input checked="" type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input checked="" type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

I think programs offered should be culturally & linguistically appropriate. Also staff & leadership that represent the community that is being served. Thanks!!

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
  - 2 If you answered yes, please tell us what programs you or your family members attended.
- 
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Adult Fitness Classes          | <input type="checkbox"/> Youth Sports              | <input type="checkbox"/> Summer Day Camps                    |
| <input type="checkbox"/> Nutrition/Cooking Classes      | <input type="checkbox"/> Senior Meal Program       | <input type="checkbox"/> Book Club                           |
| <input checked="" type="checkbox"/> Youth Crafts        | <input type="checkbox"/> After School Programs     | <input type="checkbox"/> Senior Crafts                       |
| <input type="checkbox"/> Senior Card & Table Games      | <input type="checkbox"/> Tutoring Assistance       | <input checked="" type="checkbox"/> Health & Wellness Checks |
| <input type="checkbox"/> Computer Classes               | <input type="checkbox"/> Legal Assistance          | <input type="checkbox"/> Volunteer Opportunities             |
| <input type="checkbox"/> Cheerleading                   | <input checked="" type="checkbox"/> Yoga/Pilates   | <input type="checkbox"/> Youth Dance Classes                 |
| <input type="checkbox"/> Adult Education/GED            | <input type="checkbox"/> Senior Fitness Classes    | <input type="checkbox"/> Quilting/Knitting Groups            |
| <input checked="" type="checkbox"/> Adult Dance Classes | <input type="checkbox"/> Social Media Classes      | <input type="checkbox"/> Facility Rentals                    |
| <input type="checkbox"/> Naturalization Classes         | <input type="checkbox"/> Youth Drop In Programs    | <input type="checkbox"/> ESL Classes                         |
| <input type="checkbox"/> Wood Carving                   | <input checked="" type="checkbox"/> Gardening Club | <input type="checkbox"/> Creative Writing Classes            |
| <input type="checkbox"/> Music Classes                  | <input type="checkbox"/> Ping Pong Group           | <input type="checkbox"/> Holiday Events                      |
| <input type="checkbox"/> Other _____                    | <input type="checkbox"/> Other _____               | <input type="checkbox"/> Other _____                         |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> No Time - Too Busy             | <input type="checkbox"/> Lack of Transportation  | <input checked="" type="checkbox"/> No Child Care  |
| <input checked="" type="checkbox"/> Unaware of Programs | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds   |
| <input type="checkbox"/> Lack of Interest               | <input type="checkbox"/> No Programs That I Need | <input checked="" type="checkbox"/> Other <u>safety - lighting in parking lot at night</u> |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional. at night

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input checked="" type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input checked="" type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☒ 2 ☐ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☒ None ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.
- 
-

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☒ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Adult Fitness Classes          | <input type="checkbox"/> Youth Sports                      | <input type="checkbox"/> Summer Day Camps                          |
| <input type="checkbox"/> Nutrition/Cooking Classes      | <input type="checkbox"/> Senior Meal Program               | <input type="checkbox"/> Book Club                                 |
| <input type="checkbox"/> Youth Crafts                   | <input type="checkbox"/> After School Programs             | <input type="checkbox"/> Senior Crafts                             |
| <input type="checkbox"/> Senior Card & Table Games      | <input type="checkbox"/> Tutoring Assistance               | <input type="checkbox"/> Health & Wellness Checks                  |
| <input type="checkbox"/> Computer Classes               | <input type="checkbox"/> Legal Assistance                  | <input type="checkbox"/> Volunteer Opportunities                   |
| <input type="checkbox"/> Cheerleading                   | <input type="checkbox"/> Yoga/Pilates                      | <input type="checkbox"/> Youth Dance Classes                       |
| <input checked="" type="checkbox"/> Adult Education/GED | <input type="checkbox"/> Senior Fitness Classes            | <input type="checkbox"/> Quilting/Knitting Groups                  |
| <input type="checkbox"/> Adult Dance Classes            | <input type="checkbox"/> Social Media Classes              | <input type="checkbox"/> Facility Rentals                          |
| <input type="checkbox"/> Naturalization Classes         | <input checked="" type="checkbox"/> Youth Drop In Programs | <input type="checkbox"/> ESL Classes                               |
| <input type="checkbox"/> Wood Carving                   | <input type="checkbox"/> Gardening Club                    | <input type="checkbox"/> Creative Writing Classes                  |
| <input type="checkbox"/> Music Classes                  | <input type="checkbox"/> Ping Pong Group                   | <input type="checkbox"/> Holiday Events                            |
| <input type="checkbox"/> Other _____                    | <input type="checkbox"/> Other _____                       | <input checked="" type="checkbox"/> Other <u>Parenting Classes</u> |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> No Time - Too Busy             | <input checked="" type="checkbox"/> Lack of Transportation | <input checked="" type="checkbox"/> No Child Care |
| <input checked="" type="checkbox"/> Unaware of Programs | <input checked="" type="checkbox"/> Work Schedules         | <input type="checkbox"/> Lack of Funds            |
| <input type="checkbox"/> Lack of Interest               | <input type="checkbox"/> No Programs That I Need           | <input type="checkbox"/> Other _____              |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input checked="" type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input checked="" type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☒ None ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input checked="" type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.
- 
-



# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☒ No ☐ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.  
Athletic classes
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☒ Car ☒ Bus ☒ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Adult Fitness Classes             | <input type="checkbox"/> Youth Sports                     | <input type="checkbox"/> Summer Day Camps                   |
| <input type="checkbox"/> Nutrition/Cooking Classes         | <input type="checkbox"/> Senior Meal Program              | <input checked="" type="checkbox"/> Book Club               |
| <input type="checkbox"/> Youth Crafts                      | <input checked="" type="checkbox"/> After School Programs | <input type="checkbox"/> Senior Crafts                      |
| <input type="checkbox"/> Senior Card & Table Games         | <input checked="" type="checkbox"/> Tutoring Assistance   | <input type="checkbox"/> Health & Wellness Checks           |
| <input checked="" type="checkbox"/> Computer Classes       | <input checked="" type="checkbox"/> Legal Assistance      | <input checked="" type="checkbox"/> Volunteer Opportunities |
| <input type="checkbox"/> Cheerleading                      | <input type="checkbox"/> Yoga/Pilates                     | <input type="checkbox"/> Youth Dance Classes                |
| <input checked="" type="checkbox"/> Adult Education/GED    | <input type="checkbox"/> Senior Fitness Classes           | <input type="checkbox"/> Quilting/Knitting Groups           |
| <input type="checkbox"/> Adult Dance Classes               | <input type="checkbox"/> Social Media Classes             | <input type="checkbox"/> Facility Rentals                   |
| <input checked="" type="checkbox"/> Naturalization Classes | <input type="checkbox"/> Youth Drop In Programs           | <input checked="" type="checkbox"/> ESL Classes             |
| <input type="checkbox"/> Wood Carving                      | <input type="checkbox"/> Gardening Club                   | <input type="checkbox"/> Creative Writing Classes           |
| <input type="checkbox"/> Music Classes                     | <input type="checkbox"/> Ping Pong Group                  | <input type="checkbox"/> Holiday Events                     |
| <input type="checkbox"/> Other _____                       | <input type="checkbox"/> Other _____                      | <input type="checkbox"/> Other _____                        |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> No Time - Too Busy  | <input type="checkbox"/> Lack of Transportation  | <input type="checkbox"/> No Child Care                             |
| <input type="checkbox"/> Unaware of Programs | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds                             |
| <input type="checkbox"/> Lack of Interest    | <input type="checkbox"/> No Programs That I Need | <input checked="" type="checkbox"/> Other <u>Want to Volunteer</u> |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input checked="" type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input checked="" type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☒ None ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.
- 
-

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☒ No ☐ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☐ Bus ☐ Bicycle ☐ Other \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

<input checked="" type="checkbox"/> Adult Fitness Classes	<input checked="" type="checkbox"/> Youth Sports	<input type="checkbox"/> Summer Day Camps
<input type="checkbox"/> Nutrition/Cooking Classes	<input type="checkbox"/> Senior Meal Program	<input type="checkbox"/> Book Club
<input checked="" type="checkbox"/> Youth Crafts	<input type="checkbox"/> After School Programs	<input type="checkbox"/> Senior Crafts
<input type="checkbox"/> Senior Card & Table Games	<input type="checkbox"/> Tutoring Assistance	<input type="checkbox"/> Health & Wellness Checks
<input type="checkbox"/> Computer Classes	<input checked="" type="checkbox"/> Legal Assistance	<input type="checkbox"/> Volunteer Opportunities
<input type="checkbox"/> Cheerleading	<input type="checkbox"/> Yoga/Pilates	<input type="checkbox"/> Youth Dance Classes
<input type="checkbox"/> Adult Education/GED	<input type="checkbox"/> Senior Fitness Classes	<input type="checkbox"/> Quilting/Knitting Groups
<input type="checkbox"/> Adult Dance Classes	<input type="checkbox"/> Social Media Classes	<input type="checkbox"/> Facility Rentals
<input type="checkbox"/> Naturalization Classes	<input checked="" type="checkbox"/> Youth Drop In Programs	<input type="checkbox"/> ESL Classes
<input type="checkbox"/> Wood Carving	<input type="checkbox"/> Gardening Club	<input type="checkbox"/> Creative Writing Classes
<input type="checkbox"/> Music Classes	<input type="checkbox"/> Ping Pong Group	<input type="checkbox"/> Holiday Events
<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____
- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

<input type="checkbox"/> No Time - Too Busy	<input type="checkbox"/> Lack of Transportation	<input type="checkbox"/> No Child Care
<input checked="" type="checkbox"/> Unaware of Programs	<input type="checkbox"/> Work Schedules	<input type="checkbox"/> Lack of Funds
<input type="checkbox"/> Lack of Interest	<input type="checkbox"/> No Programs That I Need	<input type="checkbox"/> Other _____

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input type="checkbox"/> less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input checked="" type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input checked="" type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☒ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☐ None ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☐ Male ☒ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input checked="" type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

# Washington Fruit Community Center - Cuestionario de Interés Comunitario

Por favor, tome unos minutos para decirnos qué programas y servicios le gustaría ver ofrecidos en el Washington Fruit Community Center. Utilizaremos la información para tomar decisiones sobre los programas y servicios ofrecidos en la instalación. Gracias por su tiempo.

## SECCIÓN I - Preguntas Generales

- 1 ¿Usted o alguien de su familia ha participado en algún programa en el Washington Fruit Community Center, anteriormente el Edificio YPAL, en el pasado? Si ☐ No ☐ No se ☐
- 2 Si respondió que sí, por favor díganos a qué programas asistió usted o miembros de su familia.  
\_\_\_\_\_
- 3 En el futuro, ¿cómo viajará para participar en programas o servicios en el Washington Fruit Community Center? Caminar ☐ Auto ☐ Autobús ☐ Bicicleta ☐ Otro \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Por favor, seleccione los 5 mejores programas y servicios que usted y su familia considerarían usar en el Washington Fruit Community Center.

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Clases de Ejercicio Físico para Adultos | <input type="checkbox"/> Deportes Juveniles                              | <input type="checkbox"/> Campamento de Verano                   |
| <input type="checkbox"/> Clases de Nutrición/Cocina              | <input type="checkbox"/> Programa de Comida para Personas Mayores        | <input type="checkbox"/> Club de Lectura                        |
| <input type="checkbox"/> Artesanía Juvenil                       | <input type="checkbox"/> Programa Extraescolar                           | <input type="checkbox"/> Artesanías Para Adultos Mayores        |
| <input type="checkbox"/> Juegos de Mesa para Personas Mayores    | <input checked="" type="checkbox"/> Asistencia de Tutoría                | <input checked="" type="checkbox"/> Clases de Salud y Bienestar |
| <input checked="" type="checkbox"/> Clases de Computadora        | <input type="checkbox"/> Asistencia Legal                                | <input type="checkbox"/> Oportunidades de Voluntario            |
| <input type="checkbox"/> Animación Deportiva (Porrista)          | <input type="checkbox"/> Yoga/Pilates                                    | <input type="checkbox"/> Clases de Baile para Jóvenes           |
| <input type="checkbox"/> Educación para Adultos/GED              | <input type="checkbox"/> Clases de Ejercicio Físico para Adultos Mayores | <input type="checkbox"/> Grupos de Acolchado/Tejido             |
| <input checked="" type="checkbox"/> Clases de Baile para Adultos | <input type="checkbox"/> Clases de Redes Sociales                        | <input type="checkbox"/> Alquiler de Instalaciones              |
| <input checked="" type="checkbox"/> Clases de Naturalización     | <input type="checkbox"/> Programas Juveniles sin inscripción             | <input checked="" type="checkbox"/> Clases de Inglés            |
| <input type="checkbox"/> Tallado en Madera                       | <input type="checkbox"/> Club de Jardinería                              | <input type="checkbox"/> Clases de Escritura Creativa           |
| <input type="checkbox"/> Clases de Música                        | <input type="checkbox"/> Grupo de Ping Pong                              | <input type="checkbox"/> Eventos de Día de Festivo              |
| <input type="checkbox"/> Otro _____                              | <input type="checkbox"/> Otro _____                                      | <input type="checkbox"/> Otro _____                             |

- 2 ¿Qué le impediría participar en programas y servicios en el Washington Fruit Community Center? Marque todas las que aplican.

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> No Tengo Tiempo                         | <input type="checkbox"/> Falta de Transportación       | <input type="checkbox"/> No Tengo Cuidado de Niños |
| <input checked="" type="checkbox"/> Desconocimiento de Programas | <input type="checkbox"/> Horario de Trabajo            | <input type="checkbox"/> Falta de Fondos           |
| <input type="checkbox"/> Falta de Interés                        | <input type="checkbox"/> No hay Programas que Necesito | <input type="checkbox"/> Otro _____                |

## SECCIÓN OPCIONAL III - Información demográfica - Cuéntanos de ti. Respuestas son opcionales

- 1 ¿Vives dentro de los límites de la Ciudad de Yakima? ☒ Si ☐ No
- 2 Si vives en Yakima, ¿cuánto tiempo has vivido dentro de los límites de la ciudad?  
☐ Menos de un año ☒ 4 a 8 años ☐ 14 a 18 años  
☐ 1 a 3 años ☐ 9 a 13 años ☒ Más de 18 años
- 3 ¿Cual es su edad?  
☐ 14 o más joven ☐ 30-39 ☐ 60-69  
☐ 15-19 ☒ 40-49 ☐ 70-79  
☐ 20-29 ☒ 50-59 ☐ 80+
- 4 ¿Cuántas personas viven en su vivienda? ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 ¿Cuántos niños viven en su hogar que son menores de 18 años? ☐ Ninguno ☒ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 o más
- 6 ¿Cuál es su género? ☐ Hombre ☒ Mujer ☐ Prefiero no responder
- 7 ¿Cuál es su origen étnico? Por favor marque todas las cajas que aplican para los que viven en su hogar.  
☒ Latino/Hispano ☐ Afroamericano ☐ Blanco  
☐ Asiático ☐ Isleño del Pacifico ☐ Otro \_\_\_\_\_

## SECCIÓN IV - Información Adicional

- 1 Por favor, escriba comentarios o ideas adicionales que tenga con respecto a los programas y servicios.  
\_\_\_\_\_  
\_\_\_\_\_

# Washington Fruit Community Center - Cuestionario de Interés Comunitario

Por favor, tome unos minutos para decirnos qué programas y servicios le gustaría ver ofrecidos en el Washington Fruit Community Center. Utilizaremos la información para tomar decisiones sobre los programas y servicios ofrecidos en la instalación. Gracias por su tiempo.

## SECCIÓN I - Preguntas Generales

- 1 ¿Usted o alguien de su familia ha participado en algún programa en el Washington Fruit Community Center, anteriormente el Edificio YPAL, en el pasado? Si ☐ No ☒ No se ☐
- 2 Si respondió que sí, por favor díganos a qué programas asistió usted o miembros de su familia.
- 3 En el futuro, ¿cómo viajará para participar en programas o servicios en el Washington Fruit Community Center? Caminar ☒ Auto ☐ Autobús ☐ Bicicleta ☐ Otro

## SECTION II - Programs and Services

- 1 Por favor, seleccione los 5 mejores programas y servicios que usted y su familia considerarían usar en el Washington Fruit Community Center.

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Clases de Ejercicio Físico para Adultos | <input checked="" type="checkbox"/> Deportes Juveniles                   | <input type="checkbox"/> Campamento de Verano                    |
| <input type="checkbox"/> Clases de Nutrición/Cocina              | <input type="checkbox"/> Programa de Comida para Personas Mayores        | <input type="checkbox"/> Club de Lectura                         |
| <input type="checkbox"/> Artesanía Juvenil                       | <input checked="" type="checkbox"/> Programa Extraescolar                | <input type="checkbox"/> Artesanías Para Adultos Mayores         |
| <input type="checkbox"/> Juegos de Mesa para Personas Mayores    | <input type="checkbox"/> Asistencia de Tutoría                           | <input type="checkbox"/> Clases de Salud y Bienestar             |
| <input type="checkbox"/> Clases de Computadora                   | <input type="checkbox"/> Asistencia Legal                                | <input type="checkbox"/> Oportunidades de Voluntario             |
| <input type="checkbox"/> Animación Deportiva (Porrista)          | <input type="checkbox"/> Yoga/Pilates                                    | <input checked="" type="checkbox"/> Clases de Baile para Jóvenes |
| <input type="checkbox"/> Educación para Adultos/GED              | <input type="checkbox"/> Clases de Ejercicio Físico para Adultos Mayores | <input type="checkbox"/> Grupos de Acolchado/Tejido              |
| <input type="checkbox"/> Clases de Baile para Adultos            | <input type="checkbox"/> Clases de Redes Sociales                        | <input type="checkbox"/> Alquiler de Instalaciones               |
| <input type="checkbox"/> Clases de Naturalización                | <input type="checkbox"/> Programas Juveniles sin inscripción             | <input checked="" type="checkbox"/> Clases de Inglés             |
| <input type="checkbox"/> Tallado en Madera                       | <input type="checkbox"/> Club de Jardinería                              | <input type="checkbox"/> Clases de Escritura Creativa            |
| <input type="checkbox"/> Clases de Música                        | <input type="checkbox"/> Grupo de Ping Pong                              | <input type="checkbox"/> Eventos de Día de Festivo               |
| <input type="checkbox"/> Otro <input type="text"/>               | <input type="checkbox"/> Otro <input type="text"/>                       | <input type="checkbox"/> Otro <input type="text"/>               |

- 2 ¿Qué le impediría participar en programas y servicios en el Washington Fruit Community Center? Marque todas las que aplican.

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> No Tengo Tiempo              | <input type="checkbox"/> Falta de Transportación       | <input type="checkbox"/> No Tengo Cuidado de Niños |
| <input checked="" type="checkbox"/> Desconocimiento de Programas | <input type="checkbox"/> Horario de Trabajo            | <input type="checkbox"/> Falta de Fondos           |
| <input type="checkbox"/> Falta de Interés                        | <input type="checkbox"/> No hay Programas que Necesito | <input type="checkbox"/> Otro <input type="text"/> |

## SECCIÓN OPCIONAL III - Información demográfica - Cuéntanos de ti. Respuestas son opcionales

- 1 ¿Vives dentro de los límites de la Ciudad de Yakima? ☒ Sí ☐ No
- 2 Si vives en Yakima, ¿cuánto tiempo has vivido dentro de los límites de la ciudad?  
☐ Menos de un año ☒ 4 a 8 años ☐ 14 a 18 años  
☐ 1 a 3 años ☐ 9 a 13 años ☐ Más de 18 años
- 3 ¿Cual es su edad?  
☐ 14 o más joven ☒ 30-39 ☐ 60-69  
☐ 15-19 ☐ 40-49 ☐ 70-79  
☐ 20-29 ☐ 50-59 ☐ 80+
- 4 ¿Cuántas personas viven en su vivienda? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 ☐ 6 ☒ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 ¿Cuántos niños viven en su hogar que son menores de 18 años? ☐ Ninguno ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 o más
- 6 ¿Cuál es su género? ☐ Hombre ☒ Mujer ☐ Prefiero no responder
- 7 ¿Cuál es su origen étnico? Por favor marque todas las cajas que aplican para los que viven en su hogar.  
☒ Latino/Hispano ☐ Afroamericano ☐ Blanco  
☐ Asiático ☐ Isleño del Pacifico ☐ Otro

## SECCIÓN IV - Información Adicional

- 1 Por favor, escriba comentarios o ideas adicionales que tenga con respecto a los programas y servicios.

# Washington Fruit Community Center - Cuestionario de Interés Comunitario

Por favor, tome unos minutos para decirnos qué programas y servicios le gustaría ver ofrecidos en el Washington Fruit Community Center. Utilizaremos la información para tomar decisiones sobre los programas y servicios ofrecidos en la instalación. Gracias por su tiempo.

## SECCIÓN I - Preguntas Generales

- 1 ¿Usted o alguien de su familia ha participado en algún programa en el Washington Fruit Community Center, anteriormente el Edificio YPAL, en el pasado? Si ☐ No ☒ No se ☐
- 2 Si respondió que sí, por favor díganos a qué programas asistió usted o miembros de su familia.
- 3 En el futuro, ¿cómo viajará para participar en programas o servicios en el Washington Fruit Community Center? Caminar ☐ Auto ☒ Autobús ☐ Bicicleta ☐ Otro \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Por favor, seleccione los 5 mejores programas y servicios que usted y su familia considerarían usar en el Washington Fruit Community Center.

- |   |  |   |
|---|--|---|
| <input checked="" type="checkbox"/> Clases de Ejercicio Físico para Adultos | <input checked="" type="checkbox"/> Deportes Juveniles                   | <input type="checkbox"/> Campamento de Verano                   |
| <input checked="" type="checkbox"/> Clases de Nutrición/Cocina              | <input type="checkbox"/> Programa de Comida para Personas Mayores        | <input type="checkbox"/> Club de Lectura                        |
| <input checked="" type="checkbox"/> Artesanía Juvenil                       | <input type="checkbox"/> Programa Extraescolar                           | <input type="checkbox"/> Artesanías Para Adultos Mayores        |
| <input type="checkbox"/> Juegos de Mesa para Personas Mayores               | <input type="checkbox"/> Asistencia de Tutoría                           | <input checked="" type="checkbox"/> Clases de Salud y Bienestar |
| <input type="checkbox"/> Clases de Computadora                              | <input type="checkbox"/> Asistencia Legal                                | <input type="checkbox"/> Oportunidades de Voluntario            |
| <input type="checkbox"/> Animación Deportiva (Porrista)                     | <input type="checkbox"/> Yoga/Pilates                                    | <input type="checkbox"/> Clases de Baile para Jóvenes           |
| <input type="checkbox"/> Educación para Adultos/GED                         | <input type="checkbox"/> Clases de Ejercicio Físico para Adultos Mayores | <input type="checkbox"/> Grupos de Acolchado/Tejido             |
| <input checked="" type="checkbox"/> Clases de Baile para Adultos            | <input type="checkbox"/> Clases de Redes Sociales                        | <input type="checkbox"/> Alquiler de Instalaciones              |
| <input type="checkbox"/> Clases de Naturalización                           | <input type="checkbox"/> Programas Juveniles sin inscripción             | <input checked="" type="checkbox"/> Clases de Inglés            |
| <input type="checkbox"/> Tallado en Madera                                  | <input checked="" type="checkbox"/> Club de Jardinería                   | <input type="checkbox"/> Clases de Escritura Creativa           |
| <input checked="" type="checkbox"/> Clases de Música                        | <input type="checkbox"/> Grupo de Ping Pong                              | <input checked="" type="checkbox"/> Eventos de Día de Festivo   |
| <input type="checkbox"/> Otro _____   | <input type="checkbox"/> Otro _____                                      | <input type="checkbox"/> Otro _____                             |

- 2 ¿Qué le impediría participar en programas y servicios en el Washington Fruit Community Center? Marque todas las que aplican.

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> No Tengo Tiempo                         | <input type="checkbox"/> Falta de Transportación       | <input type="checkbox"/> No Tengo Cuidado de Niños |
| <input checked="" type="checkbox"/> Desconocimiento de Programas | <input type="checkbox"/> Horario de Trabajo            | <input type="checkbox"/> Falta de Fondos           |
| <input type="checkbox"/> Falta de Interés                        | <input type="checkbox"/> No hay Programas que Necesito | <input type="checkbox"/> Otro _____                |

## SECCIÓN OPCIONAL III - Información demográfica - Cuéntanos de ti. Respuestas son opcionales

- 1 ¿Vives dentro de los límites de la Ciudad de Yakima? ☐ Si ☐ No
- 2 Si vives en Yakima, ¿cuánto tiempo has vivido dentro de los límites de la ciudad?  
☐ Menos de un año ☐ 4 a 8 años ☐ 14 a 18 años  
☐ 1 a 3 años ☐ 9 a 13 años ☒ Más de 18 años
- 3 ¿Cual es su edad?  
☐ 14 o más joven ☐ 30-39 ☐ 60-69  
☐ 15-19 ☐ 40-49 ☐ 70-79  
☐ 20-29 ☐ 50-59 ☐ 80+
- 4 ¿Cuántas personas viven en su vivienda? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☒ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 ¿Cuántos niños viven en su hogar que son menores de 18 años? ☐ Ninguno ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 o más
- 6 ¿Cuál es su género? ☐ Hombre ☒ Mujer ☐ Prefiero no responder
- 7 ¿Cuál es su origen étnico? Por favor marque todas las cajas que aplican para los que viven en su hogar.  
☒ Latino/Hispano ☐ Afroamericano ☐ Blanco  
☐ Asiático ☐ Isleño del Pacifico ☐ Otro \_\_\_\_\_

## SECCIÓN IV - Información Adicional

- 1 Por favor, escriba comentarios o ideas adicionales que tenga con respecto a los programas y servicios.

clases de Zumba



# Washington Fruit Community Center - Cuestionario de Interés Comunitario

Por favor, tome unos minutos para decirnos qué programas y servicios le gustaría ver ofrecidos en el Washington Fruit Community Center. Utilizaremos la información para tomar decisiones sobre los programas y servicios ofrecidos en la instalación. Gracias por su tiempo.

## SECCIÓN I - Preguntas Generales

- 1 ¿Usted o alguien de su familia ha participado en algún programa en el Washington Fruit Community Center, anteriormente el Edificio YPAL, en el pasado? Si ☐ No ☒ No se ☐
- 2 Si respondió que sí, por favor díganos a qué programas asistió usted o miembros de su familia.
- 3 En el futuro, ¿cómo viajará para participar en programas o servicios en el Washington Fruit Community Center? Caminar ☐ Auto ☒ Autobús ☐ Bicicleta ☐ Otro \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Por favor, seleccione los 5 mejores programas y servicios que usted y su familia considerarían usar en el Washington Fruit Community Center.

- |   |  |   |
|---|--|---|
| <input checked="" type="checkbox"/> Clases de Ejercicio Físico para Adultos | <input checked="" type="checkbox"/> Deportes Juveniles                   | <input type="checkbox"/> Campamento de Verano                       |
| <input type="checkbox"/> Clases de Nutrición/Cocina                         | <input type="checkbox"/> Programa de Comida para Personas Mayores        | <input type="checkbox"/> Club de Lectura                            |
| <input type="checkbox"/> Artesanía Juvenil                                  | <input type="checkbox"/> Programa Extraescolar                           | <input checked="" type="checkbox"/> Artesanías Para Adultos Mayores |
| <input type="checkbox"/> Juegos de Mesa para Personas Mayores               | <input type="checkbox"/> Asistencia de Tutoría                           | <input type="checkbox"/> Clases de Salud y Bienestar                |
| <input type="checkbox"/> Clases de Computadora                              | <input type="checkbox"/> Asistencia Legal                                | <input type="checkbox"/> Oportunidades de Voluntario                |
| <input checked="" type="checkbox"/> Animación Deportiva (Porrista)          | <input type="checkbox"/> Yoga/Pilates                                    | <input type="checkbox"/> Clases de Baile para Jóvenes               |
| <input type="checkbox"/> Educación para Adultos/GED                         | <input type="checkbox"/> Clases de Ejercicio Físico para Adultos Mayores | <input type="checkbox"/> Grupos de Acolchado/Tejido                 |
| <input type="checkbox"/> Clases de Baile para Adultos                       | <input type="checkbox"/> Clases de Redes Sociales                        | <input type="checkbox"/> Alquiler de Instalaciones                  |
| <input type="checkbox"/> Clases de Naturalización                           | <input type="checkbox"/> Programas Juveniles sin inscripción             | <input checked="" type="checkbox"/> Clases de Inglés                |
| <input type="checkbox"/> Tallado en Madera                                  | <input type="checkbox"/> Club de Jardinería                              | <input type="checkbox"/> Clases de Escritura Creativa               |
| <input type="checkbox"/> Clases de Música                                   | <input type="checkbox"/> Grupo de Ping Pong                              | <input type="checkbox"/> Eventos de Día de Festivo                  |
| <input type="checkbox"/> Otro _____   | <input type="checkbox"/> Otro _____                                      | <input type="checkbox"/> Otro _____                                 |

- 2 ¿Qué le impediría participar en programas y servicios en el Washington Fruit Community Center? Marque todas las que aplican.

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> No Tengo Tiempo              | <input type="checkbox"/> Falta de Transportación       | <input checked="" type="checkbox"/> No Tengo Cuidado de Niños |
| <input type="checkbox"/> Desconocimiento de Programas | <input type="checkbox"/> Horario de Trabajo            | <input type="checkbox"/> Falta de Fondos                      |
| <input type="checkbox"/> Falta de Interés             | <input type="checkbox"/> No hay Programas que Necesito | <input type="checkbox"/> Otro _____                           |

## SECCIÓN OPCIONAL III - Información demográfica - Cuéntanos de ti. Respuestas son opcionales

- 1 ¿Vives dentro de los límites de la Ciudad de Yakima? ☒ Si ☐ No
- 2 Si vives en Yakima, ¿cuánto tiempo has vivido dentro de los límites de la ciudad?

<input type="checkbox"/> Menos de un año	<input type="checkbox"/> 4 a 8 años	<input type="checkbox"/> 14 a 18 años
<input type="checkbox"/> 1 a 3 años	<input checked="" type="checkbox"/> 9 a 13 años	<input type="checkbox"/> Más de 18 años
- 3 ¿Cual es su edad?

<input type="checkbox"/> 14 o más joven	<input checked="" type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 ¿Cuántas personas viven en su vivienda? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 ☒ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 ¿Cuántos niños viven en su hogar que son menores de 18 años? ☐ Ninguno ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 o más
- 6 ¿Cuál es su género? ☐ Hombre ☒ Mujer ☐ Prefiero no responder
- 7 ¿Cuál es su origen étnico? Por favor marque todas las cajas que aplican para los que viven en su hogar.

<input checked="" type="checkbox"/> Latino/Hispano	<input type="checkbox"/> Afroamericano	<input type="checkbox"/> Blanco
<input type="checkbox"/> Asiático	<input type="checkbox"/> Isleño del Pacifico	<input type="checkbox"/> Otro _____

## SECCIÓN IV - Información Adicional

- 1 Por favor, escriba comentarios o ideas adicionales que tenga con respecto a los programas y servicios.

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# Washington Fruit Community Center - Cuestionario de Interés Comunitario

Por favor, tome unos minutos para decirnos qué programas y servicios le gustaría ver ofrecidos en el Washington Fruit Community Center. Utilizaremos la información para tomar decisiones sobre los programas y servicios ofrecidos en la instalación. Gracias por su tiempo.

## SECCIÓN I - Preguntas Generales

- 1 ¿Usted o alguien de su familia ha participado en algún programa en el Washington Fruit Community Center, anteriormente el Edificio YPAL, en el pasado? Si ☐ No ☒ No se ☐
- 2 Si respondió que sí, por favor díganos a qué programas asistió usted o miembros de su familia.
- 3 En el futuro, ¿cómo viajará para participar en programas o servicios en el Washington Fruit Community Center? Caminar ☒ Auto ☐ Autobús ☐ Bicicleta ☐ Otro \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Por favor, seleccione los 5 mejores programas y servicios que usted y su familia considerarían usar en el Washington Fruit Community Center.

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Clases de Ejercicio Físico para Adultos | <input checked="" type="checkbox"/> Deportes Juveniles                   | <input type="checkbox"/> Campamento de Verano                   |
| <input checked="" type="checkbox"/> Clases de Nutrición/Cocina   | <input type="checkbox"/> Programa de Comida para Personas Mayores        | <input type="checkbox"/> Club de Lectura                        |
| <input checked="" type="checkbox"/> Artesanía Juvenil            | <input type="checkbox"/> Programa Extraescolar                           | <input type="checkbox"/> Artesanías Para Adultos Mayores        |
| <input type="checkbox"/> Juegos de Mesa para Personas Mayores    | <input type="checkbox"/> Asistencia de Tutoría                           | <input checked="" type="checkbox"/> Clases de Salud y Bienestar |
| <input checked="" type="checkbox"/> Clases de Computadora        | <input type="checkbox"/> Asistencia Legal                                | <input type="checkbox"/> Oportunidades de Voluntario            |
| <input type="checkbox"/> Animación Deportiva (Porrista)          | <input type="checkbox"/> Yoga/Pilates                                    | <input type="checkbox"/> Clases de Baile para Jóvenes           |
| <input checked="" type="checkbox"/> Educación para Adultos/GED   | <input type="checkbox"/> Clases de Ejercicio Físico para Adultos Mayores | <input checked="" type="checkbox"/> Grupos de Acolchado/Tejido  |
| <input type="checkbox"/> Clases de Baile para Adultos            | <input type="checkbox"/> Clases de Redes Sociales                        | <input type="checkbox"/> Alquiler de Instalaciones              |
| <input type="checkbox"/> Clases de Naturalización                | <input type="checkbox"/> Programas Juveniles sin inscripción             | <input checked="" type="checkbox"/> Clases de Inglés            |
| <input checked="" type="checkbox"/> Tallado en Madera            | <input type="checkbox"/> Club de Jardinería                              | <input type="checkbox"/> Clases de Escritura Creativa           |
| <input checked="" type="checkbox"/> Clases de Música             | <input type="checkbox"/> Grupo de Ping Pong                              | <input type="checkbox"/> Eventos de Día de Festivo              |
| <input type="checkbox"/> Otro _____                              | <input type="checkbox"/> Otro _____                                      | <input type="checkbox"/> Otro _____                             |

- 2 ¿Qué le impediría participar en programas y servicios en el Washington Fruit Community Center? Marque todas las que aplican.

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> No Tengo Tiempo                         | <input type="checkbox"/> Falta de Transportación       | <input checked="" type="checkbox"/> No Tengo Cuidado de Niños |
| <input checked="" type="checkbox"/> Desconocimiento de Programas | <input checked="" type="checkbox"/> Horario de Trabajo | <input checked="" type="checkbox"/> Falta de Fondos           |
| <input type="checkbox"/> Falta de Interés                        | <input type="checkbox"/> No hay Programas que Necesito | <input type="checkbox"/> Otro _____                           |

## SECCIÓN OPCIONAL III - Información demográfica - Cuéntanos de ti. Respuestas son opcionales

- 1 ¿Vives dentro de los límites de la Ciudad de Yakima? ☐ Si ☒ No
- 2 Si vives en Yakima, ¿cuánto tiempo has vivido dentro de los límites de la ciudad?  

<input type="checkbox"/> Menos de un año	<input type="checkbox"/> 4 a 8 años	<input type="checkbox"/> 14 a 18 años
<input type="checkbox"/> 1 a 3 años	<input type="checkbox"/> 9 a 13 años	<input type="checkbox"/> Más de 18 años
- 3 ¿Cual es su edad?  

<input type="checkbox"/> 14 o más joven	<input checked="" type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 ¿Cuántas personas viven en su vivienda? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 ¿Cuántos niños viven en su hogar que son menores de 18 años? ☐ Ninguno ☐ 1 ☐ 2 ☒ 3 ☐ 4 ☐ 5 o más
- 6 ¿Cuál es su género? ☐ Hombre ☒ Mujer ☐ Prefiero no responder
- 7 ¿Cuál es su origen étnico? Por favor marque todas las cajas que aplican para los que viven en su hogar.  

<input checked="" type="checkbox"/> Latino/Hispano	<input type="checkbox"/> Afroamericano	<input type="checkbox"/> Blanco
<input type="checkbox"/> Asiático	<input type="checkbox"/> Isleño del Pacifico	<input type="checkbox"/> Otro _____

## SECCIÓN IV - Información Adicional

- 1 Por favor, escriba comentarios o ideas adicionales que tenga con respecto a los programas y servicios.

Desearían de expandir programas para el Valle bajo de Yakima como Sunnyside o Grandview

# Washington Fruit Community Center - Community Interest Questionnaire

Please take a few minutes to tell us what programs and services you would like to see offered at the Washington Fruit Community Center. We will use the information to make decisions on the programs and services offered at the facility. Thank you for your time.

## SECTION I - General Questions

- 1 Have you or anyone in your family participated in any programs at the Washington Fruit Community Center, formerly the YPAL Building, in the past? Yes ☐ No ☒ Not Sure ☐
- 2 If you answered yes, please tell us what programs you or your family members attended.
- 3 In the future, how will you travel to participate in programs or services at the Washington Fruit Community Center? Walk ☐ Car ☐ Bus ☐ Bicycle ☐ Other ☒ J/A

## SECTION II - Programs and Services

- 1 Please select the top 5 programs and services that you and your family would consider using at the Washington Fruit Community Center.

- |   |  |   |
|---|--|---|
| <input checked="" type="checkbox"/> Adult Fitness Classes     | <input type="checkbox"/> Youth Sports                | <input type="checkbox"/> Summer Day Camps                   |
| <input checked="" type="checkbox"/> Nutrition/Cooking Classes | <input type="checkbox"/> Senior Meal Program         | <input type="checkbox"/> Book Club                          |
| <input type="checkbox"/> Youth Crafts                         | <input type="checkbox"/> After School Programs       | <input type="checkbox"/> Senior Crafts                      |
| <input type="checkbox"/> Senior Card & Table Games            | <input type="checkbox"/> Tutoring Assistance         | <input type="checkbox"/> Health & Wellness Checks           |
| <input type="checkbox"/> Computer Classes                     | <input checked="" type="checkbox"/> Legal Assistance | <input checked="" type="checkbox"/> Volunteer Opportunities |
| <input type="checkbox"/> Cheerleading                         | <input checked="" type="checkbox"/> Yoga/Pilates     | <input type="checkbox"/> Youth Dance Classes                |
| <input type="checkbox"/> Adult Education/GED                  | <input type="checkbox"/> Senior Fitness Classes      | <input type="checkbox"/> Quilting/Knitting Groups           |
| <input checked="" type="checkbox"/> Adult Dance Classes       | <input type="checkbox"/> Social Media Classes        | <input type="checkbox"/> Facility Rentals                   |
| <input type="checkbox"/> Naturalization Classes               | <input type="checkbox"/> Youth Drop In Programs      | <input type="checkbox"/> ESL Classes                        |
| <input type="checkbox"/> Wood Carving                         | <input type="checkbox"/> Gardening Club              | <input type="checkbox"/> Creative Writing Classes           |
| <input type="checkbox"/> Music Classes                        | <input type="checkbox"/> Ping Pong Group             | <input type="checkbox"/> Holiday Events                     |
| <input type="checkbox"/> Other _____                          | <input type="checkbox"/> Other _____                 | <input type="checkbox"/> Other _____                        |

- 2 What would keep you from participating in programs and services at the Washington Fruit Community Center? Please check all that apply.

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> No Time - Too Busy  | <input type="checkbox"/> Lack of Transportation  | <input type="checkbox"/> No Child Care                                 |
| <input type="checkbox"/> Unaware of Programs | <input type="checkbox"/> Work Schedules          | <input type="checkbox"/> Lack of Funds                                 |
| <input type="checkbox"/> Lack of Interest    | <input type="checkbox"/> No Programs That I Need | <input type="checkbox"/> Other <input checked="" type="checkbox"/> N/A |

## OPTIONAL SECTION III - Demographic Information - Tell us about yourself. Answers are optional.

- 1 Do you live within the Yakima City limits? ☒ Yes ☐ No
- 2 If you live in Yakima, how long have you lived within the city limits?

<input checked="" type="checkbox"/> Less than one year	<input type="checkbox"/> 4 to 8 years	<input type="checkbox"/> 14 to 18 years
<input type="checkbox"/> 1 to 3 years	<input type="checkbox"/> 9 to 13 years	<input type="checkbox"/> More than 18 years
- 3 What is your age?

<input type="checkbox"/> 14 or younger	<input checked="" type="checkbox"/> 30-39	<input type="checkbox"/> 60-69
<input type="checkbox"/> 15-19	<input type="checkbox"/> 40-49	<input type="checkbox"/> 70-79
<input type="checkbox"/> 20-29	<input type="checkbox"/> 50-59	<input type="checkbox"/> 80+
- 4 How many people live in your house or apartment? ☒ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 How many children live in your home that are under 18? ☒ None ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 or more
- 6 What is your gender? ☒ Male ☐ Female ☐ I prefer not to answer
- 7 What is your ethnic origin? Please check all boxes that apply for those living in your home.

<input type="checkbox"/> Latino/Hispanic	<input type="checkbox"/> African American	<input type="checkbox"/> White
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander	<input type="checkbox"/> Other _____

## SECTION IV - Additional Information

- 1 Please write additional thoughts or ideas you have regarding programs and services.

# Washington Fruit Community Center - Cuestionario de Interés Comunitario

Por favor, tome unos minutos para decirnos qué programas y servicios le gustaría ver ofrecidos en el Washington Fruit Community Center. Utilizaremos la información para tomar decisiones sobre los programas y servicios ofrecidos en la instalación. Gracias por su tiempo.

## SECCIÓN I - Preguntas Generales

- 1 ¿Usted o alguien de su familia ha participado en algún programa en el Washington Fruit Community Center, anteriormente el Edificio YPAL, en el pasado? Si ☐ No ☒ No se ☐
- 2 Si respondió que sí, por favor díganos a qué programas asistió usted o miembros de su familia.

- 3 En el futuro, ¿cómo viajará para participar en programas o servicios en el Washington Fruit Community Center? Caminar ☐ Auto ☒ Autobús ☐ Bicicleta ☐ Otro \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Por favor, seleccione los 5 mejores programas y servicios que usted y su familia considerarían usar en el Washington Fruit Community Center.

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Clases de Ejercicio Físico para Adultos | <input type="checkbox"/> Deportes Juveniles                              | <input type="checkbox"/> Campamento de Verano                   |
| <input type="checkbox"/> Clases de Nutrición/Cocina              | <input type="checkbox"/> Programa de Comida para Personas Mayores        | <input type="checkbox"/> Club de Lectura                        |
| <input type="checkbox"/> Artesanía Juvenil                       | <input type="checkbox"/> Programa Extraescolar                           | <input type="checkbox"/> Artesanías Para Adultos Mayores        |
| <input type="checkbox"/> Juegos de Mesa para Personas Mayores    | <input type="checkbox"/> Asistencia de Tutoría                           | <input type="checkbox"/> Clases de Salud y Bienestar            |
| <input type="checkbox"/> Clases de Computadora                   | <input checked="" type="checkbox"/> Asistencia Legal                     | <input checked="" type="checkbox"/> Oportunidades de Voluntario |
| <input type="checkbox"/> Animación Deportiva (Porrista)          | <input type="checkbox"/> Yoga/Pilates                                    | <input type="checkbox"/> Clases de Baile para Jóvenes           |
| <input type="checkbox"/> Educación para Adultos/GED              | <input type="checkbox"/> Clases de Ejercicio Físico para Adultos Mayores | <input type="checkbox"/> Grupos de Acolchado/Tejido             |
| <input type="checkbox"/> Clases de Baile para Adultos            | <input type="checkbox"/> Clases de Redes Sociales                        | <input type="checkbox"/> Alquiler de Instalaciones              |
| <input checked="" type="checkbox"/> Clases de Naturalización     | <input type="checkbox"/> Programas Juveniles sin inscripción             | <input type="checkbox"/> Clases de Inglés                       |
| <input type="checkbox"/> Tallado en Madera                       | <input type="checkbox"/> Club de Jardinería                              | <input type="checkbox"/> Clases de Escritura Creativa           |
| <input type="checkbox"/> Clases de Música                        | <input type="checkbox"/> Grupo de Ping Pong                              | <input type="checkbox"/> Eventos de Día de Festivo              |
| <input type="checkbox"/> Otro _____                              | <input type="checkbox"/> Otro _____                                      | <input type="checkbox"/> Otro _____                             |

- 2 ¿Qué le impediría participar en programas y servicios en el Washington Fruit Community Center? Marque todas las que aplican.

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> No Tengo Tiempo                         | <input type="checkbox"/> Falta de Transportación       | <input type="checkbox"/> No Tengo Cuidado de Niños  |
| <input checked="" type="checkbox"/> Desconocimiento de Programas | <input type="checkbox"/> Horario de Trabajo            | <input checked="" type="checkbox"/> Falta de Fondos |
| <input type="checkbox"/> Falta de Interés                        | <input type="checkbox"/> No hay Programas que Necesito | <input type="checkbox"/> Otro _____                 |

## SECCIÓN OPCIONAL III - Información demográfica - Cuéntanos de ti. Respuestas son opcionales

- 1 ¿Vives dentro de los límites de la Ciudad de Yakima? ☐ Si ☐ No
- 2 Si vives en Yakima, ¿cuánto tiempo has vivido dentro de los límites de la ciudad?
- |  |                                      |  |
|--|--------------------------------------|--|
| <input type="checkbox"/> Menos de un año | <input type="checkbox"/> 4 a 8 años  | <input type="checkbox"/> 14 a 18 años              |
| <input type="checkbox"/> 1 a 3 años      | <input type="checkbox"/> 9 a 13 años | <input checked="" type="checkbox"/> Más de 18 años |
- 3 ¿Cual es su edad?
- |   |                                |   |
|---|--------------------------------|---|
| <input type="checkbox"/> 14 o más joven | <input type="checkbox"/> 30-39 | <input checked="" type="checkbox"/> 60-69 |
| <input type="checkbox"/> 15-19          | <input type="checkbox"/> 40-49 | <input type="checkbox"/> 70-79            |
| <input type="checkbox"/> 20-29          | <input type="checkbox"/> 50-59 | <input type="checkbox"/> 80+              |
- 4 ¿Cuántas personas viven en su vivienda? ☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 ¿Cuántos niños viven en su hogar que son menores de 18 años? ☒ Ninguno ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 o más
- 6 ¿Cuál es su género? ☒ Hombre ☐ Mujer ☐ Prefiero no responder
- 7 ¿Cuál es su origen étnico? Por favor marque todas las cajas que aplican para los que viven en su hogar.
- |  |  |                                     |
|--|--|-------------------------------------|
| <input checked="" type="checkbox"/> Latino/Hispano | <input type="checkbox"/> Afroamericano       | <input type="checkbox"/> Blanco     |
| <input type="checkbox"/> Asiático                  | <input type="checkbox"/> Isleño del Pacifico | <input type="checkbox"/> Otro _____ |

## SECCIÓN IV - Información Adicional

- 1 Por favor, escriba comentarios o ideas adicionales que tenga con respecto a los programas y servicios.

Necesitamos ser mas unidos y mas programas de educacion  
y mas restricciones en los jovenes violentos y GANGAS  
que viven en la 7

# Washington Fruit Community Center - Cuestionario de Interés Comunitario

Por favor, tome unos minutos para decirnos qué programas y servicios le gustaría ver ofrecidos en el Washington Fruit Community Center. Utilizaremos la información para tomar decisiones sobre los programas y servicios ofrecidos en la instalación. Gracias por su tiempo.

## SECCIÓN I - Preguntas Generales

- 1 ¿Usted o alguien de su familia ha participado en algún programa en el Washington Fruit Community Center, anteriormente el Edificio YPAL, en el pasado? Si ☒ No ☐ No se ☐
- 2 Si respondió que sí, por favor díganos a qué programas asistió usted o miembros de su familia.

- 3 En el futuro, ¿cómo viajará para participar en programas o servicios en el Washington Fruit Community Center? Caminar ☐ Auto ☐ Autobús ☐ Bicicleta ☐ Otro \_\_\_\_\_

## SECTION II - Programs and Services

- 1 Por favor, seleccione los 5 mejores programas y servicios que usted y su familia considerarían usar en el Washington Fruit Community Center.

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Clases de Ejercicio Físico para Adultos | <input type="checkbox"/> Deportes Juveniles                              | <input type="checkbox"/> Campamento de Verano            |
| <input type="checkbox"/> Clases de Nutrición/Cocina              | <input type="checkbox"/> Programa de Comida para Personas Mayores        | <input type="checkbox"/> Club de Lectura                 |
| <input type="checkbox"/> Artesanía Juvenil                       | <input type="checkbox"/> Programa Extraescolar                           | <input type="checkbox"/> Artesanías Para Adultos Mayores |
| <input type="checkbox"/> Juegos de Mesa para Personas Mayores    | <input type="checkbox"/> Asistencia de Tutoría                           | <input type="checkbox"/> Clases de Salud y Bienestar     |
| <input type="checkbox"/> Clases de Computadora                   | <input type="checkbox"/> Asistencia Legal                                | <input type="checkbox"/> Oportunidades de Voluntario     |
| <input type="checkbox"/> Animación Deportiva (Porrista)          | <input type="checkbox"/> Yoga/Pilates                                    | <input type="checkbox"/> Clases de Baile para Jóvenes    |
| <input type="checkbox"/> Educación para Adultos/GED              | <input type="checkbox"/> Clases de Ejercicio Físico para Adultos Mayores | <input type="checkbox"/> Grupos de Acolchado/Tejido      |
| <input type="checkbox"/> Clases de Baile para Adultos            | <input type="checkbox"/> Clases de Redes Sociales                        | <input type="checkbox"/> Alquiler de Instalaciones       |
| <input type="checkbox"/> Clases de Naturalización                | <input type="checkbox"/> Programas Juveniles sin inscripción             | <input type="checkbox"/> Clases de Inglés                |
| <input type="checkbox"/> Tallado en Madera                       | <input type="checkbox"/> Club de Jardinería                              | <input type="checkbox"/> Clases de Escritura Creativa    |
| <input type="checkbox"/> Clases de Música                        | <input type="checkbox"/> Grupo de Ping Pong                              | <input type="checkbox"/> Eventos de Día de Festivo       |
| <input type="checkbox"/> Otro _____                              | <input type="checkbox"/> Otro _____                                      | <input type="checkbox"/> Otro _____                      |

- 2 ¿Qué le impediría participar en programas y servicios en el Washington Fruit Community Center? Marque todas las que aplican.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> No Tengo Tiempo              | <input type="checkbox"/> Falta de Transportación       | <input type="checkbox"/> No Tengo Cuidado de Niños |
| <input type="checkbox"/> Desconocimiento de Programas | <input type="checkbox"/> Horario de Trabajo            | <input type="checkbox"/> Falta de Fondos           |
| <input type="checkbox"/> Falta de Interés             | <input type="checkbox"/> No hay Programas que Necesito | <input type="checkbox"/> Otro _____                |

## SECCIÓN OPCIONAL III - Información demográfica - Cuéntanos de ti. Respuestas son opcionales

- 1 ¿Vives dentro de los límites de la Ciudad de Yakima? ☐ Si ☐ No
- 2 Si vives en Yakima, ¿cuánto tiempo has vivido dentro de los límites de la ciudad?
- |  |                                      |   |
|--|--------------------------------------|---|
| <input type="checkbox"/> Menos de un año | <input type="checkbox"/> 4 a 8 años  | <input type="checkbox"/> 14 a 18 años   |
| <input type="checkbox"/> 1 a 3 años      | <input type="checkbox"/> 9 a 13 años | <input type="checkbox"/> Más de 18 años |
- 3 ¿Cual es su edad?
- |   |                                |                                |
|---|--------------------------------|--------------------------------|
| <input type="checkbox"/> 14 o más joven | <input type="checkbox"/> 30-39 | <input type="checkbox"/> 60-69 |
| <input type="checkbox"/> 15-19          | <input type="checkbox"/> 40-49 | <input type="checkbox"/> 70-79 |
| <input type="checkbox"/> 20-29          | <input type="checkbox"/> 50-59 | <input type="checkbox"/> 80+   |
- 4 ¿Cuántas personas viven en su vivienda? ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10+
- 5 ¿Cuántos niños viven en su hogar que son menores de 18 años? ☐ Ninguno ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 o más
- 6 ¿Cuál es su género? ☐ Hombre ☐ Mujer ☐ Prefiero no responder
- 7 ¿Cuál es su origen étnico? Por favor marque todas las cajas que aplican para los que viven en su hogar.
- |   |  |                                     |
|---|--|-------------------------------------|
| <input type="checkbox"/> Latino/Hispano | <input type="checkbox"/> Afroamericano       | <input type="checkbox"/> Blanco     |
| <input type="checkbox"/> Asiático       | <input type="checkbox"/> Isleño del Pacifico | <input type="checkbox"/> Otro _____ |

## SECCIÓN IV - Información Adicional

- 1 Por favor, escriba comentarios o ideas adicionales que tenga con respecto a los programas y servicios.

505070304





**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 6.A.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Review of City Manager job description  
**SUBMITTED BY:** Connie Mendoza, Director of Human Resources

**SUMMARY EXPLANATION:**

This item is to allow for discussion and Council approval of the City Manager job description prior to recruitment efforts. Attached for Council's review and consideration is a marked-up version of the job classification intended to reflect Council discussion/direction provided at the February 6, 2024 Council meeting.

**ITEM BUDGETED:**

**STRATEGIC PRIORITY:**

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

**ATTACHMENTS:**

Description	Upload Date	Type
<input type="checkbox"/> Draft City Manager Classification	3/1/2024	Cover Memo

**City of Yakima  
Class Specification**

**1110**

**CITY MANAGER**

**DEFINITION:** The City Manager is responsible for directing the administration of City government in accordance with the municipal management principles, City ordinances, Yakima City Charter, applicable local, state and federal laws, and policies set forth by the Yakima City Council.

The City Manager appoints all Civil Service exempt employees including but not limited to Department Heads as provided by City Ordinance; supervises activities of all City departments and divisions, including public works, collection and disbursement of revenues, personnel management, public safety, code enforcement, City legal services, and City communications; oversees annual budget preparation and management; submits an annual budget to the City Council for approval; plans for future development to provide for population growth and expansion of public services.

The City Manager provides guidance, support, and problem solving assistance to all Department Heads in handling daily activities and responsibilities for the City of Yakima, making independent decisions on operational issues, managing and evaluating the effectiveness of technical operations, monitoring implementation of the City budget and ensuring that the City's programs are implemented in a manner consistent with City goals and policies. The City Manager reports to the City Council and is the appointing authority for all other City of Yakima employees.

**ESSENTIAL FUNCTIONS:** Plans, directs and coordinates the City's administrative functions and administers and executes the City's laws and ordinances. Provides City departments appropriate direction, encourages feedback and communication, and provides problem solving guidance and assistance.

Appoints, manages and, when necessary for the good of the City, removes from employment personnel of the City, all in compliance with Civil Service rules, regulations and laws; may authorize the heads of departments or offices to appoint and remove subordinates in such departments or offices.

Prepares the budget annually, submits it to the City Council and is responsible for budget administration after adoption.

Prepares a complete report of the City's finances and administrative activities of the City for the preceding year and submits it to the City Council at the end of the fiscal year.

Recommends measures considered necessary and expedient for adoption by the City Council.

Keeps the Council advised of the financial condition of future needs of the City and makes such recommendations as may deem desirable.

Administers all finance and fiscal matters of the City, countersigns all warrants, approves all claim vouchers and authorizes all travel for administrative personnel.

Oversees preparation of reports and recommendations for Council action, attends all City Council meetings and assures follow-up on Council actions and completion of assignments to staff. Serves as a resource to the City Council and staff through positive interactions and collaboration.

Attends a variety of meetings as the City's official staff representative and is required to speak to a wide variety of community groups, service clubs, professional organizations, etc.; serves as local liaison with State and County agencies. Work regularly requires attendance at meetings outside of normal working hours.

Supports the administration of City personnel policies in compliance with appropriate Collective Bargaining Agreements, City Charter, and Civil Service Rules and Regulations. Ensures timely resolution of operational issues, anticipates potential crisis and acts to prevent their occurrence or reduce operational impact.

Contributes to the effective administration of City government by fostering an attitude that encourages cooperation and coordination of efforts and efficient use of resources. Provides continuous effort to improve operations, decrease turnaround times, streamline work processes, and work cooperatively and jointly to provide quality customer service.

Performs such other duties as may be required by the City Council.

**MAJOR WORKER CHARACTERISTICS:** Considerable knowledge of the principles, procedures and techniques of municipal organization and administrative operations. Knowledge of federal, state and municipal laws and ordinances, and City of Yakima policies and procedures. Knowledge of best principles and techniques of management, supervision, corrective action, progressive discipline and leadership practices; principles and practices of work flow and systems analysis; record keeping systems, processes, and practices; best principles and practices for project and financial management; municipal records retention procedures and techniques. Demonstrates knowledge and sound judgement with regard to public disclosure and confidentiality standards.

Knowledge of principles and practices of a wide variety of departmental and staff municipal functions including, but not limited to, public works, engineering and related services, community and economic development, airport operations, land

use and zoning, public safety services, budgeting, finance, procurement, legal and personnel administration, and labor relations.

Strong working knowledge of: computer spreadsheets; databases; industry applications; Microsoft Office Suite including Excel; report writing tools and office equipment; professional office procedures and practices; and computerized municipal budgetary and fiscal management practices. Ability to operate standard office equipment including but not limited to: computer, copy machine, telephone and mobile devices.

Knowledge of techniques and strategies for dissemination of complex written and verbal information to a wide range of individuals, including the City Council, staff and members of the public, through effective written and oral reports, letters, and other formal communications such as public presentations or news conferences.

Excellent ability to conduct or supervise management and administrative analytical studies and to prepare policy recommendations for action. Ability to analyze and resolve problems; gather, analyze and interpret data; advise and counsel employees and managers.

Outstanding ability to communicate calmly, clearly, concisely, and tactfully in a wide variety of situations, including under stress. Must possess well developed and effective communication skills, both written and oral, with appropriate use of business English and plain English, including but not limited to correct grammar, vocabulary, letter composition, editing, spelling, and punctuation. Must possess the ability to make informative and persuasive presentations to individuals and groups, conduct public meetings, and participate in public forums. Must routinely and regularly maintain confidentiality and discretion through all forms of communication.

Ability to provide effective leadership and guidance to others with strong capacity to establish and maintain cooperative, successful working relationships and public relations credibility with City's management staff, City Council members, employees and employee associations, civic groups, professional organizations, private citizens, the news media, other local, state, and federal officials and legislative representatives.

Ability to absorb and analyze information rapidly, draw sound conclusions, and make decisions and recommendations quickly which address technical, legal, financial, personnel, and other administrative issues. Must be able to work effectively on several projects concurrently; work independently with self-direction and minimal direction or oversight; maintain sustained attention to detail; work under timeline pressures; adapt quickly to changing priorities and demands; prioritize and assign workloads; and make sound decisions within broad guidelines. Ability to respond, implement, and manage an emergency plan of action including but not limited to: technological or operating issues and/or emergency situations.

Knowledge of collective bargaining laws, procedures, and arbitration decisions which impact municipal operations. Must have ability to successfully assist with facilitation and negotiation of collective bargaining agreements in accordance with goals and guidelines of the City Council.

Ability to coordinate the diverse activities of various City departments and City-wide programs and capability to motivate and persuade key staff in City departments to adhere to Council objectives and policies at the City Manager's directions. Ability to work effectively with Yakima City Council and staff to address strategic priorities.

Ability to develop, present and gain acceptance for long-range programs and budgets. Must be able to locate grant resources and prepare grant proposals for projects.

Ability to work extended hours as needed to carry out the executive management and supervisory responsibilities and functions for the City of Yakima.

**PHYSICAL DEMANDS:** Work is performed primarily in an office environment while sitting at a desk or computer terminal for extended periods of time or while standing for a period of time. Occasionally needs to move inside the office to access file cabinets, office machinery, and department records. Constant use of both hands in reaching/handling/grasping/keyboarding and other fine manipulation while operating computers and performing other duties. Occasional heavy work includes lifting and carrying up to 25 pounds. Occasionally ascends/descends stairs while maintaining balance. Constant use of all senses including feeling/talking/hearing/seeing while performing duties and communicating with co-workers, general public and completing all tasks as assigned. Must be able to distinguish color and maintain long-term and short-term memory. May work in remote locations or in noisy work areas. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

**UNUSUAL WORKING CONDITIONS:** May work with angry or upset individuals including those who may be unhappy with City policies and/or City decisions. May require extension of workday or work week with short notice including evening or weekend work to address workload and/or when meeting with the public. Required to carry a cell phone and respond to technological or operating issues and/or emergency situations outside the normal work schedule, including weekends and holidays. May require occasional travel from site to site for attendance at meetings, including evening meetings.

**LICENSES, REGISTRATIONS AND/OR CERTIFICATES:** Must be able to obtain and maintain a valid Washington State Driver's License within 6 months of hire.



**MINIMUM REQUIREMENTS:** Bachelor's Degree from an **an accredited** four **(4)** year college or university in business administration, business, law, public administration, political science, or a closely related field is required.

**AND:**

Five (5) years' ~~of~~ experience as a City Manager, Assistant City Manager, exempt level department head or other senior administrative officer;

**OR**

**Ten (10) years' experience as a CEO or CFO in a large enterprise business/corporation of similar size and complexity.**

**Master's Degree, executive branch experience, and/or prior experience as a City Manager, Assistant City Manager, exempt level department head or other senior administrative officer is strongly preferred.**

All successful candidates must pass background investigation regarding applicant's aptitude, character/integrity, judgement, credit, driving record and criminal history prior to hire.



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.A.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Approval of minutes from the February 20, 2024 City Council regular meeting and February 27, 2024 study session

**SUBMITTED BY:** Rosalinda Ibarra, City Clerk

**SUMMARY EXPLANATION:**

See attached.

**ITEM BUDGETED:**

**STRATEGIC PRIORITY:**

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Approve minutes.

**ATTACHMENTS:**

Description	Upload Date	Type
2-20 draft council minutes	2/26/2024	Backup Material
2-27 draft minutes	3/1/2024	Backup Material



## MINUTES YAKIMA CITY COUNCIL

February 20, 2024

**City Hall – Council Chambers - 129 N 2nd Street, Yakima, WA  
5:30 p.m. Regular Meeting conducted in person and virtually via Zoom**

### 1. **Roll Call**

Present: Mayor Patricia Byers, presiding; Assistant Mayor Matt Brown and Councilmembers Reedy Berg, Janice Deccio, Rick Glenn, Danny Herrera and Leo Roy

Staff: Interim City Manager Dave Zabell, City Attorney Sara Watkins and City Clerk Rosalinda Ibarra

### 2. **Pledge of Allegiance**

Mayor Byers led the Pledge of Allegiance.

### 3. **Interpreter Services**

Mayor Byers introduced Jorge Villaseñor who announced interpreter services are available in Spanish.

### 4. **Public Comment**

Mireya Chavez and Consuelo Rodriguez, residents of Districts 1 and 6, introduced students of the La Casa Hogar citizenship program.

David Macias, AFSCME and City employee, Wastewater Instrument Technician, spoke regarding wage compression in the City's pay ordinance, uncompetitive wages and lack of advancement opportunities.

Michael Moore, City employee, Wastewater Industrial Maintenance Mechanic, spoke about recent changes in job descriptions and no additional compensation for those requirements. He noted upcoming retirements in the next 10 years and the City's inability to entice new employees.

Joey Wallberg, City employee, spoke regarding City workers who are the "behind the scenes" workers that manage the daily needs of the community.

Dustin Miley, City employee, spoke to Council regarding current working conditions and frequent trips to Council to speak.

Charley Mulvey, downtown resident, spoke regarding current boards and commissions and spoke in favor of the Climate Action Plan for the City.

Coleen Anderson, resident, spoke against making the Sustainable Yakima Committee a

subcommittee under the Planning Commission due to its limitations on community members to obtain information regarding committee work.

Bob Cox, valley resident, expressed concerns about losing the Sustainable Yakima Committee and hopes the Planning Commission will consider social and environmental justice issues and recommendations related to climate change from the subcommittee.

Dan Shapiro, member of Sustainable Yakima Committee, spoke against making the committee a subcommittee.

Natalie McClendon, resident, spoke in favor of government transparency and providing advanced notice of actions to be taken by Council. She noted concern about a loophole in the Council Rules of Procedure allowing a simple majority to suspend the rules.

Tony Courcy, resident, spoke regarding several matters.

Andi Hochleutner, CWHBA Government Affairs Director, extended a formal invitation for a Council member to attend their Government Affairs Committee meeting tomorrow afternoon at 3:30 p.m. or to attend a future meeting. Councilmember Glenn plans on attending.

## 5. **Open Discussion for the Good of the Order**

None.

## 6. **Council Reports**

None.

## 7. **Consent Agenda**

Mayor Byers referred to the items placed on the Consent Agenda, questioning whether there were any additions or deletions from Council members present. There were no changes. The City Clerk read the Consent Agenda items, including resolutions and ordinances, by title. (Items on the Consent Agenda are handled under one motion without further discussion—see motion directly below.)

**MOTION: Deccio moved and Brown seconded to approve the consent agenda.** The motion carried by a 7-0 roll call vote.

- A. Approval of minutes from the February 6, 2024 City Council regular meeting and February 13, 2024 study session
- B. January 2024 Investment Transaction Report
- C. Approve payment of disbursements for the period January 1-31, 2024
- D. Project Completion and Contract Acceptance with Knobel's Electric Inc for the Lions Pool Emergency Electrical Repair Project 2600
- E. Set date of March 19, 2024 for a closed record public hearing to consider the Hearing Examiner's recommendation regarding the preliminary plat of "Marylyn Place" submitted by WM Real Property Holdings, LLC

F. Set date of March 19, 2024 for a closed record public hearing to consider the Hearing Examiner's recommendation regarding the preliminary plat of "Champions Park Phase 1" submitted by Prickly Pear Holdings, LLC

G. Resolution accepting and approving 4th Quarter 2023 Claim Report

**RESOLUTION NO. R-2024-030, A RESOLUTION** accepting and approving the 4th Quarter 2023 Claim Report for the City of Yakima.

H. Resolution authorizing Task Order No. 2022-02 with HLA Engineering and Land Surveying, Inc. for water and wastewater systems design in low-income and unserved areas

**RESOLUTION NO. R-2024-031, A RESOLUTION** authorizing the City Manager to execute Task Order No. 2022-02 with HLA Engineering and Land Surveying, Inc. to provide engineering services for the design of water distribution systems and wastewater collection systems in low income and underserved areas in Yakima.

I. Resolution authorizing Supplemental Agreement 2 to the Professional Services Agreement with Haley & Aldrich Inc for Tiger Oil Project EV2999

**RESOLUTION NO. R-2024-032, A RESOLUTION** authorizing Supplemental Agreement 2 to the Professional Services Agreement with Haley & Aldrich Inc to perform the design and remediation for the former Tiger Oil site at 2312 W Nob Hill Boulevard.

J. Resolution authorizing a Professional Services Agreement HLA Engineering and Land Surveying Inc for Systemic Pedestrian and Bicyclist Data Collection Project 2674

**RESOLUTION NO. R-2024-033, A RESOLUTION** authorizing an agreement with HLA Engineering & Land Surveying Inc for the City Safety Systemic Pedestrian and Bicycle Data Collection Project No. 2674.

#### **DEPARTMENT ITEMS**

8. Resolution authorizing a Grant Agreement with the Department of Commerce for the development of Gloria's Park, a new City Park adjacent to the SOZO Sports Complex

Public Works Director Scott Schafer briefed Council on the proposed resolution. He noted that the RCO conversion process that allowed the YMCA Aquatic facility was completed and it resulted in the City's obligation to develop replacement property as a new public park for the area lost at Chesterley Park.

The City Clerk read the resolution by title only. After discussion,

**MOTION: Deccio moved and Brown seconded to adopt the resolution.** The motion carried by a 7-0 roll call vote.

**RESOLUTION NO. R-2024-034, A RESOLUTION** authorizing a Grant Agreement with the Department of Commerce for the development of Gloria's Park, a new City Park adjacent to the SOZO Sports Complex.

9. Ordinance granting a non-exclusive Franchise to Falcon Video Communications, L.P. I/k/a Charter Communications to operate and maintain a Cable Communications System throughout the city of Yakima

Communications & Public Affairs Director Randy Beehler briefed Council on the franchise agreement with Falcon Video Communications, also known as Charter Communications.

The City Clerk read the ordinance by title.

**MOTION: Brown moved and Deccio seconded to pass the ordinance.** The motion carried by a 7-0 roll call vote.

**ORDINANCE NO. 2024-003, AN ORDINANCE** granting a non-exclusive Franchise to Falcon Video Communications, L.P. I/k/a Charter Communications to operate and maintain a Cable Communications System throughout the City of Yakima; setting forth provisions, terms and conditions of the grant of Franchise; providing for City regulation and use of the Cable Communications System; prescribing penalties for violation of Franchise provisions; and terminating Ordinance No. 93-115.

**10. Other Business**

**MOTION: Berg moved and Roy seconded to direct staff to create study session to discuss with the Planning Committee to review permits and codes related to business development and economic development within the City limits.** Motion carried by unanimous vote.

**MOTION: Brown moved and Berg seconded to add to a future study session the possibility of adding a short term AI commission to look at the benefits of AI used in the City and be able to form a task group.** Motion carried by unanimous vote.

**11. Adjournment**

**MOTION: Brown moved and Herrera seconded to adjourn to the next Council study session on February 27, 2024 at 5:00 p.m. in the City Hall Council Chambers.** The motion carried by unanimous vote. The meeting adjourned at 6:12 p.m.

**CERTIFICATION**

READ AND CERTIFIED ACCURATE BY

\_\_\_\_\_  
COUNCIL MEMBER DATE

\_\_\_\_\_  
COUNCIL MEMBER DATE

ATTEST:

\_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR





**MINUTES  
YAKIMA CITY COUNCIL  
STUDY SESSION  
February 27, 2024**

**City Hall -- Council Chambers - 129 N 2nd Street, Yakima, WA  
5:00 p.m. Study Session --- conducted in person and virtually via Zoom**

**1. Roll Call**

Present: Mayor Patricia Byers, presiding; Assistant Mayor Matt Brown and Councilmembers Reedy Berg, Janice Deccio, Rick Glenn and Danny Herrera

Staff: Interim City Manager Dave Zabell, City Attorney Sara Watkins and City Clerk Rosalinda Ibarra

Absent and Excused: Councilmember Leo Roy

**2. Public comment (allow 15 minutes)**

Eric Hohman, Yakima resident, encouraged Council to decline the efforts to restructure the citizen committees.

Natalie McClendon, Yakima resident, urged Council to consider revising the Rules of Procedure to limit the suspension of the rules to emergencies and majority support of Council members.

Phil Hoge, member of Yakima Bikes and Walks, questioned the practicality of moving the Bike and Pedestrian Committee as a subcommittee under the Yakima Planning Commission.

Jennifer Gindt, Yakima resident and Chair to the Bike and Pedestrian Committee, stated that moving the Bike and Pedestrian Committee would not serve the Yakima community well and noted health problems such as diabetes, heart disease, and obesity that affect the population.

Coleen Anderson, Yakima resident, asked Council to reconsider removing City support for the Sustainable Yakima Committee and Community Integration Committee and believes there's more work to be done related to climate change issues.

**3. Update on Cascade Millsite Parkway**

City Engineer Bill Preston provided an extensive update on the Cascade Mill Site property including past projects, current design and construction efforts, along with the funding and environmental status. The property includes Bravo Company Blvd and is part of the "East-West Corridor" project, a multi-jurisdictional transportation group, which aims to alleviate traffic congestion on Yakima Avenue by improving access and safety and provides economic

development opportunities. Bravo Company Blvd currently connects to Fair Avenue via a roundabout and will eventually connect with a reconstructed H Street and North 1st Street. The project also includes the design and partial construction of a new sewer trunk line along I-82 through the Mill Site property. Current efforts are underway to address the environmental work plan with Department of Ecology (DOE) to install underground utilities and construction designs.

The funding spent to date is approximately \$23.5 million from various funding sources comprised of ARPA, LIFT, DOE and other grants.

Looking ahead, the City will continue to support Yakima County in the NEPA completion efforts; complete the IAWP for the underground utilities; work with DOE to develop cleanup efforts; keep the DOE and Yakama Nation informed of the project as it progresses; and continue to seek funding for all phases of the project.

#### 4. Presentation of the City Space Study

Interim City Manager Dave Zabell introduced Kim Phelps and Jodi Kittel of ALSC Architects, the firm hired to conduct the space planning study. Ms. Phelps and Ms. Kittel presented the City of Yakima Space Study report and highlighted the assessment of several City-owned facilities including: future City Hall (formerly Bank of America), City Hall Annex (current City Hall facility), Special Assault Unit (current Y-PAC), Zais Law and Justice Center, Police Annex, and ONDS building.

The objectives of the study are to increase efficiency, enhance the public experience in accessing services, utilize recently acquired property, and identify consolidation efforts for economic redevelopment purposes. Mr. Zabell noted that the total cost estimate based on an ideal layout is approximately \$26-\$30 million. Further refinements based on Council and public input, potential for phasing of improvements, and development of a funding plan will occur over the next several months.

#### 5. Update on 40th Ave & Chestnut Traffic Analysis

City Engineer Bill Preston presented an update on additional traffic controls at the intersection of 40th Avenue and Chestnut Avenue. Council previously directed staff to explore the possibility of enhancing the bicycle and pedestrian awareness with the installation of High Intensity Activated Crosswalk (HAWK) system. Mr. Preston explained the advantages and disadvantages of installing a HAWK system at this intersection. The advantages include: HAWK systems reduce collisions on high-speed, high volume, multi-lane streets like 40th Avenue; more effective than Rectangular Rapid Flashing Beacons (RRFB) systems; completely stops all traffic; and, provides up to an 8% reduction in pedestrian crashes over an RRFB system. The disadvantages include: more costly than other alternatives; purchase of right of way property; does not improve current operation of the intersection; six crashes since 2017 and none involved pedestrians or cyclists; downhill grade not favorable for signaled location; and, HAWK system is considered riskier for city staff when performing maintenance. The estimated cost to install a HAWK system at the 40th Avenue and Chestnut Avenue intersection is \$367,000, which includes right of way acquisition.

Additionally, Mr. Preston provided the following alternatives:

- Enhanced lighting - add street light for the north crosswalk or replace existing crosswalk signs with LED Edged Lighted Crosswalk signs

- Advanced lighting - install additional RRFB flashers
- Reduce speed limit - install speed limit signs to create a slower speed zone

Mayor Byers expressed safety concerns regarding the downhill grade traffic and stated advanced lighting would be more effective. Assistant Mayor Brown voiced support for the low-cost alternatives.

6. Adjournment

**MOTION: Brown moved and Deccio seconded to adjourn to the next Council regular meeting on March 5, 2024, at 5:30 p.m. in the Council Chambers at City Hall.** The motion carried by unanimous vote; Roy absent. The meeting adjourned at 6:27 p.m.

**CERTIFICATION**

READ AND CERTIFIED ACCURATE BY

\_\_\_\_\_  
COUNCIL MEMBER DATE

\_\_\_\_\_  
COUNCIL MEMBER DATE

ATTEST:

\_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.B.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Set date of April 2, 2024 for a public hearing to consider a rezone proposal in the vicinity of 1104 & 1112 S. 48th Ave

**SUBMITTED BY:** Joan Davenport, AICP, Community Development Director  
\*Eric Crowell, Senior Planner

**SUMMARY EXPLANATION:**

An application to Rezone 1104 and 1112 S. 48th Ave. was received on October 5, 2023. The proposed action would rezone the subject properties from Professional Business (B-1) to Local Business (B-2). The Planning Commission held an open record public hearing on January 24, 2024, at which they recommended approval, and their written findings were rendered on February 5, 2024.

**ITEM BUDGETED:** NA

**STRATEGIC PRIORITY:** Neighborhood and Community Building

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Set date.



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.C.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Set date of April 2, 2024 for a closed record public hearing to consider the Planning Commission's Recommendation on text amendments to YMC Title 14 - Subdivision Ordinance

**SUBMITTED BY:** Joan Davenport, AICP, Community Development Director  
\*Eric Crowell, Senior Planner

**SUMMARY EXPLANATION:**

The City of Yakima Planning Division is proposing non-project minor amendments to the City of Yakima's Municipal Code Title 14. The first approval in the Preliminary Short Plat/Long Plat process includes a decision with various requirements such as frontage improvements and utility connections. Before the Final Short Plat/Long Plat can be signed off by the City Engineer and Subdivision Administrator, those requirements have to be completed or bonded for. There are currently two locations within the Subdivision Ordinance that discuss this process, which are not consistent. The following changes remove ambiguity in the interpretation of multiple code sections by providing consistency and clarification by outlining the process and review criteria in a single section.

The Yakima Planning Commission held an open record public hearing on February 14, 2024 and recommended approval of these changes.

**ITEM BUDGETED:** NA

**STRATEGIC PRIORITY:** Neighborhood and Community Building

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Set date.



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.D.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Project Completion and Contract Acceptance for the Capitol Theatre Curtain Replacement with Pacific Northwest Theatre Associates Project 2569

**SUBMITTED BY:** \*Charlie Robin, Capitol Theatre CEO  
Brian Palandri, Technical Director

**SUMMARY EXPLANATION:**

Pacific Northwest Theatre Associates (PNTA) completed the Capitol Theatre Curtain Replacement Project 2569. The project included replacement of the Fire Curtain and Main Drape & Traveler. Final inspection for this project was made and the recommendation is that the project be accepted. A final retainage payment of \$9,976.58 is due to the contractor for the completion of the project.

Project Manager: Brian Palandri  
Contractor: Pacific Northwest Theatre Associates  
Contract Awarded on: 09/07/2022  
Contract Cost: \$216,092.74  
Final Retainage Payment Due: \$9,976.58

The total contract cost is for construction only and does not include design and other project related costs. City Council action is required to accept the project and approve the final construction costs.

**ITEM BUDGETED:** Yes

**STRATEGIC PRIORITY:** Public Safety

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Accept project.

**ATTACHMENTS:**



Description	Upload Date	Type
📄 Completion Letter - Fire Curtain	2/13/2024	Backup Material
📄 Completion Letter - Main & Traveler	2/13/2024	Backup Material



July 7<sup>th</sup>, 2023

Pacific Northwest Theatre Associates (PNTA)

ATTN: Max Pagel

**Re: Capitol Theatre Fire Curtain Replacement Project**  
City Project no. 2569

### NOTICE OF COMPLETION

Dear Max,

This letter is your Notice of Completion for the above referenced project(s).  
The notice of Completion date is July 7<sup>th</sup>, 2023.

As of this date, all work is considered complete and the final invoices for the  
above referenced project(s) can be sent.

If you have any questions regarding the above referenced project(s), please  
contact me at (509) 853-8324.

Sincerely,

Brian Palandri  
CTC Technical Director

#### BOARD OF DIRECTORS

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Eric Silvers

Hilary Tanneberg

Susie Temple

Laura Terrazas

Janice Deccio  
City Council Rep



July 31<sup>st</sup>, 2023

Pacific Northwest Theatre Associates (PNTA)

ATTN: Max Pagel

**Re: Capitol Theatre Main Drape & Traveler Replacement Project**  
City Project no. 2569

**NOTICE OF COMPLETION**

Dear Max,

This letter is your Notice of Completion for the above referenced project(s).  
The notice of Completion date is July 31<sup>st</sup>, 2023.

As of this date, all work is considered complete for the above referenced  
project(s).

If you have any questions regarding the above referenced project(s), please  
contact me at (509) 853-8324.

Sincerely,

Brian Palandri  
CTC Technical Director

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Janice Deccio  
City Council Rep



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.E.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Project Completion and Contract Acceptance with Gilbert Patterson Concrete Inc for the S. 27th Ave. & Mead Ave. Sidewalks Project 2618

**SUBMITTED BY:** Scott Schafer, Director of Public Works  
\* Bill Preston, PE, City Engineer

**SUMMARY EXPLANATION:**

City Project #2618 provided for the construction of approximately 101 sq. yards of sidewalk and 204 linear feet of curbing adjacent to W. Mead Avenue and S. 27th Avenue. Final inspection for the project was made and the recommendation is that the project be accepted. Project completion is subject to issuance of Certificate of Payment by the Department of Revenue and authorizations from state agencies allowing final payment. A final payment of \$1,953.94 is due from the City to the contractor for retainage.

Project Manager: Dana Kallevig

Contractor: Gilbert Patterson Concrete Inc

Contract Awarded: 09/05/2023

Total Contract Cost: \$39,078.80

Retainage Due: \$1,953.94

The total contract cost is for construction only and does not include engineering and other related costs. City Council action is required to accept the project and approve the final construction costs.

**ITEM BUDGETED:** Yes

**STRATEGIC PRIORITY:** Public Safety

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Accept Project.

**ATTACHMENTS:**

Description	Upload Date	Type
Completion Letter	2/12/2024	Backup Material



## **DEPARTMENT OF PUBLIC WORKS**

*Engineering Division  
129 North Second Street  
Yakima, Washington 98901  
(509) 575-6111  
engineering@yakimawa.gov*

November 17, 2023

Gilbert Patterson Concrete, Inc.  
P.O. Box 262  
Wapato, WA 98951

Attn: Gilbert Patterson

Re: Mead Avenue & 27<sup>th</sup> Avenue Sidewalk Improvements  
**City of Yakima Project No. 2618**

### **Notice of Physical Completion**

Dear Mr. Patterson:

Be advised that work on the above referenced project was considered physically complete on 10/23/23.

Please make sure your company and your subs, if used, file your Affidavit of Prevailing Wages to Labor & Industries.

Thank you for the service your company provided for the City of Yakima, we look forward to working with you again.

Should you have any questions, please contact me at 509.307.7382.

Sincerely,

**Dana Kallevig**  
Acting Construction Supervisor

CC: Brenda Fehlafer, Contract Specialist  
File



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.F.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Project Completion and Contract Acceptance with Cortez Fencing LLC for the Naches Avenue Parkway Fencing Project 2764

**SUBMITTED BY:** Scott Schafer, Director of Public Works  
\* Ken Wilkinson, Park and Recreation Manager

**SUMMARY EXPLANATION:**

City Project 2764 provided for the installation of new fencing around the two islands of the Naches Parkway along Naches Avenue from Yakima Avenue to Walnut Street. Final inspection for the project was made and the recommendation is that the project be accepted. Project completion is subject to issuance of Certificate of Payment by the Department of Revenue and authorizations from state agencies allowing final payment. A final payment of \$9,243.60 is due from the City to the contractor for retainage.

Project Manager: Ken Wilkinson

Contractor: Cortez Fencing LLC

Contract Awarded: 06/21/23

Total Contract Cost: \$200,216.26

Retainage Due: \$9,243.60

The total contract cost is for construction only and does not include design, project management or other administrative costs. City Council action is required to accept the project and approve the final construction costs.

**ITEM BUDGETED:** Yes

**STRATEGIC PRIORITY:** Public Safety

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Accept Project.

**ATTACHMENTS:**

Description	Upload Date	Type
 Completion Letter	2/13/2024	Backup Material





**DEPARTMENT OF PUBLIC WORKS**  
**Scott Schafer, Director**

2

**Engineering Division**  
**129 North Second Street**  
**Yakima, Washington 98901**  
**(509) 575-6111 • Fax (509) 576-6305**

January 8, 2024

Eddie Cortez  
Cortez Fencing  
1206 E Wheeler Rd, Moses Lake, WA  
98837

Re: Physical Completion for City of Yakima – Naches Parkway Fencing Project

Dear Mr. Cortez:

This letter is to inform you of the satisfactory completion of the subject project above, and pursuant to Standard Specification 1-08.5, the project is considered Physically Complete. Final payment has been made. The City will release your retainage bond upon completion of the project closeout documents with Release of Lien from L&I and others.

Thank you for the service your company provided for the City of Yakima and we look forward to working with you again in the future.

If you have any questions please feel free to contact me at 509-576-6416

Sincerely,

Ken Wilkinson  
Yakima Parks & Recreation Manager

cc:  
Brad Schneider, Park Operation Supervisor  
File



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.G.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Resolution setting April 12, 2024, as the date for an open record public hearing before the Hearing Examiner to vacate a portion of N. 4th St. between Martin Luther King Jr. Blvd. and E. Lincoln Ave

**SUBMITTED BY:** Joan Davenport, Community Development Director  
\*Eric Crowell, Senior Planner

**SUMMARY EXPLANATION:**

On November 14, 2023, Hordan Planning Services submitted a petition (Petition 23-04, RWV#001-23) on behalf of the Corporation of the Catholic Bishop of Yakima to vacate a portion of N. 4th St. between Martin Luther King Jr. Blvd. and E. Lincoln Ave. This request aims to provide safety to students, staff, parishioners, and others that cross the street from St. Joseph-Marquette school and church campus on the west side of N. 4th St. to the newly constructed gymnasium on the east side of N. 4th St. City Council is being asked to set the date for this public hearing before the Hearing Examiner for April 12, 2024. The Hearing Examiner's Recommendation will be presented to Council for final consideration - date to be scheduled for a future Council meeting upon receipt of the HE Recommendation.

**ITEM BUDGETED:** NA

**STRATEGIC PRIORITY:** Neighborhood and Community Building

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Adopt Resolution.

**ATTACHMENTS:**

Description	Upload Date	Type
<input type="checkbox"/> Resolution	2/29/2024	Resolution
<input type="checkbox"/> Map	11/29/2023	Backup Material

## RESOLUTION NO. R-2024-

**A RESOLUTION** fixing time for a public hearing before the Hearing Examiner on April 12, 2024, on a petition (Petition No. 23-04) to vacate right-of-way at N. 4th St. between E. Lincoln Ave. and E. Martin Luther King Jr. Blvd.

**WHEREAS**, pursuant to RCW 35.79.010, a petition (Petition No. 23-04, RWV#001-23) has been filed with the City Clerk, requesting the vacation of a street or alleyway (or portion thereof) within the City of Yakima, a true copy of which petition is attached and incorporated into this resolution (Exhibit "A"); and

**WHEREAS**, such a petition has been signed by the owners of more than two-thirds (2/3) of the property abutting upon the street or alley (or portion thereof) which is requested to be vacated, now, therefore,

### BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF YAKIMA:

The above-referenced petition for vacation is hereby referred to the Hearing Examiner for public hearing pursuant to section 1.43.080 of the City of Yakima Municipal Code. The Hearing Examiner is directed to make written recommendation to the City Council regarding said petition. The Hearing Examiner's Public Hearing shall be held over Zoom ([https://cityofyakima.zoom.us/webinar/register/WN\\_8o5V3PT8RsaegMfMcycg3Q](https://cityofyakima.zoom.us/webinar/register/WN_8o5V3PT8RsaegMfMcycg3Q)) on April 12, 2024 at 9:00 a.m., which date and time are not more than sixty (60) days nor less than twenty (20) days after the passage of this resolution.

It is further resolved that the City Clerk, or administrative official, give notice of the Hearing Examiner Public Hearing in the form and manner prescribed by RCW 35.79.020 and Section 14.21.040(C) of the City of Yakima Municipal Code.

**ADOPTED BY THE CITY COUNCIL** this 5th day of March, 2024.

ATTEST:

\_\_\_\_\_  
Patricia Byers, Mayor

\_\_\_\_\_  
Rosalinda Ibarra, City Clerk

## Exhibit A

RECEIVED

23 NOV 15 12:56

PETITION NO. 23-04  
 CITY OF YAKIMA, WASHINGTON  
 PETITION TO VACATE STREET OR ALLEY YAKIMA CITY CLERK

To the City Council of the City of Yakima, Washington.

Comes now the undersigned petitioners and, pursuant to RCW Chapter 35.79, now respectfully show:

The undersigned petitioners request that the following described street, alley or portion thereof, located in the City of Yakima, be vacated pursuant to RCW 35.79 (*provide legal description below, or attach to petition if lengthy*).

Each of the undersigned petitioners is the owner of an interest in real estate abutting on the above-described area. The undersigned petitioners constitute owners of more than two-thirds of said abutting property.

Wherefore, petitioners pray that proceedings be heard hereon for the vacation of said area in the manner prescribed by RCW Ch. 35.79.

<u>Kathi D. Mercy</u>	<u>215 NORTH 4<sup>th</sup> STREET</u>	
Owner	Address	
<u>[Signature]</u>	<u>August 17, 2023</u>	<u>50%</u>
Signature	Date	Ownership %

<u>+ Bishop Joseph Tyson</u>	<u></u>	
Owner	Address	
<u>[Signature]</u>	<u>AUGUST 17, 2023</u>	<u>90 %</u>
Signature	Date	Ownership %

<u></u>	<u></u>	
Owner	Address	
<u></u>	<u></u>	<u></u>
Signature	Date	Ownership %

(If there are more property owners than what is room for please attach a separate list of property owners abutting the right-of-way to be vacated as well as their address, percentage of frontage on the right-of-way, and signature with date and the total ownership percentage of the property owners participating in this vacation)

**Project Name:** CORPORATION OF THE CATHOLIC BISHOP OF YAKIMA

**Site Address:** 201, 212, 215 N 4TH ST

**File Number(s):** RWV#001-23

**Proposal:** Proposal to vacate a portion on North 4th Street between MLK JR Blvd and Lincoln Avenue.



## VICINITY MAP



Map Disclaimer: Information shown on this map is for planning and illustration purposes only. The City of Yakima assumes no liability for any errors, omissions, or inaccuracies in the information provided or for any action taken, or action not taken by the user in reliance upon any maps or information provided herein.  
Date Created: 11/29/2023





**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.H.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Resolution authorizing a National Highway System grant award for Nob Hill Blvd Grind & Overlay Project 2799

**SUBMITTED BY:** Scott Schafer, Director of Public Works  
\* Bill Preston, City Engineer

**SUMMARY EXPLANATION:**

The City of Yakima (City) continues its efforts in improving sections of Nob Hill Boulevard. This project will include work on Nob Hill Blvd from S. 28th Ave to S. 40th Ave. The work includes a full width grind and overlay and ADA curb ramp improvements.

The Washington State Transportation National Highway System (NHS) Asset Management Program has awarded a federal funding award of \$1,571,000. There is no match required.

Council's approval of the grant will allow the project to go forward and will be accounted for in a future budget amendment.

**ITEM BUDGETED:** No

**STRATEGIC PRIORITY:** Public Safety

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Adopt Resolution.

**ATTACHMENTS:**

Description	Upload Date	Type
<input type="checkbox"/> Resolution	2/20/2024	Resolution
<input type="checkbox"/> Award Letter	1/10/2024	Backup Material



**RESOLUTION NO. R-2024-**

**A RESOLUTION** authorizing acceptance and execution of a grant program agreement with the Washington State Department of Transportation for the Nob Hill Blvd Project 2799

**WHEREAS**, the City of Yakima (City) is improving the functionality and safety of Nob Hill Boulevard (Blvd) from S 28<sup>th</sup> Avenue to S 40<sup>th</sup> Avenue; and

**WHEREAS**, the Nob Hill Blvd Project (Project) 2799 improvements consist of pavement repair, crack seal, mill and fill, and upgrading curb ramps; and

**WHEREAS**, the City received \$1,571,000 in Federal Funding from the Washington State Department of Transportation (WSDOT) National Highway System (NHS) Asset Management Program for the Project; and

**WHEREAS**, the federal funding has no match requirements for the project; and

**WHEREAS**, the City Council finds that it is in the best interests of the City of Yakima and its residents to accept and execute the grant agreement with WSDOT for the Project, and authorize the City Manager to take all necessary steps to execute the grant agreement, necessary contracts, and administer the funds received from WSDOT; now, therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF YAKIMA:**

Section 1. The City Manager is hereby authorized to accept the Washington State Department of Transportation (WSDOT) grant, not to exceed One Million Five Hundred Seventy-One Thousand Dollars (\$1,571,000.00) as described in the Grant Program Agreement, and directed to take all necessary steps to secure the funding for the Project.

Section 2. The appropriate administrative officials of the City are hereby authorized to receive monies and to expend the same as authorized by the WSDOT award.

Section 3. The City Manager, or his designee, shall have responsibility for the administration of said funds and expenditure of said funds received pursuant to the WSDOT award and the budget submitted therewith for the grant.

Section 4. The City Council hereby authorizes the City Manager to execute any and all contracts necessary and not to exceed the budgeted amounts outlined in the agreement, and enter into any other necessary agreements or documents to accomplish the Project funded through the WSDOT award.

Section 5. Severability. If any section, subsection, paragraph, sentence or clause of this resolution is declared invalid or unconstitutional for any reason, such decision shall not affect the validity or constitutionality of the remaining portions of the resolution.

**ADOPTED BY THE CITY COUNCIL** this 5th day of March, 2024.

ATTEST:

---

Patricia Byers, Mayor

---

Rosalinda Ibarra, City Clerk



Transportation Building  
 310 Maple Park Avenue S.E.  
 P.O. Box 47300  
 Olympia, WA 98504-7300  
 360-705-7000  
 TTY: 1-800-833-6388  
[www.wsdot.wa.gov](http://www.wsdot.wa.gov)

January 10, 2024

Mr. Bill Preston, PE  
 City Engineer  
 City of Yakima  
 129 North 2<sup>nd</sup> Street  
 Yakima, WA 98901

**RE: Nob Hill Blvd  
 2023 National Highway System (NHS) Asset Management Program  
 Federal Funding**

Dear Mr. Preston:

WSDOT is pleased to advise you that the above-mentioned project was selected to receive funding through the 2023 NHS Asset Management program. The federal funding is limited as shown below:

**Nob Hill Blvd** **\$1,571,000**

**Scope: Pavement repair, crack seal, mill and fill, and upgrade curb ramps, as required.**

*NOTE: Funding provided requires the local match as detailed in your project application. If no local match was identified, federal funds are available at 100%, for all eligible federal expenditures. Construction must be completed as a single contract and authorized by August 31, 2026, or funds may be reprogrammed to other projects. Scope changes are not allowed.*

To meet state and federal requirements, the following are required:

- Project expenditures incurred before receiving notice from Local Programs of federal fund authorization are not eligible for reimbursement.
- Please refer to the Local Programs webpage for detailed information, including:  
<http://www.wsdot.wa.gov/localprograms>
  - ✓ Local Agency Guidelines (LAG) manual for the requirements regarding programming, authorization, reimbursement, etc.;
  - ✓ Projects utilizing federal funds must be included in your current Transportation Improvement Program (TIP) as a complete programmed project. Once your TIP amendment is approved, WSDOT will amend the Statewide Transportation Improvement Program (STIP);
  - ✓ Funding and billing forms;

Mr. Bill Preston, PE  
City of Yakima  
January 10, 2024

- ✓ Local Project Report is required to be completed by the end of June and December each year. To access the database you will need an account name and password. Your account name is **Yakima** and your password is **Yakim007**. The password is case sensitive.
- If the project is not actively pursued, or becomes inactive ([23 CFR 630](#)), the project is at risk of being cancelled, funds repaid and reprogrammed.
- FHWA requires that all projects are ADA compliant upon completion or the federal funds must be repaid.

As a reminder, Local Programs requires all agencies to submit monthly progress billings to ensure timely reimbursement of eligible federal expenditures.

For assistance, please contact your Region Local Programs Engineer, Randy Giles at 509.577.1780 or [Randy.Giles@wsdot.wa.gov](mailto:Randy.Giles@wsdot.wa.gov).

Sincerely,

A handwritten signature in blue ink, appearing to read "Jay Drye", with a long horizontal flourish extending to the right.

Jay Drye, PE  
Director  
Local Programs

JD:st:cdm

cc: Christina Wickenhagen, Executive Director, YVCOG  
Randy Giles, South Central Region Local Programs Engineer



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.I.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Resolution authorizing an agreement with the Yakima National Little League Association for Little League activities at Elks Park Athletic Complex

**SUBMITTED BY:** Scott Schafer, Director of Public Works  
\* Ken Wilkinson, Parks and Recreation Manager

**SUMMARY EXPLANATION:**

Attached is a Five-Year Agreement with the Yakima National Little League Association for its use of Elks Park for Little League activities. The Agreement specifies terms and conditions for ballfield and facility maintenance scheduling, use and operation of the concession stand, and outlines a variety of responsibilities and obligations for both the City and the Yakima National Little League Association for use of Elks Park Athletic Complex.

**ITEM BUDGETED:** NA

**STRATEGIC PRIORITY:** Partnership Development

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Adopt Resolution.

**ATTACHMENTS:**

Description	Upload Date	Type
<input type="checkbox"/> Resolution National Little League Assoc. Agreement	2/19/2024	Resolution
<input type="checkbox"/> Agreement	2/13/2024	Contract

**RESOLUTION NO. R-2024- \_\_\_\_\_**

**A RESOLUTION** authorizing an Agreement with Yakima National Little League Association for Little League activities at Elks Park Athletic Complex.

**WHEREAS**, the City of Yakima (City) owns the Elks Park Athletic Complex located at 911 Hathaway; and

**WHEREAS**, the Yakima National Little League Association ("Association") uses Elks Park for its League activities; and

**WHEREAS**, the City and the Association desire to execute a contract regarding scheduling and coordination of maintenance for Elks Park and regarding management and operation of the concession stand at Elks Park; and

**WHEREAS**, the City Council has determined that it is in the best interest of the City of Yakima to execute the attached agreement, now, therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF YAKIMA:**

The City Manager is hereby authorized to execute an Agreement with Yakima National Little League, attached hereto and incorporated herein by this reference, for Little League activities at Elks Park Athletic Complex.

**ADOPTED BY THE CITY COUNCIL** this 5th day of March, 2024.

\_\_\_\_\_  
Patricia Byers, Mayor

ATTEST:

\_\_\_\_\_  
Rosalinda Ibarra, City Clerk



# AGREEMENT BETWEEN CITY OF YAKIMA AND YAKIMA NATIONAL LITTLE LEAGUE ASSOCIATION (Elks Park Athletic Complex)

**THIS AGREEMENT** (hereinafter “Agreement”) is made and entered into by and between the City of Yakima, a Washington municipal corporation (hereinafter “City”), and the Yakima National Little League Association (hereinafter “Association”).

**WHEREAS**, the Association uses the Elks Park Athletic Complex (hereinafter “Elks Park”), a public park owned by the City, for its Little League activities; and

**WHEREAS**, City and Association desire to execute a contract regarding scheduling and coordination of maintenance for Elks Park and regarding management and operation of a concession stand at Elks Park.

**NOW, THEREFORE**, in consideration of the mutual covenants, conditions, promises, terms and conditions set forth herein, it is agreed by and between the City and the Association as follows:

## **1. City’s Responsibilities.**

A. Pre-Season Maintenance. City shall work with Association in determining the dates for pre-season maintenance. All pre-season maintenance activities, including City’s activation of the irrigation system and opening of restrooms, are dependent on the weather. The determination of whether the weather permits provision of the maintenance service is at the sole discretion of City. If the City determines pre-season maintenance is appropriate, dates will coincide with City’s spring maintenance schedule.

B. Provision of Dumpster. City shall furnish one trash deposit dumpster for the season. Placement of the dumpster will be by mutual agreement of the parties and the costs of placement will be borne by City.

C. Activation of Irrigation System. City will attempt to turn on the irrigation water at Elks Park for Association’s first pre-season work party, depending on weather conditions and at the discretion of the City.

D. Opening of Restrooms for Pre-Season. City will attempt to have the restroom facilities available for use by the time of the Association’s first pre-season work party, depending on weather conditions and at the discretion of the City.

E. Keys to Facilities. City will provide Association with keys to the gate, restroom facilities and concession facility. The Association is responsible for the replacement of any lost or damaged keys. If the facilities need new locks due to the loss of keys by the Association or any

of its agents or volunteers, the costs of the new locks and keys shall be the responsibility of the Association.

F. Maintenance of Irrigation System. City shall maintain the irrigation system at Elks Park, including repair and replacement of broken irrigation heads. However, if damages are directly attributable to the intentional or negligent conduct of the Association, its players, agents, or volunteers, the Association shall pay for repair and replacement.

G. Special Maintenance or Irrigation Needs. City will work with Association on special maintenance or irrigation needs. Such maintenance may include providing mason sand, topsoil or other materials to prepare the fields for use, but is limited to no more than an annual aggregate total of twenty-five (25) yards of material per season.

H. Mowing. City will mow Elks Park on a regular basis as part of its scheduled mowing of City parks and recreation facilities.

## **2. Association's Responsibilities.**

A. Notification of Pre-Season Work Parties. Association shall notify City at least one (1) week in advance of the dates for Association's pre-season work parties.

B. Spot Maintenance of Sod. Association will spot-sod or de-sod the Elks Park fields as needed.

C. Pre-Season Maintenance of Restroom. Association shall be responsible for cleaning and closing of restrooms during March or before restrooms are open for the regular season by City. Association shall be responsible for damage to restrooms which occurs during the time the restrooms are opened early at the request of Association, except for damage to the exterior of the restrooms resulting from vandalism.

D. Preparation of Baseball Fields. Association will prepare the baseball fields for play for all Association games and practices. Association shall make necessary repairs to the baseball fields and control litter within a thirty (30) foot radius of the concession stand at Elks Park. Association will empty garbage receptacles into the outside garbage container.

E. Bases. Association will store the bases each night. Association shall be responsible for and shall replace all lost or stolen bases.

F. Improvements to Facilities. Association will work with City regarding future construction, rehabilitation or other building remodeling at Elks Park. Association shall provide City with all construction proposals, including budget and building plans, to the Parks and Recreation Division Manager for review and approval. Association shall work with City to standardize all future building materials. All construction projects proposed by Association are

expressly conditioned upon the prior written approval of the Parks and Recreation Division Manager.

G. Use of Facility Application. Association will complete and submit a “Use of Facility” application indicating the scheduling needs of Association no later than March 1 of each year. Association shall submit a detailed schedule of baseball field use prior to the start of each season such that when Association is not using the field, the community can have use of at least one field.

H. Designation of Contact Person. Association will designate an Association Board Member who will represent Association and work with the Parks and Recreation Manager or designee on all conditions of this Agreement.

### **3. Consideration.**

In consideration for the responsibilities and obligations undertaken by Association pursuant to this Agreement, City waives all field use fees otherwise required of Association for the use of Elks Park for Little League programs. Such waiver is expressly conditioned upon Association complying with all terms and conditions of this Agreement.

When additional mowing and/or other special maintenance services beyond the normal maintenance schedule are requested by Association, Association shall compensate City on a per hour basis in accordance with the current fee schedule for the Yakima Parks and Recreation Division as adopted by the Yakima City Council and as may be amended during the term of this Agreement. Invoices shall be paid by Association within thirty (30) days of the date of the invoice.

The Association also has historically completed service projects and conducted various improvement projects at Elks Park, such as graffiti clean up along the fences and other similar activities. It is anticipated that the Association will continue to do similar service projects or coordinate similar service projects at Elks Park during the term of this Agreement, at times and dates determined solely by the Association.

### **4. Concession Stand.**

A. Exclusive Right to Operate. City grants Association the exclusive right to operate the concession stand at Elks Park and to sell to visitors thereon food products, non-alcoholic beverages, and other merchandise, provided that Association complies with all of the terms and conditions of this Agreement. This Agreement shall constitute the written permit required in Yakima Municipal Code section 13.16.145(B).

B. Assignment and Subcontracting. The right to operate the concession stand shall not be assigned, transferred and/or subcontracted in whole or in part by Association to any other person or entity without the prior written consent of the Parks and Recreation Division Manager,

which such consent is determined at their sole discretion. In the event that such prior written consent is granted, then the assignee, transferee and/or subcontractor shall assume all duties, obligations, and liabilities of Association as stated herein. Further, Association shall in no way be relieved of its duties, obligations and liabilities under this Agreement by such assignment, transfer and/or subcontract. Any such assignee, transferee and/or subcontractor shall comply with the hold harmless/indemnification requirements of Section 13 and the insurance requirements of Section 14 of this Agreement.

C. Books and Records. Association shall maintain accurate books and records of all concession stand income and expenses. Association shall provide a written annual accounting report for the concession stand to the Parks and Recreation Division Manager by December 31 of each year of this Agreement. If Association does not produce such a report, the exclusive right to operate the concession stand granted by this Agreement may terminate at midnight on December 31.

The records relating to this Agreement shall be promptly furnished to the City upon request. Until the expiration of six (6) years after the termination date of this Agreement, or for a longer period of time if required by law or the Washington State Secretary of State's record retention schedule, Association shall retain and provide the City access to all of the Association's books, documents, papers and records which are related to this Agreement. If any litigation, claim, or audit is started before the expiration of the six-year period or retention schedule time period, the records shall be retained until all litigation, claims, or audit findings involving the records have been resolved.

All records relating to the Association and this Agreement must be made available to the City and produced to third parties, if required pursuant to the Washington State Public Records Act, Chapter 42.56 RCW, or by law. All records relating to this Agreement must be retained by Association for the minimum period of time required pursuant to the Washington State Secretary of State's records retention schedule.

The terms and conditions of this section shall survive any expiration or termination of this Agreement.

D. Association Fund for Capital Improvements. Pursuant to previous Agreement, and since January 1, 2007, Association has reserved at least ten percent (10%) of the net profits realized from the operation of the concession stand each year for capital improvements to Elks Park. In continuation of such account, Association shall reserve at least ten percent (10%) of the net profits realized from operation of the concession stand per year for capital improvements to Elks Park. Such funds shall be held and maintained in an account established by Association. The money in the reserve fund may accumulate over a period of years for long-term capital improvements. Use of any and all funds from the reserve is and shall be subject to the prior written approval of the Parks and Recreation Division Manager. Upon termination of this Agreement, any money remaining in the reserve fund shall become the property of the City.

E. Maintenance of Concession Stand. Association shall maintain the concession stand and all equipment necessary for the proper operation of the concession stand in a clean, sanitary and properly functioning condition at all times and shall conduct operation of the concession stand strictly in accordance with all applicable local, state and/or federal laws and regulations, including but not limited to, building code, fire code and public health requirements. Association shall be responsible for all necessary repair, maintenance, janitorial and utility costs associated with the operation of the concession stand, and for obtaining any necessary permits to carry out such responsibilities.

F. Inspection. City reserves the right to inspect the concession stand premises at any and all reasonable times throughout the term of this Agreement; provided, however, that it shall not interfere unduly with Association's operation of the concession stand. The right of inspection reserved to City hereunder shall impose no obligation upon City to make such inspections or to ascertain the condition of the premises and shall impose no liability upon City for failure to make such inspections.

G. Removal of Association Property upon Termination. Upon termination of this Agreement, Association shall remove its property and effects from the concession stand premises and peacefully vacate, surrender and deliver up possession of the concession stand premises. The concession stand premises shall be surrendered to City in good order and condition, reasonable wear and tear excepted. If Association fails to remove its property and effects on the effective date of termination of this Agreement, City shall have the right to either remove and store all of said property and effects at the expense of Association or declare the property abandoned and remove and dispose of the property. If the City chooses to remove and store said property, Association must pay the expense of moving and storage within thirty (30) days of termination. If payment is not made, the property shall be considered abandoned to the City and the City may utilize the property, surplus and dispose of the property, or simply dispose of the property, at the City's discretion.

**5. Term of Agreement – Renewal.** This Agreement shall be for an initial term of approximately five years commencing March 5, 2024 and terminating Midnight of December 31, 2028, unless earlier terminated by either party in accordance with Section 30 of this Agreement. Notwithstanding the above, this Agreement shall be renewed automatically for additional term of five years commencing January 1, 2029 and terminating Midnight of December 31, 2033 unless either party delivers written notice of intent to not renew, or to negotiate new terms, not later than September 30, 2028.

**6. Ownership of Improvements.** Association understands and agrees that any improvements it makes to Elks Park, including the addition of benches, fields or any other improvement, become the permanent property of City once the improvement is made.

**7. Status of Association.** Association and City understand and expressly agree that Association is an independent contractor in the performance of each and every part of this

Agreement. Association and its employees shall make no claim of City employment nor shall claim against City any related employment benefits, social security and/or retirement.

**8. Taxes and Assessments.** Association shall be solely responsible for compensating its employees and for paying all related taxes, deductions and assessments, including but not limited to, federal income tax, FICA, social security, assessments for unemployment and industrial injury, and other deductions from income which may be required by law or assessed against either party as a result of this Agreement. In the event City is assessed a tax or assessment as a result of this Agreement, Association shall pay the same before it becomes due.

**9. Nondiscrimination Provision.** During the performance of this Agreement, Association shall not discriminate on the basis of race, color, sex, religion, national origin, creed, marital status, political affiliation, or the presence of any sensory, mental or physical handicap. This provision shall include but not be limited to the following: programming, employment, upgrading, demotion, transfer, recruitment, advertising, layoff or termination, rates of pay or other forms of compensation, and selection for training, and the provision of services under this Agreement.

**10. The Americans With Disabilities Act.** Association agrees to comply with the Americans With Disabilities Act of 1990, 42 U.S.C. sections 12101 *et seq.* (ADA), and its implementing regulations insofar as such are applicable to the programs and services offered by Association. The ADA provides comprehensive civil rights to individuals with disabilities in the area of employment, public accommodations, state and local government services and telecommunications. City and Association shall cooperate to maintain and assure compliance with ADA standards applicable to capital improvements to Elks Park.

**11. Compliance with Law.** Association agrees to perform all services under and pursuant to this Agreement in full compliance with any and all applicable laws, rules and regulations adopted or promulgated by any governmental agency or regulatory body, whether federal, state, local or otherwise.

**12. No Insurance Provided by City.** It is understood the City does not maintain liability insurance for Association and/or its members, officers, agents, employees and/or volunteers or participants in its programming.

**13. Indemnification and Hold Harmless.**

A. Association agrees to release, defend, indemnify and hold harmless the City, its elected and appointed officials, officers, employees, agents, representatives, insurers, attorneys, and volunteers from any and all liabilities, losses, damages, and expenses related to all claims, suits, arbitration actions, investigations, and regulatory or other governmental proceedings arising from or in connection with this Agreement or the acts, failures to act, errors or omissions of the Association, or any of Association's agents, subcontractors, volunteers, or participants in performance of this Agreement.



B. Nothing contained in this Section or this Agreement shall be construed to create a liability or a right of indemnification in any third party.

C. The provisions of Section 13 regarding Indemnification and Hold Harmless and applicable insurance coverage under Section 14 of this Agreement shall survive the termination of this Agreement.

#### **14. Liability Insurance**

At all times during the term of this Agreement, Association shall secure and maintain in effect insurance to protect the City and Association from and against all claims, damages, losses, and expenses arising out of or resulting from the performance of this Agreement. Association shall provide and maintain in force insurance in limits no less than that stated below, as applicable. The City reserves the right to require higher limits should it deem it necessary in the best interest of the public.

Association shall provide a Certificate of Insurance to the City as evidence of coverage for each of the policies as outlined herein. A copy of the additional insured endorsement attached to the policy shall be included with the certificate. This Certificate of Insurance shall be provided to the City, prior to the commencement of this Agreement. Failure to provide the City with proof of insurance and/or to maintain such insurance and provide updated documents as necessary, shall be a material breach of this Agreement and a basis for termination.

Failure of the City to demand such verification of coverage with these insurance requirements or failure of City to identify a deficiency from the insurance documentation provided shall not be construed as a waiver of Association's obligation to maintain such insurance.

Association's insurance coverage shall be primary insurance with respect to those who are Additional Insureds under this Agreement. Any insurance, self-insurance, or insurance pool coverage maintained by the City shall be in excess of the Association's insurance and neither the City nor its insurance providers shall contribute to any settlements, defense costs, or other payments made by Association's insurance. All additional insured endorsements required by this Section shall include an explicit waiver of subrogation.

If at any time during the life of this Agreement, or any extension, Association fails to maintain the required insurance in full force and effect, all services or requirements under this Agreement shall be discontinued immediately. Any failure to maintain the required insurance may be sufficient cause for the City to terminate the Agreement.

The following insurance is required:

a. Commercial General Liability Insurance. Before this Agreement is fully executed by the parties, Association shall provide the City with a certificate of insurance and additional insured endorsements as proof of commercial liability insurance with a minimum liability limit of Two Million Dollars (\$2,000,000.00) per occurrence, combined single bodily injury and property

damage, and Two Million Dollars (\$2,000,000.00) general aggregate. If Association carries higher coverage limits, such limits shall be shown on the Certificate of Insurance and Endorsements and the City, its elected and appointed officials, employees, agents, attorneys and volunteers shall be named as additional insureds for such higher limits. The certificate shall clearly state who the provider is, the coverage amount, the policy number, and when the policy and provisions provided are in effect. Said policy shall be in effect for the duration of this Agreement. The certificate of insurance and additional insured endorsements shall name the City of Yakima, its elected and appointed officials, officers, agents, employees, attorneys and volunteers as additional insureds, and shall contain a clause that the insurer will not cancel or change the insurance without first giving the City prior written notice. The insurance shall be with an insurance company or companies rated A-VII or higher in Best's Guide and admitted in the State of Washington. The requirements contained herein, as well as the City of Yakima's review or acceptance of insurance maintained by the Association is not intended to and shall not in any manner limit or qualify the liabilities or obligations assumed by the Association under this Agreement.

b. Automobile Liability Insurance. Before this Agreement is fully executed by the parties, Association shall provide the City with a certificate of insurance as proof of automobile liability insurance with a minimum liability limit of Two Million Dollars (\$2,000,000.00) per occurrence. If Association carries higher coverage limits, such limits shall be shown on the Certificate of Insurance and Endorsements and the City, its elected and appointed officials, employees, agents, attorneys and volunteers shall be named as additional insureds for such higher limits. The certificate shall clearly state who the provider is, the coverage amount, the policy number, and when the policy and provisions provided are in effect. Said policy shall be in effect for the duration of this Agreement. The certificate of insurance and additional insured endorsements shall name the City of Yakima, its elected and appointed officials, employees, agents, attorneys and volunteers as additional insureds, and shall contain a clause that the insurer will not cancel or change the insurance without first giving the City prior written notice. The insurance shall be with an insurance company or companies rated A-VII or higher in Best's Guide and admitted in the State of Washington. The requirements contained herein, as well as City of Yakima's review or acceptance of insurance maintained by Association is not intended to and shall not in any manner limit or qualify the liabilities or obligations assumed by Association under this Agreement. The business auto liability shall include Hired and Non-Owned coverage if necessary.

c. Employer's Liability (Stop Gap). Association and all subcontractor(s) shall at all times comply with all applicable workers' compensation, occupational disease, and occupational health and safety laws, statutes, and regulations to the full extent applicable, and shall maintain Employer's Liability insurance with a limit of no less than \$1,000,000.00. The City shall not be held responsible in any way for claims filed by Association or its employees for services performed under the terms of this Agreement. Association agrees to assume full liability for all claims arising from this Agreement including claims resulting from negligent acts of all subcontractor(s). Association is responsible to ensure subcontractor(s) have insurance as needed. Failure of subcontractors(s) to comply with insurance requirements does not limit Association's liability or responsibility.

**15. Assignment and Subletting.**

A. General. This Agreement, or any interest herein or claim hereunder, shall not be assigned, transferred or subleased in whole or in part by Association to any other person or entity without the prior written consent of City, at its sole discretion.

B. Association-Sponsored Tournaments. Tournaments sponsored or co-sponsored by Association shall not be considered an assignment under this Agreement. The provisions of this Agreement shall apply in full force and effect for any baseball tournament in Elks Park sponsored or co-sponsored by Association, and Association shall be responsible to assure any co-sponsor's compliance with applicable terms of this Agreement, including but not limited to, the insurance requirements and requiring such co-sponsor to execute and deliver to the Parks and Recreation Division Manager an executed Indemnification and Hold Harmless form substantially in the form stated in Section 13 of this Agreement, indemnifying and holding harmless the City, its elected officials, officers, employees, agents, and volunteers.

C. Tournaments Sponsored by Third Party. Association shall not permit any third party to conduct any tournament in Elks Park facilities. Instead, such requests received by Association shall be referred to City, and City shall be solely responsible to permit, deny, or condition any approval for such use in accordance with its procedures and regulations.

**16. Severability.** If any portion of this Agreement is changed per mutual agreement or any portion is held invalid, the remainder of the Agreement shall remain in full force and effect.

**17. Integration.** This written document constitutes the entire agreement between City and Association and supersedes any and all previous written and/or oral agreements between the parties. There are no other oral or written agreements between the parties as to the matters covered herein. No changes or additions to this Agreement shall be valid or binding upon either party unless such change or addition be in writing and executed by both parties.

**18. Non-Waiver.** The waiver by Association or City of the breach of any provision of this Agreement by the other party shall not operate or be construed as a waiver of any subsequent breach by either party or prevent either party thereafter enforcing any such provision.

**19. Performance Excused Under Certain Circumstances.** Either party's failure to perform any of its obligations under this Agreement shall be excused if due to causes beyond the control and without the fault or negligence of the party, including but not limited to acts of God, acts of the public enemy, acts of any government, fires, floods, epidemics, strikes and/or weather conditions, or field conditions resulting from the early activation of the irrigation systems or early opening of the restrooms at Elks Park.

**20. Termination.** Either party may terminate this Agreement, with or without cause, by giving the other party ninety (90) calendar days' prior written notice of termination. In the event of such termination, Association shall pay City for any additional mowing and/or other special termination

services requested by Association or determined necessary by the City rendered by City up to the termination date.

**21. Notices.** Unless stated otherwise herein, all notices and demands shall be in writing and sent or hand delivered to the parties to their addresses as follows:

TO CITY:	Parks and Recreation Division Manager City of Yakima Public Works 2301 Fruitvale Boulevard Yakima, Washington 98902
TO ASSOCIATION:	President Yakima National Little League Association P.O. Box 9664 Yakima, Washington 98907

or such other addresses as the parties may hereafter designate in writing. Notices and/or demands shall be sent by registered or certified mail, postage prepaid, or hand delivered. Such notices shall be deemed effective three days after the date of mailing or on the date the notice is hand delivered at the addresses specified above.

**22. Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Washington.

**23. Venue.** The venue for any action to enforce or interpret this Agreement shall lie in the Superior Court of Washington for Yakima County, Washington.

**24. Effective Date.** This Agreement shall be effective upon execution by both parties, with the term commencing March 5, 2024.

**CITY OF YAKIMA**

**YAKIMA NATIONAL LITTLE LEAGUE  
ASSOCIATION**

By: \_\_\_\_\_  
Dave Zabell, Interim City Manager

By: \_\_\_\_\_  
Robert Gourneau, President

Date: \_\_\_\_\_

Date: \_\_\_\_\_

ATTEST:

By: \_\_\_\_\_

Rosalinda Ibarra, City Clerk

City Contract No. \_\_\_\_\_

Resolution No. \_\_\_\_\_



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.J.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Resolution authorizing an Interagency Agreement with Washington State Patrol for fire mobilization

**SUBMITTED BY:** Aaron Markham, Fire Chief

**SUMMARY EXPLANATION:**

The purpose of this Agreement is for Yakima Fire Department to assemble and deploy fire service personnel and equipment to an emergency incident to manage, mitigate and control the emergency incident for the protection of life and property and to establish WSP's payment and reimbursement responsibilities to Yakima Fire Department for providing such personnel and/or equipment.

The Agreement provides for the reimbursement of allowable Fire Agency costs incurred while its assets are mobilized in accordance with RCW 43.43.960 through RCW 43.43.964 and the Washington State Fire Services Resource Mobilization Plan.

**ITEM BUDGETED:** NA

**STRATEGIC PRIORITY:** Public Safety

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Adopt Resolution.

**ATTACHMENTS:**

Description	Upload Date	Type
<input type="checkbox"/> Resolution	2/15/2024	Cover Memo
<input type="checkbox"/> Contract	2/15/2024	Cover Memo



**RESOLUTION NO. R-2024-\_\_\_\_**

**A RESOLUTION** authorizing an Interagency agreement between the Washington State Patrol and the Yakima Fire Department.

**WHEREAS**, the City operates an organized and staffed fire department trained and equipped to provide incident command overhead and emergency response to wildland fires and other all-hazard incidents in accordance with the Washington State Fire Services Resource Mobilization Plan (Mobilization Plan); and

**WHEREAS**, the City desires to enter into an agreement that will provide for reimbursement to the City of allowable Fire Agency costs incurred while its assets are mobilized in accordance with RCW 43.43.960 through RCW 43.43.964 and the Mobilization Plan; and

**WHEREAS**, the parties desire to enter into an agreement that allows the City to provide incident command overhead and other applicable fire agency resources within the State of Washington pursuant to the terms and conditions of the agreement; and

**WHEREAS**, the City Council finds and determines that approval of the Interagency Agreement described herein is in the best interest of the City and its residents, and that such approval will promote the general health, safety, and welfare; now, therefore

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF YAKIMA:**

The City Manager is hereby authorized to execute an Interagency Agreement with the Washington State Patrol, attached hereto and incorporated herein by this reference to provide fire agency resources in accordance to the Washington State Fire Mobilization Plan.

**ADOPTED BY THE CITY COUNCIL** this 5th day of March, 2024.

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Patricia Byers, Mayor

ATTEST:

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Rosalinda Ibarra, City Clerk

FIRE MOBILIZATION INTERAGENCY AGREEMENT  
BETWEEN

STATE OF WASHINGTON  
WASHINGTON STATE PATROL

AND

**YAKIMA FIRE DEPARTMENT**

This Interagency Agreement (Agreement), pursuant to RCW 43.43.960 through RCW 43.43.964 (State Fire Service Mobilization) and Chapter 39.34 RCW (Interlocal Cooperation Act), is made and entered into by and between the Washington State Patrol, hereinafter referred to as "WSP," and **Yakima Fire Department**, a statutorily authorized fire agency within the State of Washington, hereinafter referred to as "Fire Agency."

The purpose of this Agreement is to provide for the reimbursement of allowable Fire Agency costs incurred while its assets are mobilized in accordance with RCW 43.43.960 through RCW 43.43.964 and the Washington State Fire Services Resource Mobilization Plan (Mobilization Plan). The Mobilization Plan and any subsequent versions adopted pursuant to RCW 43.43.962 are incorporated herein by this reference and can be found at: <https://www.wsp.wa.gov/all-risk-mobilization/>

Therefore, it is mutually agreed that:

- 1. Mobilization Plan.** The Mobilization Plan provides a process to quickly notify, assemble and deploy fire service personnel and equipment to any local fire jurisdiction in Washington State that has expended all local and mutual aid resources in attempting to manage, mitigate and control an emergency incident or situation for the protection of life and property. If the Fire Agency responds with its available assets to an incident mobilization, both parties shall comply with the procedures detailed in the Mobilization Plan.
- 2. Period of Performance.** The period of performance of this Agreement begins on **1/01/2024** and ends on **1/01/2029** unless terminated sooner as provided herein.
- 3. Billing Procedures.** WSP shall reimburse the Fire Agency upon the receipt of properly executed claim forms submitted by the Fire Agency according to the Mobilization Plan. Claims for payment submitted by the Fire Agency to WSP for costs due and payable under this Agreement shall be paid by WSP if received by WSP within 45 days from the end of each respective fire mobilization. The Fire Agency is required to be registered as a Statewide Payee prior to submitting a request for payment under this Contract. The Washington State Office of Financial Management (OFM) maintains the Statewide Payee Registration System; to obtain registration materials go to <https://ofm.wa.gov/it-systems/statewide-vendorpayee-services>
- 4. Compliance with Civil Rights Laws.** During the period of performance for this Agreement, both parties shall comply with all federal and state nondiscrimination laws.
- 5. Records Maintenance.** Both parties shall maintain books, records, documents and other evidence which sufficiently and properly reflect all direct and indirect costs expended by either party in the performance of the services described herein. These records shall be subject to inspection, review or audit by personnel of both parties, other personnel duly authorized by either party, the Office of the State Auditor, and federal officials so authorized by law. Both parties shall retain all books, records, documents, and other material relevant to this Agreement for six (6) years after expiration, and the Office of the State Auditor, federal auditors, and any persons duly authorized by the parties shall have full access and the right to examine any of these materials during this period.
- 6. Agreement Management.** The work described herein shall be performed under the coordination of the parties' Contract Managers listed below, or their successors. They shall provide assistance and guidance to the other party necessary for the performance of this Agreement. The parties shall notify each other within ten (10) business days of a change in Contract Manager.

<b>Contract Manager for YAKIMA FIRE DEPARTMENT:</b>	<b>Contract Manager for the WASHINGTON STATE PATROL:</b>
Dave Zabell, Interim City Manager Aaron Markham – Fire Chief 129 N 2 <sup>nd</sup> St Yakima WA 98901 (509) 575-6060 <a href="mailto:aaron.markham@yakimawa.gov">aaron.markham@yakimawa.gov</a>	Brian Briscoe State Deputy Fire Marshal PO Box 42642 Olympia WA 98504-2642 (360) 596-3925 <a href="mailto:Brian.Briscoe@wsp.wa.gov">Brian.Briscoe@wsp.wa.gov</a>

- 7. Hold Harmless.** Each party shall defend, protect and hold harmless the other party from and against all claims, suits and/or actions arising from any negligent or intentional act or omission of that party's employees, agents, and/or authorized subcontractor(s) while performing under this Agreement.
- 8. Agreement Alterations and Amendments.** This Agreement may be amended by mutual agreement of the parties. Such amendments shall not be binding unless they are in writing and signed by personnel authorized to bind each of the parties.
- 9. Termination.** Either party may terminate this Agreement upon thirty (30) calendar days' written notification to the other party. If this Agreement is so terminated, the terminating party shall be liable only for performance in accordance with the terms of this Agreement for performance prior to the effective date of termination.
- 10. Appeals of Denied Claims.** In the event that WSP denies payment of claim(s) submitted by the Fire Agency under this Agreement, the Fire Agency may appeal the denial according to the Mobilization Plan. The process contained in the Mobilization Plan is the sole administrative recourse available to the Fire Agency for the appeal of denied claims.
- 11. Order of Precedence.** In the event of any inconsistency in the terms of this Agreement, the inconsistency shall be resolved by giving precedence in the following order:
1. Applicable federal and state statutes and regulations;
  2. Terms and Conditions contained in this Agreement
  3. Any other provisions of the Agreement, whether incorporated by reference or otherwise.
- 12. All Writings Contained Herein.** This Agreement contains all the terms and conditions agreed upon by the parties. No other understandings, oral or otherwise, regarding the subject matter of this Agreement shall be deemed to exist or to bind any of the parties hereto.

**IN WITNESS WHEREOF**, the parties have executed this Agreement.

<b><i>Yakima Fire Department</i></b>		<b>WASHINGTON STATE PATROL</b>	
Signature	Date	Signature	Date
Print Name and Title		For: John R. Batiste, Chief	

APPROVED AS TO FORM BY THE OFFICE OF THE ATTORNEY GENERAL 2/5/2008



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.K.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Resolution accepting the renewal request and authorizing an amendment to extend the lease/purchase option agreement with the Y HOTEL, LLC for City property located at 1808 North 1st Street

**SUBMITTED BY:** Scott Schafer, Public Works Director  
\* Bill Preston, City Engineer

**SUMMARY EXPLANATION:**

After a competitive RFP process in 2018 and 2019, Y HOTEL, LLC was awarded the opportunity enter into a Lease/Option to Purchase agreement for city-owned property located at 1808 North Street. The property was previously owned by Tiger Oil and purchased by the City for cleanup & productive development. The cleanup at the property is ongoing and the Department of Ecology has yet issued a No Further Action letter for the property. The Agreement states that if a No Further Act letter has not been issued before the end of the five year term that it can be renewed for additional 5 year terms until the No Further Action letter is issued. Y HOTEL, LLC provided the necessary notice to renew the Agreement.

Y HOTEL, LLC put down a \$20,000 deposit on the property. The Lease requires a monthly payment of \$1,000. \$500 of that may be credited to the purchase price. The agreed upon purchase price for the property is \$300,000.00 per the terms and conditions of the Agreement.

Enclosed for City Council review is the amendment to the Lease/Purchase Option Agreement.

**ITEM BUDGETED:** NA

**STRATEGIC PRIORITY:** Economic Development

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Adopt Resolution.

**ATTACHMENTS:**

Description	Upload Date	Type
<input type="checkbox"/> Resolution - Y Hotel LLC Amendment	2/19/2024	Resolution
<input type="checkbox"/> Lease agreement	2/14/2024	Contract

## RESOLUTION NO. R-2024-

**A RESOLUTION** accepting the renewal request and authorizing an amendment to extend the Lease/Purchase Option Agreement with the Y HOTEL, LLC for City property located at 1808 North 1st Street

**WHEREAS**, the City of Yakima (City) previously purchased four separate properties that had been owned by the Tiger Oil Company and were the subject of environmental cleanup orders to address the contamination issues and resell the property for productive development; and

**WHEREAS**, after going through a competitive RFP process in 2018-2019, the City determined that the proposal submitted by Y HOTEL, LLC met the needs and requirements of the City of Yakima and would provide a productive use of the subject property; and

**WHEREAS**, on March 8, 2019, the City and the Y HOTEL, LLC entered into a Lease/Purchase Option Agreement for the property at 1808 North 1st Street which required a \$20,000 deposit and allows the Y HOTEL, LLC to lease the property for \$1,000.00 per month, with \$500.00 of that going towards the purchase price in the event the Y HOTEL, LLC chooses to purchase the property; and

**WHEREAS**, the Lease/Purchase Option provided that the purchase was to occur on or before the end of five years if the Department of Ecology issued a No Further Action letter for the property, or, in the alternative, if the Department of Ecology did not issue such a letter, the Y HOTEL, LLC would have the option to extend the Lease/Purchase Option; and

**WHEREAS**, the Department of Ecology has not yet issued a No Further Action letter, and the Y HOTEL, LLC took all necessary steps to request an extension of the Lease/Purchase Option for an additional five (5) year term under the same terms and conditions; and

**WHEREAS**, the City Council of the City of Yakima finds that it is in the best interest of the City and its residents, to extend the Lease/Purchase Option with Y HOTEL, LLC for the property at 1808 North 1st Street; now, therefore,

### **BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF YAKIMA:**

The Interim City Manager is authorized and directed to execute the Acceptance of Renewal Request and Amendment to Agreement between the City of Yakima and Y HOTEL, LLC, attached hereto and incorporated herein.

**ADOPTED BY THE CITY COUNCIL** this 5th day of March, 2024.

\_\_\_\_\_  
Patricia Byers, Mayor

ATTEST:

\_\_\_\_\_  
Rosalinda Ibarra, City Clerk

**ACCEPTANCE OF RENEWAL REQUEST AND AMENDMENT TO AGREEMENT  
BETWEEN THE CITY OF YAKIMA AND Y HOTEL, LLC**

**THIS AMENDMENT TO THE LEASE / PURCHASE OPTION AGREEMENT** is made and entered into by and between Y HOTEL, LLC, d/b/a Hotel Y ("YH") and THE CITY OF YAKIMA, a Washington municipal corporation ("City").

**WHEREAS**, the City owns property located at 1808 North 1<sup>st</sup> Street, Yakima, Washington, including several buildings located thereon (hereinafter referred to as the "Property"), and more specifically described in the Lease/Purchase Option Agreement; and

**WHEREAS**, on March 19, 2019, the Parties entered into the Lease/Purchase Option Agreement after the City went through an RFP process; and

**WHEREAS**, the Property is subject to environmental investigation by the Department of Ecology; and

**WHEREAS**, the Lease/Purchase Option Agreement provides that YH may request a renewal at the end of the Agreement term for an additional 5-year term to lease the property prior to purchase if there has not been a No Further Action finding by the Department of Ecology at the site; and

**WHEREAS**, as of the date of this resolution, the Department has not issued a No Further Action finding; and

**WHEREAS**, YH has requested in writing to renew the Lease/Purchase Option Agreement pursuant to the terms and conditions thereof; and

**WHEREAS**, the City and YH wish to renew the Agreement as set forth in the terms and conditions therein;

**NOW, THEREFORE**, in consideration of the mutual covenants, promises, and agreements set forth herein, it is agreed by and between the City and YH as follows:

**Section 1:** Section 3: Term—Effective Date provides for one additional five (5) year term after the initial term of the Lease. The Parties agree that the Lease/Purchase Option Agreement shall be extended for an additional five (5) year term. The tenancy shall now end on March 31, 2029.

**Section 2:** Except as expressly stated herein, all other terms and conditions of the attached Lease/Purchase Option Agreement shall remain in full force and effect.

**Section 3:** Severability. If any section, subsection, paragraph, sentence, clause or phrase of this Amendment is declared invalid or unconstitutional for any reason, such decision shall not affect the validity of the remaining portions of this Amendment.

DATED this 5<sup>th</sup> day of February, 2024.



CITY OF YAKIMA

**Y HOTEL, L.L.C.**

**Dave Zabell, Interim City Manager**

Scott Mary

ATTEST:

City Clerk

STATE OF WASHINGTON

)

) SS

County of Yakima

)

I certify that I know or have satisfactory evidence that Scott Mary signed this instrument, on oath stated that they were authorized to execute the instrument on behalf of Y HOTEL LLC and acknowledged it to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

Date \_\_\_\_\_

2/5/2024



By:

Notary Public for the State of Washington

Residing at:

### Appointment Expires

STATE OF WASHINGTON

)

) SS

County of Yakima

)

I certify that I know or have satisfactory evidence that Dave Zabell signed this instrument, on oath stated that they were authorized to execute the instrument and acknowledged it as the Interim City Manager of the City of Yakima, Washington to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

Date:

By:

Notary Public for the State of Washington

Residing at:

### Appointment Expires



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.L.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Resolution authorizing an Equitable Sharing Agreement and Certification with the United States Department of Justice

**SUBMITTED BY:** \*Matthew Murray, Chief of Police  
Bronson Faul, Senior Assistant City Attorney

**SUMMARY EXPLANATION:**

The City of Yakima and the United States Department of Justice, through their law enforcement agencies, have maintained a cooperative working agreement designed to combat controlled substance traffic within the City of Yakima.

The federal Equitable Sharing Agreement and Certification sets forth the requirements for participation in the federal Equitable Sharing Program and restrictions upon the use of federally forfeited cash, property, proceeds, and any interest earned which are equitably shared with the participating law enforcement agency. A copy of the agreement is on file in the City Clerk's office.

**ITEM BUDGETED:** Yes

**STRATEGIC PRIORITY:** Public Safety

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Adopt Resolution.

**ATTACHMENTS:**

Description	Upload Date	Type
<div>  Res-USDOJ Equitable Sharing Agreement &amp; Certification </div>	2/21/2024	Resolution

**RESOLUTION NO. R-2024-**

**A RESOLUTION** authorizing an Equitable Sharing Agreement and Certification with the United States Department of Justice

**WHEREAS**, the City and the United States Department of Justice through their law enforcement agencies have maintained a cooperative working agreement designed to combat controlled substance traffic within the City of Yakima; and

**WHEREAS**, the agreement sets forth the requirements for participation in the federal Equitable Sharing Program; and

**WHEREAS**, the agreement sets forth the restrictions upon the use of federally forfeited cash, property, proceeds, and any interest earned which are equitably shared with the participating law enforcement agency; and

**WHEREAS**, the City Council deems it to be in the best interest of the City to approve the agreement; now, therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF YAKIMA:**

The City Manager and the Chief of Police of the City of Yakima are hereby authorized to sign the Equitable Sharing Agreement and Certification with the United States Department of Justice, which is hereby incorporated by reference.

**ADOPTED BY THE CITY COUNCIL** this 5<sup>th</sup> day of March, 2024.

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Patricia Byers, Mayor

ATTEST:

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Rosalinda Ibarra, City Clerk



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 7.M.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Resolution authorizing the City Manager to execute a contract with GMP Consultants for the recruitment of a new Community Development Director

**SUBMITTED BY:** Connie Mendoza, Director of Human Resources

**SUMMARY EXPLANATION:**

**ITEM BUDGETED:**

**STRATEGIC PRIORITY:**

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Approve Resolution.

**ATTACHMENTS:**

Description	Upload Date	Type
<input type="checkbox"/> Resolution	2/27/2024	Resolution
<input type="checkbox"/> Agreement	2/26/2024	Backup Material

**RESOLUTION NO. R-2024-**

**A RESOLUTION** authorizing the City Manager to execute a contract with GMP Consultants for the recruitment of a new Community Development Director.

**WHEREAS**, the City of Yakima desires to enter a contract with GMP Consultants to recruit a new Community Development Director; and

**WHEREAS**, GMP Consultants has the expertise and knowledge to perform such recruitment; and

**WHEREAS**, the City Council deems it to be in the best interest of the City to approve the contract, now, therefore;

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF YAKIMA:**

The City Manager is hereby authorized to sign the contract with GMP Consultants, which is hereby incorporated by reference.

**ADOPTED BY THE CITY COUNCIL** this 5<sup>th</sup> day of March, 2024.

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Patricia Byers, Mayor

ATTEST:

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Rosalinda Ibarra, City Clerk

**AGREEMENT  
BETWEEN  
CITY OF YAKIMA, WASHINGTON  
AND  
GMP CONSULTANTS  
FOR RECRUITMENT**

THIS AGREEMENT, is made by and between the City of Yakima, Washington, a municipal corporation with its principal office at 129 North Second Street, Yakima, WA 98901, hereinafter referred to as "CITY", and GMP CONSULTANTS a private contractor, hereinafter referred to as "CONSULTANT".

**WITNESSETH:**

**RECITALS**

WHEREAS, CITY desires to retain the CONSULTANT to provide services described in this Agreement, incorporated Exhibits and subsequent Amendments thereto; and

WHEREAS, CONSULTANT represents that it has available and offers to provide personnel with knowledge and experience necessary to satisfactorily accomplish the work within the required time and that it has no conflicts of interest prohibited by law from entering into this Agreement;

NOW, THEREFORE, CITY and CONSULTANT agree as follows:

**SECTION 1 INCORPORATION OF RECITALS**

- 1.1 The above recitals are incorporated into these operative provisions of the Agreement.

**SECTION 2 SCOPE OF SERVICES**

- 2.1 CONSULTANT agrees to perform those services described hereafter. Unless modified in writing by both parties, duties of CONSULTANT shall not be construed to exceed those services specifically set forth herein.
- 2.2 Basic Services: CONSULTANT agrees to perform those tasks described in Exhibit A, entitled "Scope of Work" (WORK) which is attached hereto and made a part of this Agreement as if fully set forth herein.

**SECTION 3 CITY'S RESPONSIBILITIES**

- 3.1 CITY-FURNISHED DATA: The CITY will provide to the CONSULTANT all technical data in the CITY'S possession relating to the CONSULTANT'S services on the WORK as permitted by law.
- 3.2 ACCESS TO FACILITIES AND PROPERTY: The CITY will make its facilities reasonably accessible to CONSULTANT as required for CONSULTANT'S performance of its services and will provide labor and equipment as reasonably required by CONSULTANT for such access.
- 3.3 TIMELY REVIEW: The CITY will examine the CONSULTANT'S studies, reports, proposals, and other documents; obtain advice of an attorney, insurance counselor, accountant, auditor, bond and financial advisors, and other consultants as CITY deems appropriate; and render in writing



decisions required of CITY in a timely manner. Such examinations and decisions, however, shall not relieve the CONSULTANT of any contractual obligations nor of its duty to render professional services meeting the standards of care for its profession.

#### **SECTION 4 AUTHORIZATION, PROGRESS, AND COMPLETION**

- 4.1 In signing this Agreement, CITY grants CONSULTANT specific authorization to proceed with WORK described in Exhibit A at such time as specific work is required and assigned to CONSULTANT. The time for completion is defined in Exhibit A, or as amended.

#### **SECTION 5 COMPENSATION**

- 5.1 COMPENSATION FOR SERVICE: CONSULTANT shall be compensated at \$18,500 for the work described in Exhibit A which covers all CONSULTANT and staff time required to conduct the recruitment.

5.1.1 This amount will be billed in three equal instalments, one at the beginning of the recruitment, one at the halfway point, and the final upon the completions of the final interviews.

- 5.2 DIRECT NON-SALARY EXPENSES: Direct Non-Salary Expenses are those costs incurred on or directly for the PROJECT including, but not limited to, necessary transportation costs, advertising, background checks and direct mailing. Reimbursement for Direct Non-Salary Expenses will be on the basis of actual invoiced charges and on the basis of current rates when furnished by CONSULTANT.

5.2.1 Travel costs of transportation and incidental expenses incurred by CONSULTANT shall be reimbursed in connection with PROJECT WORK; provided, as follows:

- ♦ That a maximum of U.S. INTERNAL REVENUE SERVICE allowed cents per mile will be paid for the operation, maintenance, and depreciation costs of company or individually owned vehicles for that portion of time they are used for WORK. CONSULTANT, whenever possible, will use the least expensive form of ground transportation.
- ♦ CONSULTANT shall be paid travel time at the rate of \$82.50 per hour billed to the quarter hour.

- 5.3 Payment terms are net 30 after receipt of approved invoice(s).

#### **SECTION 6 RESPONSIBILITY OF CONSULTANT**

- 6.1 INDEMNIFICATION:

- (a) CONSULTANT agrees to defend, indemnify, and hold harmless the CITY, its elected officials, agents, officers, employees, agents and volunteers (hereinafter "parties protected") from (1) claims, demands, liens, lawsuits, administrative and other proceedings, (including reasonable costs and attorneys fees) and (2) judgments, awards, losses, liabilities, damages, penalties, fines, costs and expenses of any kind claimed by third parties arising out of, or related to any death, injury, damage or destruction to any person or any property to the extent caused by any negligent act, action, default, error or omission or willful misconduct arising out of the CONSULTANT's performance under this Agreement. In the event that any lien is placed upon the City's property or any of the City's officers, employees or agents as a result of the negligence or willful misconduct of the CONSULTANT, the CONSULTANT shall at once cause the same to be dissolved and discharged by giving bond or otherwise.

- (b) CITY agrees to indemnify and hold the CONSULTANT harmless from loss, cost, or expense of any kind claimed by third parties, including without limitation such loss, cost, or expense resulting from injuries to persons or damages to property, caused solely by the negligence or willful misconduct of the CITY, its employees, or agents in connection with the service.
  - (c) If the negligence or willful misconduct of both the CONSULTANT and the CITY (or a person identified above for whom each is liable) is a cause of such third party claim, the loss, cost, or expense shall be shared between the CONSULTANT and the CITY in proportion to their relative degrees of negligence or willful misconduct and the right of indemnity will apply for such proportion.
  - (d) Nothing contained in this Section or this Agreement shall be construed to create a liability or a right of indemnification in any third party.
- 6.2 In any and all claims by an employee of the CONSULTANT, any subcontractor, anyone directly or indirectly employed by any of them, or anyone for whose acts any of them may be liable, the indemnification obligations under this Agreement shall not be limited in any way by any limitation on the amount or types of damages, compensation, or benefits payable by or for the CONSULTANT or a subcontractor under workers' or workmens' compensation acts, disability benefit acts, or other employee benefit acts.

## **SECTION 7 INSURANCE**

- 7.1 At all times during performance of the Services, CONSULTANT shall secure and maintain in effect insurance to protect the CITY and the CONSULTANT from and against all claims, damages, losses, and expenses arising out of or resulting from the performance of this Contract. CONSULTANT shall provide and maintain in force insurance in limits no less than that stated below, as applicable. The CITY reserves the rights to require higher limits should it deem it necessary in the best interest of the public.
- 7.1.1 Before this Contract is fully executed by the parties, CONSULTANT shall provide the City with a certificate of insurance as proof of professional liability coverage with a total minimum liability limit of One Million Dollars (\$1,000,000.00) per claim combined single limit bodily injury and property damage, and Two Million Dollars (\$2,000,000.00) aggregate. The certificate shall clearly state who the provider is, the coverage amount, the policy number, and when the policy and provisions provided are in effect. The insurance shall be with an insurance company or companies rated A-VII or higher in Best's Guide. If the policy is written on a claims made basis the coverage will continue in force for an additional two years after the completion of this contract.
  - 7.1.2. Before this Contract is fully executed by the parties, CONSULTANT shall provide the City with a certificate of insurance as proof of commercial general liability coverage with a total minimum liability limit of One Million Dollars (\$1,000,000.00) per claim combined per occurrence, and Two Million Dollars (\$2,000,000.00) aggregate. The certificate shall clearly state who the provider is, the coverage amount, the policy number, and when the policy and provisions provided are in effect. The insurance shall be with an insurance company or companies rated A-VII or higher in Best's Guide. If the policy is written on a claims made basis the coverage will continue in force for an additional two years after the completion of this contract.
  - 7.1.3. Statutory workers' compensation and employer's liability insurance as required by state law.

## **SECTION 8 INTEGRATION**

- 8.1 This Agreement represents the entire understanding of CITY and CONSULTANT as to those matters contained herein. No prior oral or written understanding shall be of any force or effect with respect to those matters covered herein. This Agreement may not be modified or altered except in writing signed by both parties.

## **SECTION 9 JURISDICTION, SEVERABILITY AND VENUE**

- 9.1 This Agreement shall be administered and interpreted under the laws of the State of Washington. Jurisdiction of litigation arising from this Agreement shall be in Washington State. If any part of this Agreement is found to conflict with applicable laws, such part shall be inoperative, null, and void insofar as it conflicts with said laws, but the remainder of this Agreement shall be in full force and effect. Venue for all disputes arising under this Agreement shall be in a court of competent jurisdiction in Yakima County, State of Washington.

## **SECTION 10 TERMINATION OF WORK**

- 10.1 CITY may terminate this Agreement for its convenience, in whole or in part, provided the CONSULTANT is given not less than fifteen (10) calendar days written notice delivered by certified mail, return receipt requested, of intent to terminate. CITY will only be responsible for the fees and expenses incurred prior to cancellation.
- 10.2 CITY will only be responsible for the fees and expenses incurred prior to cancellation.

## **SECTION 11 CONFLICT OF INTEREST**

- 11.1 CONSULTANT warrants that it has no known conflicts of interest that prevents it from accepting this agreement. CONSULTANT recognizes that actual and apparent conflicts of interest must be avoided. If CONSULTANT has any reason to believe at any time that an actual or apparent conflict may or could exist, CONSULTANT shall contact CITY immediately to discuss the potential conflict.

## **SECTION 11 GUARANTEE AND WARRANTY**

- 11.1 Should the selected candidate leave the employment of the CITY within the first twelve (12) months of appointment, CONSULTANT will conduct one additional recruitment, if requested to do so within six (6) months of the employee's departure at no additional professional fee, the only cost being expenses.
- 11.2 If the major elements of the process are followed and a candidate is not chosen, CONSULTANT will conduct a new recruitment with no additional professional fee, the only cost being expenses.

## **SECTION 12 NOTICE**

- 12.1 Any notice required to be given under the terms of this Agreement shall be directed to the party at the address set forth below. Notice shall be considered issued and effective upon receipt thereof by the addressee-party, or seventy-two (72) hours after mailing by certified mail to the place of business set forth below, whichever is earlier.

CITY: City of Yakima  
City Manager  
129 North 2<sup>nd</sup> Street  
Yakima, WA 98901

CONSULTANT: GMP Consultants  
Greg M. Prothman

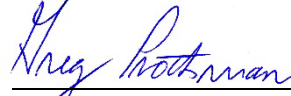
7401 Cascade Ave SE  
Snoqualmie, WA 98065

IN WITNESS WHEREOF, the parties hereto have caused this agreement to be executed by their respective authorized officers or representatives as of the day and year first above written.

CITY OF YAKIMA

GMP CONSULTANTS

\_\_\_\_\_  
Dave Zabell, City Manager

  
\_\_\_\_\_  
Greg Prothman, President

Date: \_\_\_\_\_

Date: 2/26/24

Attest \_\_\_\_\_  
City Clerk

For City of Yakima Use Only:	
Contract No.	_____
Project No.	_____
Resolution No.	_____
RFP No.	_____

## **EXHIBIT A**

### **SCOPE OF SERVICES**

This is highly skilled recruitment for a Director of Community Development using best practices to attract high quality candidates. The services will follow the timelines and work as described in the Project Work Plan.

#### **PROJECT WORK PLAN**

Phase One – Information Gathering Profile Development & Position Announcement (Expected to be completed within 1 week)

- Task 1 – Review and Finalize Search Process and Schedule
- Task 2 – Key Stakeholder Meetings and Staff Provided Information Request
- Task 3 – Candidate Profile Development
- Task 4 – Develop Recruitment Letter

Phase Two – Strategic Marketing Campaign (Expected to be completed within 4 weeks of completion of Phase One)

- Task 1 – Place Advertisements in Appropriate Professional Online Publications
- Task 2 – Development of a Database of Potential Candidates
- Task 3 – Identify and Contact Potential Candidates

Phase Three – Candidate Screening and Shortlist Presentation (Expected to be completed within 2 weeks of completion of Phase Two)

- Task 1 – Resume Review and Semi Finalist Screening Interviews
- Task 2 – Conduct an Internet Publication Search on Semifinalist Candidates
- Task 3 – Review of Semi Finalist Candidates
- Task 4 – Select Finalist Candidates
- Task 5 – Assist in the Design of Finalist Interviews

Phase Four – Final Interviews (Expected to be completed within 2 weeks of Phase Three)

- Task 1 – Develop an Interview Schedule for Final Interviews.
- Task 2 – Conduct Professional References on All Finalist Candidates
- Task 3 – Work with City Staff to Develop Interview Questions for Each Panel
- Task 4 – Provide the City with Finalist Candidate's Application Materials
- Task 5 – Coordinate Candidate Travel
- Task 6 – Facilitate Final interviews
- Task 7 – Assist in Facilitating Final Offer and Acceptance



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 8.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Ordinance repealing Yakima Municipal Code Chapter 1.34:  
Community Integration Committee

**SUBMITTED BY:** Sara Watkins, City Attorney

**SUMMARY EXPLANATION:**

At a recent Council meeting, the City Council directed staff to repeal the Community Integration Committee. This ordinance will repeal the section of the code that created the Community Integration Committee and it will no longer be an official committee of the City of Yakima.

Even though it would no longer be listed in the Yakima Municipal Code, the members of the committee could continue to meet and organize themselves, and other community members, to independently work on issues that traditionally were addressed by the Community Integration Committee. Such a community group could request the use of the City Council Chambers for community meetings, in the same manner as other groups, and bring their ideas, concerns, recommendations, and proposals to the City Council either through public comment, or, if approved by Council, a special presentation on a particular topic or topics.

The repeal of the Yakima Municipal Code section does not prevent the members from continuing to meet on their own, and allows them to meet whenever, and wherever they wish, as well as to add or subtract members as they wish, and work as a community-based group rather than a City Council-based group. The City Council expressed encouragement that the committee continue its work itself with its own policies and procedures, outside of the municipal code and city committee structure.

**ITEM BUDGETED:**

**STRATEGIC PRIORITY:**

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Pass Ordinance.



**ATTACHMENTS:**

	<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
	Ord-Repealing YMC 1.34 Community Integration Committee	2/21/2024	Ordinance

**ORDINANCE NO. 2024-**

**AN ORDINANCE** repealing Yakima Municipal Code Chapter 1.34: Community Integration Committee

**WHEREAS**, the City Council recently reviewed and evaluated all of the City-created and facilitated committees, boards and commissions; and

**WHEREAS**, the City Council believes that there are some committees that are community-based that could be effectively operated outside of the structure and requirements of City Council created committees; and

**WHEREAS**, the City Council finds that the Community Integration Committee is a committee that would be equally or more effective if it were operated and run by the community or a community-based organization, rather than the City; and

**WHEREAS**, the City Council believes that information from such a community-based committee can effectively be brought to the City Council's attention at future meetings during public comment or a pre-approved presentation; and

**WHEREAS**, the City Council wishes to thank all of the community members who volunteered their time and talents to both the ad hoc committee that evaluated and recommended the Community Integration Committee, and all of the former and current Community Integration Committee members for their dedication and work since the committee's inception; and

**WHEREAS**, the City Council of the City of Yakima finds it is in the best interests of the City and its residents to repeal Yakima Municipal Code section 1.34: Community Integration Committee so as to allow for the community to continue this committee in a community-based manner; now, therefore,

**BE IT ORDAINED BY THE CITY OF YAKIMA:**

**Section 1.** Yakima Municipal Code Chapter 1.34: Community Integration Committee, is hereby repealed.

**Section 2.** This ordinance shall be in full force and effect 30 days after its passage, approval, and publication as provided by law and by the City Charter.

**PASSED BY THE CITY COUNCIL**, signed and approved this 5<sup>th</sup> day of March, 2024.

\_\_\_\_\_  
Patricia Byers, Mayor

ATTEST:

\_\_\_\_\_  
Rosalinda Ibarra, City Clerk

Publication Date:

Effective Date:



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 9.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Ordinance repealing Yakima Municipal Code Chapter 1.40:  
Sustainable Yakima Committee

**SUBMITTED BY:** Sara Watkins, City Attorney

**SUMMARY EXPLANATION:**

At a recent Council meeting, the City Council directed staff to repeal the Sustainable Yakima Committee. This ordinance will repeal the section of the code that created the Sustainable Yakima Committee and it will no longer be an official committee of the City of Yakima.

Even though it would no longer be listed in the Yakima Municipal Code, the members of the committee could continue to meet and organize themselves, and other community members, to independently work on issues that traditionally were addressed by the Sustainable Yakima Committee and outlined in the One Year Action Plan that was submitted to the Council on December 12, 2023. That action plan includes items that could be addressed through community-based action which the group could continue to do. Such a community group could request the use of the City Council Chambers for community meetings, in the same manner as other groups, and bring ideas, concerns, recommendations, and proposals to the City Council either through public comment, or, if approved by Council, a special presentation on a particular topic or topics.

The repeal of the Yakima Municipal Code section does not prevent the members from continuing to meet on their own, and allows them to meet whenever, and wherever they wish, as well as to add or subtract members as they wish, and work as a community-based group rather than a City Council-based group. The City Council expressed encouragement that the committee continue its work itself with its own policies and procedures, outside of the municipal code and city committee structure and provide ideas and comments on issues both within the One Year Action Plan, as well as participate through public participation as part of the upcoming Comprehensive Plan update process.

**ITEM BUDGETED:**

**STRATEGIC PRIORITY:**

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Pass Ordinance.

**ATTACHMENTS:**

Description	Upload Date	Type
 Ord-Repealing YMC 1.40 Sustainable Yakima Committee	2/20/2024	Ordinance

**ORDINANCE NO. 2024-**

**AN ORDINANCE** repealing Yakima Municipal Code Chapter 1.40: Sustainable Yakima Committee

**WHEREAS**, the City Council recently reviewed and evaluated all of the City-created and facilitated committees, boards and commissions; and

**WHEREAS**, the City Council believes that there are some committees that are community-based that could be effectively operated outside of the structure and requirements of City Council created committees; and

**WHEREAS**, the City Council finds that the Sustainable Yakima Committee is a committee that would be equally or more effective if it were operated and run by the community or a community-based organization, rather than the City; and

**WHEREAS**, the City Council believes that information from such a community-based committee can effectively be brought to the City Council's attention at future meetings during public comment or a pre-approved presentation; and

**WHEREAS**, the City Council wishes to thank all of the community members who volunteered their time and talents to the Sustainable Yakima Committee, and all of the former and current Sustainable Yakima Committee members for their dedication and work since the committee's inception; and

**WHEREAS**, the City Council of the City of Yakima finds it is in the best interests of the City and its residents to repeal Yakima Municipal Code section 1.40: Sustainable Yakima Committee so as to allow for the community to continue this committee in a community-based manner; now, therefore,

**BE IT ORDAINED BY THE CITY OF YAKIMA:**

**Section 1.** Yakima Municipal Code Chapter 1.40: Sustainable Yakima Committee, is hereby repealed.

**Section 2.** This ordinance shall be in full force and effect 30 days after its passage, approval, and publication as provided by law and by the City Charter.

**PASSED BY THE CITY COUNCIL**, signed and approved this 5<sup>th</sup> day of March, 2024.

\_\_\_\_\_  
Patricia Byers, Mayor

ATTEST:

\_\_\_\_\_  
Rosalinda Ibarra, City Clerk

Publication Date:

Effective Date:



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 10.  
For Meeting of: March 5, 2024

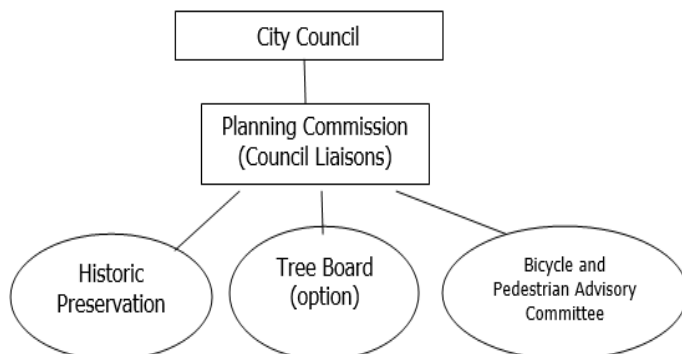
**ITEM TITLE:** Ordinance amending the City of Yakima Municipal Code Chapter 1.42: Planning Commission; Chapter 1.37: Bicycle and Pedestrian Advisory Committee; Chapter 11.62: Historic Preservation; and Chapter 8.77: Public Tree Ordinance, to create a structure where the Historic Preservation Commission, Bicycle and Pedestrian Advisory Committee and Tree Board report to, and are considered sub-committees of the Planning Commission

**SUBMITTED BY:** Sara Watkins, City Attorney

**SUMMARY EXPLANATION:**

At February 13, 2024 Council meeting, the City Council evaluated options for Boards and Commissions and directed staff to bring back amendments to the Planning Commission ordinance to increase the number of members and council liaisons. Council also directed staff to alter the structure of the Historic Preservation Commission, Bicycle and Pedestrian Advisory Committee and Tree Board so that each of these groups would be considered a subcommittee of the Planning Commission.

The proposed ordinance would allow for the changes to the Planning Commission as directed. It would also make the other three committees subcommittees of the Planning Commission while retaining their roles and responsibilities that are specific to their individual groups. The groups would still meet as they have been, and conduct the same business, but would provide reports to the Planning Commission and work with the Planning Commission on relevant items. For illustrative purposes the structure would look like the following:





An alternative option would be to place the Tree Board as a sub-committee of the Yakima Parks and Recreation Commission. That alternative option is provided to you for consideration. The alternative option would still have the Planning Commission have 11 positions and 2 liaisons, but instead of the Tree Board being a sub-committee of the Planning Commission, it would instead be a sub-committee of the Parks and Recreation Commission and would work with, and report to where outlined in ordinance, the Parks and Recreation Commission.

**ITEM BUDGETED:**

NA

**STRATEGIC PRIORITY:**

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Pass ordinance or direct staff to amend and bring back for reconsideration.

**ATTACHMENTS:**

Description	Upload Date	Type
Ord-Amending YMC Chs. 1.42, 1.37, 11.62 & 8.77	2/22/2024	Ordinance
Ord-Amending YMC Chs. 1.42, 1.37, 11.62 & 8.77_altermate(2)	3/5/2024	Ordinance
YMC 1.42 - Planning Commission.redline_UPDATED.pdf	2/27/2024	Ordinance
YMC 1.42 - Planning Commission.FINAL_UPDATED	2/27/2024	Ordinance
YMC 1.42 - Planning Commission_redline_altermate	2/27/2024	Ordinance
YMC 1.42 - Planning Commission_Final_altermate	2/27/2024	Ordinance
Ch. 11.62 - Historic Preservation_redline	2/22/2024	Ordinance
Ch. 11.62 - Historic Preservation_Final	2/22/2024	Ordinance
Ch. 8.77 - Public Tree Ordinance_redline	2/22/2024	Ordinance
Ch. 8.77 - Public Tree Ordinance_Final	2/22/2024	Ordinance
YMC 8.77 - Public Tree Ordinance.redline.altermate	2/27/2024	Ordinance
YMC 8.77 - Public Tree Ordinance_Final_altermate	2/27/2024	Ordinance
Ch 1.37 - Bicycle Pedestrian Committee_redline	2/22/2024	Ordinance
Ch 1.37 - Bicycle Pedestrian Committee_final	2/22/2024	Ordinance

## ORDINANCE NO. 2024-

**AN ORDINANCE** amending the City of Yakima Municipal Code Chapter 1.42: Planning Commission; Chapter 1.37: Bicycle and Pedestrian Advisory Committee; Chapter 11.62: Historic Preservation; and Chapter 8.77: Public Tree Ordinance, to create a structure where the Historic Preservation Commission, Bicycle and Pedestrian Advisory Committee and Tree Board report to, and are considered sub-committees of, the Planning Commission

**WHEREAS**, the Planning Commission is charged with a number of advisory roles and responsibilities associated with the City's zoning ordinances and development code sections; and

**WHEREAS**, the City has additional committees and commissions that provide advice to the City Council on matters that sometimes are related to Planning Commission work, specifically the Historic Preservation Commission, the Bike and Pedestrian Advisory Committee, and the Tree Board; and

**WHEREAS**, the City Council seeks to coordinate these committees into a committee with subcommittees wherein the Historic Preservation Commission, the Bike and Pedestrian Advisory Committee and the Tree Board periodically report to the Planning Commission on matters pertaining to Planning Commission work, similar to Planning Commission work, or for other advice as is determined to be advantageous by the Council or one of the committees; and

**WHEREAS**, in coordinating the committees, the City Council wishes to allow the committees to retain their individual roles and obligations, but provide reporting and coordination where appropriate with the Planning Commission; and

**WHEREAS**, the City Council seeks to provide residents additional opportunities to sit on the Planning Commission and/or to allow, if desired, one member of each of the Historic Preservation Commission, Bike and Pedestrian Advisory Committee and Tree Board to also sit on the Planning Commission; and

**WHEREAS**, the City Council believes that having liaisons at the Planning Commission level would be advantageous to the City, so the City Council may appoint two liaisons from the City Council to the Planning Commission, rather than having councilmember liaisons at each of the Historic Preservation Commission, Bike and Pedestrian Advisory Committee and Tree Board; and

**WHEREAS**, for purposes only as outlined herein, the City Council believes it would be appropriate to allow residents to serve on both the Planning Commission and one of the sub-committees in the event the person seeking to serve on both meets the requirements of both of the bodies; and

**WHEREAS**, the City Council of the City of Yakima finds it is in the best interests of the City and its residents to restructure the Planning Commission, Historic Preservation Commission, Bike and Pedestrian Advisory Committee and Tree Board to create three sub-committees to the Planning Commission; now, therefore,

**BE IT ORDAINED BY THE CITY OF YAKIMA:**

**Section 1.** Yakima Municipal Code Chapter 1.42: Planning Commission, is hereby amended to read as follows:

**Chapter 1.42  
PLANNING COMMISSION\***

Sections:

- 1.42.010 Planning commission—Authority.**
- 1.42.020 Organization and procedures.**
- 1.42.025 Membership—Appointment—Terms.**
- 1.42.026 Residence of members.**
- 1.42.027 Vacancy filling—Unexpired terms.**
- 1.42.030 Duties.**
- 1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

\* See Charter Article VIII, Section 1, Zoning—See Title 15 of this code.

**1.42.010 Planning commission—Authority.**

The city of Yakima planning commission shall have the full authority and jurisdiction to perform all acts, duties and functions which are either required of or imparted or conferred on a planning commission by law or ordinance. Provided, any duties or functions of the planning commission which are conferred on the office of hearing examiner shall be performed by such examiner. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

**1.42.020 Organization and procedures.**

The commission shall perform its duties and functions as the planning commission of the city of Yakima under the provisions and procedures of RCW Chapter 35.63. The planning commission may adopt its own bylaws and rules of procedure as long as they do not conflict with RCW Chapter 35.63 or this ordinance. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

**1.42.025 Membership—Appointment—Terms.**

A. The city planning commission shall consist of eleven members appointed by the mayor and confirmed by the city council. The term of office for each appointive member shall be four years.

B. The members of the city planning commission shall be selected without respect to political affiliation and they shall serve without compensation.

C. No person shall serve more than two consecutive terms, provided a person appointed to fill unexpired terms of less than two years is eligible to serve two successive four-year terms; and provided further, a person who is ineligible to serve for having served two consecutive terms may again serve after two years have elapsed from the end of the second such term.

D. A maximum of one member of the city planning commission may also be a member of the Historic Preservation Commission. A maximum of one member of the city planning commission

may also be a member of the Tree Board. A maximum of one member of the city planning commission may also be a member of the Bicycle and Pedestrian Advisory Committee. (Ord. 2017-018 § 1, 2017: Ord. 2010-22 § 1 (part), 2010).

#### **1.42.026 Residence of members.**

No person shall hold the office of member of the city planning commission unless that person is either (1) a resident of the city of Yakima, or (2) an owner of a business or of real property that is located within the city of Yakima. The office of member of the city planning commission shall become vacant upon such member ceasing to meet the requirements of either subsection 1 or 2, or both, as described in this section. (Ord. 2012-55 § 1, 2012: Ord. 2010-22 § 1 (part), 2010).

#### **1.42.027 Vacancy filling—Unexpired terms.**

Vacancies occurring otherwise than through the expiration of terms shall be filled for the unexpired term. Members may be removed, after public hearing, by the mayor, with the approval of the city council, for inefficiency, neglect of duty or malfeasance in office.

#### **1.42.028 Council liaisons.**

The City Council may appoint up to two councilmember liaisons to the Planning Commission. Said liaisons are not considered members of the planning commission, shall not be entitled to vote on any matter before the commission and shall not actively participate in any matter that will come to the City Council for ultimate decision.

#### **1.42.030 Duties.**

The duties of the city planning commission shall be as set forth in RCW 35.63.060, by city ordinance, or as may be assigned or requested from time to time by the city council. Such duties include, but are not limited to:

1. Serving as the long-range planning body for the city of Yakima;
2. Monitor the growth and development of the city and continually reevaluate and recommend to the city council revisions to the comprehensive plan and zoning ordinance for the city;
3. Develop and recommend to the city council a subdivision ordinance for the city and revisions thereto;
4. Investigate and make recommendations on other land use matters as may be requested by the city council or on its own initiative;
5. Study and report on all proposed text changes to land use ordinances;
6. Advise the city council on land use matters;
7. Monitor the hearings of the hearing examiner in order to remain informed on development activities, public concerns and the decisions of the hearing examiner;
8. Work with, provide support, and give guidance to sub-committees associated with the planning commission, as appropriate.

9. Such other planning functions as authorized or required by law or ordinance or as requested or assigned by the city council. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

#### **1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

A. Plan Adoption. The Yakima urban area comprehensive plan (“the plan”) shall consist of the most recently adopted and approved Yakima Urban Area Comprehensive Plan, which at the time of this ordinance amendment is the Yakima Urban Area Comprehensive Plan 2025, adopted by Ordinance No. 2006-62 on December 15, 2006, the Terrace Heights Neighborhood Plan adopted on June 4, 1999 and as amended, and the West Valley Neighborhood Plan, as adopted and amended. The plan and its elements and plans including those incorporated by reference are hereby adopted as the official comprehensive land use plan for the city of Yakima, as required by Chapter 36.70A RCW.

B. Plan Amendments. Requests for amendments to the Yakima urban area comprehensive plan may be submitted in accord with YMC 16.10.030, and will be docketed for review and acted upon as provided in RCW 36.70A.130 and YMC 16.10. Proposed amendments shall be considered concurrently to ascertain the cumulative effect of the various proposals. Initial adoption of subarea plans and the adoption or amendment of a shoreline master program are not subject to the docketing requirement, and may be considered independently of the annual amendment process. Amendments to the plan may also be considered whenever an emergency exists, or to resolve an appeal of the plan filed with the Eastern Washington Growth Management Hearings Board, following appropriate public participation.

C. Amendment Review Process. Proposed amendments to the plan shall be submitted to the city of Yakima department of community and economic development, along with the required application fee, for review by the city planning commission pursuant to YMC 16.10.050. The city planning commission shall hold at least one public hearing to receive public testimony on proposed amendments, and shall forward its recommendation regarding proposed amendments to the city council, as outlined in YMC 16.10. The city council, pursuant to YMC 16.10.090, shall hold at least one public hearing on the city planning commission’s recommendation. The city council may refer any proposed amendment back to the city planning commission for further consideration and recommendation. The city council may amend the plan or reject any proposed amendments subsequent to the city council public hearing.

D. Existing Land Use Regulatory Ordinances Remain in Effect. All existing land use regulatory ordinances and land use controls shall remain in effect, including Title 15, Yakima Urban Area Zoning Ordinance; city of Yakima official zoning map; Title 14, Subdivisions; YMC Chapter 6.88, Environmental Policy; and YMC Chapter 15.27, Critical Areas, until such time that these ordinances are amended. Future land use decisions shall be based upon these ordinances, as periodically amended.

E. Severability. If any section, sentence, clause or phrase of the adopted Yakima urban area comprehensive plan should be held to be invalid or unconstitutional by any body or court with authority and jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, clause or phrase of the adopted Yakima urban area comprehensive plan.

F. Revival of Plan upon Invalidation. In the event that an updated Yakima urban area comprehensive plan, or any portion thereof, is invalidated by the Eastern Washington Growth Management Hearings Board, or any other body or court with authority and jurisdiction, the

prior-approved Yakima urban area comprehensive plan, or the relevant portions thereof, shall be revived and shall be in effect until a new comprehensive plan or new relevant portions are established. (Ord. 2013-021 § 1 (Exh. A), 2013; Ord. 2011-10 § 2, 2011; Ord. 2010-22 § 1 (part), 2010; Ord. 99-33 § 1, 1999; Ord. 97-22 § 2, 1997; Ord. 2579 § 1, 1981; Ord. 972 § 1, 1967; Ord. 779 §§ 1, 2, 1966).

**Section 2.** Yakima Municipal Code Public Tree Ordinance Section 8.77.060: Duties and responsibilities, is hereby amended to read as follows:

**8.77.060 Duties and responsibilities.**

It shall be the responsibility of the tree board to study, investigate, develop, update, and administer a written plan for the care, preservation, pruning, planting, replanting, removal or disposition of trees and shrubs in parks, along streets and in other city-owned public areas. Such plan will be presented annually to the city council and the Yakima Planning Commission, and upon city council's acceptance and approval shall constitute the official comprehensive city tree plan for the city of Yakima, Washington. The tree board, when requested by the city council, shall consider, investigate, make findings, report and make recommendations regarding any special matter or question coming within the scope of its work and/or work with the Yakima Planning Commission on matters of relevance to both groups. The tree board shall be a subcommittee of the Yakima Planning Commission. (Ord. 2016-032 § 1 (part), 2016).

**Section 3.** Yakima Municipal Code Historic Preservation Ordinance Section 11.62.040: Yakima historic preservation commission, is hereby amended to read as follows:

**11.62.040 Yakima historic preservation commission.**

A. Creation and Size. There is hereby established a Yakima historic preservation commission consisting of five members, as provided in subsection B of this section. Members of the Yakima historic preservation commission shall be appointed by the mayor with the approval of the Yakima city council and shall be residents of the city of Yakima.

B. Composition of the Commission.

(1) All members of the commission must have a demonstrated interest and competence in historic preservation, history, urban planning, or architecture and possess qualities of impartiality and broad judgment.

(2) The commission shall always include at least one professional who has experience in identifying, evaluating, and protecting historic resources and are selected from among the disciplines of history, architecture, architectural history, landscape architecture, historic preservation, planning, folklore, cultural anthropology, prehistoric and historic archaeology, American studies, curation, traditional building crafts, the practice of historic rehabilitation or restoration, finance and banking, law, and real estate, or related disciplines. The commission action that would otherwise be valid shall not be rendered invalid by the temporary vacancy of one or all of the professional positions, unless the commission action is related to meeting certified local government (CLG) responsibilities cited in the certification agreement between the mayor of Yakima and the State Historic Preservation Officer on behalf of the state. Furthermore, exception to the residency requirement of commission members may be granted by the mayor of Yakima with the approval of the Yakima city council in order to obtain representatives from these disciplines.



(3) In making appointments, the mayor may consider names submitted from any source, but the mayor shall notify Yakima history, heritage, preservation, and development related organizations of vacancies so that names of interested and qualified individuals may be submitted by such organizations for consideration along with names from any other source.

C. Terms. The initial appointments to the commission shall be staggered. Two members shall be appointed for one year, three members shall be appointed for two years, and two members shall be appointed for four years. Thereafter, the terms shall be made for four years. There shall be no consecutive term limit for membership on the commission. Vacancies shall be filled by the mayor with the approval of the council for a new or unexpired term in the same manner as the original appointment.

D. Powers and Duties. The major responsibility of the historic preservation commission is to identify and actively encourage the conservation of Yakima's historic resources by initiating and maintaining a register of historic places and reviewing proposed changes to register properties, to raise community awareness of Yakima's history and historic resources, and to serve as Yakima's primary resource in matters of history, historic planning, and preservation.

In carrying out these responsibilities, the commission shall engage in the following:

- (1) Conduct and maintain a comprehensive inventory of historic resources within the boundaries of the city of Yakima and known as the Yakima historic inventory, and publicize and periodically update inventory results. Properties listed on the inventory shall be recorded on official zoning records with an "HI" (for historic inventory designation). This designation shall not change or modify the underlying zone classification.
- (2) Initiate and maintain the Yakima register of historic places. This official register shall be compiled of buildings, structures, sites, objects, and districts identified by the commission as having historic significance worthy of recognition and protection by the city of Yakima and encouragement of efforts by owners to maintain, rehabilitate, and preserve properties.
- (3) Review nominations to the Yakima register of historic places according to criteria in YMC 11.62.045 and adopt standards in its rules to be used to guide this review.
- (4) Review proposals to construct, change, alter, modify, remodel, move, demolish, or significantly affect properties or districts on the register as provided in YMC 11.62.050 and adopt standards and design guidelines in its rules to be used to guide this review and the issuance of a certificate of appropriateness or waiver.
- (5) Provide for the review either by the commission or its staff of all applications for approvals, permits, environmental assessments or impact statements, and other similar documents pertaining to identified historic resources.
- (6) Conduct all commission meetings in compliance with Chapter 42.30 RCW, Open Public Meetings Act, to provide for adequate public participation and adopt standards in its rules to guide this action.
- (7) Participate in, promote and conduct public information, educational and interpretive programs pertaining to historic and prehistoric resources.

- (8) Establish liaison support, communication and cooperation with federal, state, and other local government entities which will further historic preservation objectives, including public education, within the city of Yakima.
- (9) Serve as a subcommittee to the Yakima Planning Commission to review and comment to the Yakima Planning Commission on land use, housing and redevelopment, economic development strategies, municipal improvements and other types of planning and programs undertaken by agencies of the city of Yakima, other neighboring communities, Yakima County, the state or federal governments, as they relate to historic resources of the city of Yakima.
- (10) Advise the Yakima Planning Commission, and/or the Yakima city council and the mayor of Yakima generally on matters of Yakima history and historic preservation.
- (11) Perform other related functions assigned to the commission by the Yakima city council.
- (12) Provide information to the public on methods of maintaining and rehabilitating historic properties. This may take the form of pamphlets, newsletters, workshops, websites, or similar activities.
- (13) Officially recognize excellence in the rehabilitation of historic buildings, structures, sites and districts, and new construction in historic areas and encourage appropriate measures for such recognition.
- (14) Be informed about and provide information to the public, the Yakima Planning Commission, and city of Yakima departments on incentives for preservation of historic resources including legislation, regulations and codes which encourage the use and adaptive reuse of historic properties.
- (15) Review nominations to the State and National Registers of Historic Places.
- (16) Investigate and report to the Yakima Planning Commission and/or the Yakima city council on the use of various federal, state, local or private funding sources available to promote historic resource preservation in the city of Yakima.
- (17) Serve as the local review board for special valuation and:
  - a. Make determination concerning the eligibility of historic properties for special valuation;
  - b. Verify that the improvements are consistent with the Washington State Advisory Council's standards for rehabilitation and maintenance;
  - c. Enter into agreements with property owners for the duration of the special valuation period as required under WAC 254-20-070(2);
  - d. Approve or deny applications for special valuation;
  - e. Monitor the property for continued compliance with the agreement and statutory eligibility requirements during the ten-year special valuation period; and

f. Adopt bylaws and/or administrative rules and comply with all other board responsibilities identified in Chapter 84.26 RCW.

(18) Provide a yearly report to the Yakima Planning Commission regarding the activities undertaken in the previous twelve (12) months, or report more often if requested by the Yakima Planning Commission or the Yakima City Council.

E. Compensation. All members shall serve without compensation.

F. Rules and Officers. The commission shall establish and adopt its own rules of procedure, and shall select from among its membership a chairperson and such other officers as may be necessary to conduct the commission's business.

G. Commission Staff. Commission and professional staff assistance may be provided by the department of community development, or other department as designated by the city manager, with additional assistance and information to be provided by other city departments as may be necessary to aid the commission in carrying out its duties and responsibilities under this chapter. (Ord. 2019-017 § 1, 2019: Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2013-22 § 1, 2013: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

**Section 4.** Yakima Municipal Code Bicycle and Pedestrian Advisory Committee Ordinance Section 1.37.010: Establishment, is hereby amended to read as follows:

#### **1.37.010 Establishment.**

There is hereby established within the city of Yakima a bicycle and pedestrian advisory committee, which shall be a subcommittee of the Yakima Planning Commission, to be appointed by the city council to carry out the purposes listed herein. (Ord. 2023-002 § 1, 2023).

**Section 5.** Yakima Municipal Code Bicycle and Pedestrian Advisory Committee Ordinance Section 1.37.050: Meetings, is hereby amended to read as follows:

#### **1.37.050 Meetings.**

(a) At its first meeting of each calendar year, the committee shall elect a chairperson and a secretary, which persons shall hold office for one year and until their successors are appointed.

(b) The committee should hold, at a minimum, regular quarterly public meetings that may be broadcast by the city. The committee may appoint a subcommittee of at least two members, which may meet during other times and at other dates as the subcommittee deems necessary or appropriate, to review and discuss bicycle/pedestrian committee policies and procedures, or relevant code sections of the Yakima Municipal Code. The subcommittee shall formulate a recommendation regarding its work to the whole committee for its consideration. Subcommittee meetings may be staffed only upon written request to the city manager from the subcommittee, and at the city manager's, or their designee's, discretion.

(c) Minutes of each meeting shall be kept by the secretary and sent to the staff liaison, or, if there is no staff liaison assigned, the city clerk, and any other city staff person or council person as determined by the city.

(d) All committee meetings shall be open to the public.

(e) To constitute a quorum for the transaction of business there shall be a simple majority of seated committee members present.

(f) An agenda shall be prepared and distributed by the chairperson prior to each meeting which includes a list of individual items of committee business that are intended to be discussed. If staff members are approved for attendance, they shall receive an agenda at least five business days prior to the meeting. (Ord. 2023-023 § 2, 2023; Ord. 2023-002 § 1, 2023).

**Section 6.** Yakima Municipal Code Bicycle and Pedestrian Advisory Committee Ordinance Section 1.37.060: Functions and duties, is hereby amended to read as follows:

**1.37.060 Functions and duties.**

(a) The committee generally shall serve in an advisory capacity to the Yakima Planning Commission as a subcommittee of the Commission concerning the development, maintenance and planning of the network of facilities for bicycles and pedestrians within the city or extending into Yakima County or neighboring communities.

(b) The committee shall assist the Yakima Planning Commission and, when specifically requested, the city council, on specific projects delegated to the committee by those groups.

(c) The committee shall report to the Yakima Planning Commission on an annual basis at a minimum. Reports to the Yakima Planning Commission shall contain a summary of action items taken to date, a list of action items that are pending, and a summary of any findings made as of the date of the report that are relevant to the committee's purpose or pending action items. The chair of the committee is responsible for writing any report and forwarding it to the staff liaison for the Yakima Planning Commission for dissemination and inclusion in a Yakima Planning Commission agenda.

(d) On areas of work where the Yakima Planning Commission finds that it would be more appropriate to have the committee provide advice and information either directly to the City Council, or to another committee, board or commission, the Yakima Planning Commission will refer the work to the council or to another committee, board or commission for its review and evaluation. (Ord. 2023-002 § 1, 2023).

**Section 7.** If any section, subsection, paragraph, sentence, clause or phrase of this ordinance is declared invalid or unconstitutional for any reason, such decision shall not affect the validity of the remaining portions of this ordinance.

**Section 8.** This ordinance shall be in full force and effect 30 days after its passage, approval, and publication as provided by law and by the City Charter.

**PASSED BY THE CITY COUNCIL**, signed and approved this 5<sup>th</sup> day of March, 2024.

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Patricia Byers, Mayor

ATTEST:

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Rosalinda Ibarra, City Clerk

Publication Date:

Effective Date:

## **ORDINANCE NO. 2024-**

**AN ORDINANCE** amending the City of Yakima Municipal Code Chapter 1.42: Planning Commission; Chapter 1.37: Bicycle and Pedestrian Advisory Committee; Chapter 11.62: Historic Preservation; and Chapter 8.77: Public Tree Ordinance, to create a structure where the Historic Preservation Commission, Bicycle and Pedestrian Advisory Committee report to, and are considered sub-committees of, the Planning Commission and the Tree Board reports to, and is considered a sub-committee of the Parks and Recreation Commission.

**WHEREAS**, the Planning Commission is charged with a number of advisory roles and responsibilities associated with the City's zoning ordinances and development code sections; and

**WHEREAS**, the City has additional committees and commissions that provide advice to the City Council on matters that sometimes are related to Planning Commission work, specifically the Historic Preservation Commission, the Bike and Pedestrian Advisory Committee, and the Tree Board; and

**WHEREAS**, the City Council seeks to coordinate these committees into a committee with subcommittees wherein the Historic Preservation Commission, the Bike and Pedestrian Advisory Committee and the Tree Board periodically report to the Planning Commission on matters pertaining to Planning Commission work, similar to Planning Commission work, or for other advice as is determined to be advantageous by the Council or one of the committees; and

**WHEREAS**, in coordinating the committees, the City Council wishes to allow the committees to retain their individual roles and obligations, but provide reporting and coordination where appropriate with the Planning Commission; and

**WHEREAS**, the City Council seeks to provide residents additional opportunities to sit on the Planning Commission and/or to allow, if desired, one member of each of the Historic Preservation Commission, Bike and Pedestrian Advisory Committee and Tree Board to also sit on the Planning Commission; and

**WHEREAS**, the City Council believes that having liaisons at the Planning Commission level would be advantageous to the City, so the City Council may appoint two liaisons from the City Council to the Planning Commission, rather than having councilmember liaisons at each of the Historic Preservation Commission, Bike and Pedestrian Advisory Committee and Tree Board; and

**WHEREAS**, for purposes only as outlined herein, the City Council believes it would be appropriate to allow residents to serve on both the Planning Commission and one of the sub-committees in the event the person seeking to serve on both meets the requirements of both of the bodies; and

**WHEREAS**, the City Council of the City of Yakima finds it is in the best interests of the City and its residents to restructure the Planning Commission, Historic Preservation Commission, Bike and Pedestrian Advisory Committee and Tree Board to create three sub-committees to the Planning Commission; now, therefore,



**BE IT ORDAINED BY THE CITY OF YAKIMA:**

**Section 1.** Yakima Municipal Code Chapter 1.42: Planning Commission, is hereby amended to read as follows:

**Chapter 1.42  
PLANNING COMMISSION\***

Sections:

- 1.42.010 Planning commission—Authority.**
- 1.42.020 Organization and procedures.**
- 1.42.025 Membership—Appointment—Terms.**
- 1.42.026 Residence of members.**
- 1.42.027 Vacancy filling—Unexpired terms.**
- 1.42.030 Duties.**
- 1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

\* See Charter Article VIII, Section 1, Zoning—See Title 15 of this code.

**1.42.010 Planning commission—Authority.**

The city of Yakima planning commission shall have the full authority and jurisdiction to perform all acts, duties and functions which are either required of or imparted or conferred on a planning commission by law or ordinance. Provided, any duties or functions of the planning commission which are conferred on the office of hearing examiner shall be performed by such examiner. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

**1.42.020 Organization and procedures.**

The commission shall perform its duties and functions as the planning commission of the city of Yakima under the provisions and procedures of RCW Chapter 35.63. The planning commission may adopt its own bylaws and rules of procedure as long as they do not conflict with RCW Chapter 35.63 or this ordinance. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

**1.42.025 Membership—Appointment—Terms.**

A. The city planning commission shall consist of eleven members appointed by the mayor and confirmed by the city council. The term of office for each appointive member shall be four years.

B. The members of the city planning commission shall be selected without respect to political affiliation and they shall serve without compensation.

C. No person shall serve more than two consecutive terms, provided a person appointed to fill unexpired terms of less than two years is eligible to serve two successive four-year terms; and provided further, a person who is ineligible to serve for having served two consecutive terms may again serve after two years have elapsed from the end of the second such term.

D. A maximum of one member of the city planning commission may also be a member of the Historic Preservation Commission. A maximum of one member of the city planning commission

may also be a member of the Bicycle and Pedestrian Advisory Committee. (Ord. 2017-018 § 1, 2017: Ord. 2010-22 § 1 (part), 2010).

#### **1.42.026 Residence of members.**

No person shall hold the office of member of the city planning commission unless that person is either (1) a resident of the city of Yakima, or (2) an owner of a business or of real property that is located within the city of Yakima. The office of member of the city planning commission shall become vacant upon such member ceasing to meet the requirements of either subsection 1 or 2, or both, as described in this section. (Ord. 2012-55 § 1, 2012: Ord. 2010-22 § 1 (part), 2010).

#### **1.42.027 Vacancy filling—Unexpired terms.**

Vacancies occurring otherwise than through the expiration of terms shall be filled for the unexpired term. Members may be removed, after public hearing, by the mayor, with the approval of the city council, for inefficiency, neglect of duty or malfeasance in office.

#### **1.42.028 Council liaisons**

The City Council may appoint up to two councilmember liaisons to the Planning Commission. Said liaisons are not considered members of the planning commission, shall not be entitled to vote on any matter before the commission and shall not actively participate in any matter that will come to the City Council for ultimate decision.

#### **1.42.030 Duties.**

The duties of the city planning commission shall be as set forth in RCW 35.63.060, by city ordinance, or as may be assigned or requested from time to time by the city council. Such duties include, but are not limited to:

1. Serving as the long-range planning body for the city of Yakima;
2. Monitor the growth and development of the city and continually reevaluate and recommend to the city council revisions to the comprehensive plan and zoning ordinance for the city;
3. Develop and recommend to the city council a subdivision ordinance for the city and revisions thereto;
4. Investigate and make recommendations on other land use matters as may be requested by the city council or on its own initiative;
5. Study and report on all proposed text changes to land use ordinances;
6. Advise the city council on land use matters;
7. Monitor the hearings of the hearing examiner in order to remain informed on development activities, public concerns and the decisions of the hearing examiner;
8. Work with, provide support, and give guidance to sub-committees associated with the planning commission, as appropriate.

9. Such other planning functions as authorized or required by law or ordinance or as requested or assigned by the city council. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

**1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

A. Plan Adoption. The Yakima urban area comprehensive plan (“the plan”) shall consist of the most recently adopted and approved Yakima Urban Area Comprehensive Plan, which at the time of this ordinance amendment is the Yakima Urban Area Comprehensive Plan 2025, adopted by Ordinance No. 2006-62 on December 15, 2006, the Terrace Heights Neighborhood Plan adopted on June 4, 1999 and as amended, and the West Valley Neighborhood Plan, as adopted and amended. The plan and its elements and plans including those incorporated by reference are hereby adopted as the official comprehensive land use plan for the city of Yakima, as required by Chapter 36.70A RCW.

B. Plan Amendments. Requests for amendments to the Yakima urban area comprehensive plan may be submitted in accord with YMC 16.10.030, and will be docketed for review and acted upon as provided in RCW 36.70A.130 and YMC 16.10. Proposed amendments shall be considered concurrently to ascertain the cumulative effect of the various proposals. Initial adoption of subarea plans and the adoption or amendment of a shoreline master program are not subject to the docketing requirement, and may be considered independently of the annual amendment process. Amendments to the plan may also be considered whenever an emergency exists, or to resolve an appeal of the plan filed with the Eastern Washington Growth Management Hearings Board, following appropriate public participation.

C. Amendment Review Process. Proposed amendments to the plan shall be submitted to the city of Yakima department of community and economic development, along with the required application fee, for review by the city planning commission pursuant to YMC 16.10.050. The city planning commission shall hold at least one public hearing to receive public testimony on proposed amendments, and shall forward its recommendation regarding proposed amendments to the city council, as outlined in YMC 16.10. The city council, pursuant to YMC 16.10.090, shall hold at least one public hearing on the city planning commission’s recommendation. The city council may refer any proposed amendment back to the city planning commission for further consideration and recommendation. The city council may amend the plan or reject any proposed amendments subsequent to the city council public hearing.

D. Existing Land Use Regulatory Ordinances Remain in Effect. All existing land use regulatory ordinances and land use controls shall remain in effect, including Title 15, Yakima Urban Area Zoning Ordinance; city of Yakima official zoning map; Title 14, Subdivisions; YMC Chapter 6.88, Environmental Policy; and YMC Chapter 15.27, Critical Areas, until such time that these ordinances are amended. Future land use decisions shall be based upon these ordinances, as periodically amended.

E. Severability. If any section, sentence, clause or phrase of the adopted Yakima urban area comprehensive plan should be held to be invalid or unconstitutional by any body or court with authority and jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, clause or phrase of the adopted Yakima urban area comprehensive plan.

F. Revival of Plan upon Invalidation. In the event that an updated Yakima urban area comprehensive plan, or any portion thereof, is invalidated by the Eastern Washington Growth Management Hearings Board, or any other body or court with authority and jurisdiction, the

prior-approved Yakima urban area comprehensive plan, or the relevant portions thereof, shall be revived and shall be in effect until a new comprehensive plan or new relevant portions are established.

**Section 2.** Yakima Municipal Code Public Tree Ordinance Section 8.77.060: Duties and responsibilities, is hereby amended to read as follows:

**8.77.060 Duties and responsibilities.**

It shall be the responsibility of the tree board to study, investigate, develop, update, and administer a written plan for the care, preservation, pruning, planting, replanting, removal or disposition of trees and shrubs in parks, along streets and in other city-owned public areas. Such plan will be presented annually to the city council and the Yakima Parks and Recreation Commission, and upon city council's acceptance and approval shall constitute the official comprehensive city tree plan for the city of Yakima, Washington. The tree board, when requested by the city council, shall consider, investigate, make findings, report and make recommendations regarding any special matter or question coming within the scope of its work and/or work with the Yakima Parks and Recreation Commission on matters of relevance to both groups. The tree board shall be a subcommittee of the Yakima Parks and Recreation Commission. (Ord. 2016-032 § 1 (part), 2016).

**Section 3.** Yakima Municipal Code Historic Preservation Ordinance Section 11.62.040: Yakima historic preservation commission, is hereby amended to read as follows:

**11.62.040 Yakima historic preservation commission.**

A. Creation and Size. There is hereby established a Yakima historic preservation commission consisting of five members, as provided in subsection B of this section. Members of the Yakima historic preservation commission shall be appointed by the mayor with the approval of the Yakima city council and shall be residents of the city of Yakima.

B. Composition of the Commission.

(1) All members of the commission must have a demonstrated interest and competence in historic preservation, history, urban planning, or architecture and possess qualities of impartiality and broad judgment.

(2) The commission shall always include at least one professional who has experience in identifying, evaluating, and protecting historic resources and are selected from among the disciplines of history, architecture, architectural history, landscape architecture, historic preservation, planning, folklore, cultural anthropology, prehistoric and historic archaeology, American studies, curation, traditional building crafts, the practice of historic rehabilitation or restoration, finance and banking, law, and real estate, or related disciplines. The commission action that would otherwise be valid shall not be rendered invalid by the temporary vacancy of one or all of the professional positions, unless the commission action is related to meeting certified local government (CLG) responsibilities cited in the certification agreement between the mayor of Yakima and the State Historic Preservation Officer on behalf of the state. Furthermore, exception to the residency requirement of commission members may be granted by the mayor of Yakima with the approval of the Yakima city council in order to obtain representatives from these disciplines.

(3) In making appointments, the mayor may consider names submitted from any source, but the mayor shall notify Yakima history, heritage, preservation, and development related organizations of vacancies so that names of interested and qualified individuals may be submitted by such organizations for consideration along with names from any other source.

C. Terms. The initial appointments to the commission shall be staggered. Two members shall be appointed for one year, three members shall be appointed for two years, and two members shall be appointed for four years. Thereafter, the terms shall be made for four years. There shall be no consecutive term limit for membership on the commission. Vacancies shall be filled by the mayor with the approval of the council for a new or unexpired term in the same manner as the original appointment.

D. Powers and Duties. The major responsibility of the historic preservation commission is to identify and actively encourage the conservation of Yakima's historic resources by initiating and maintaining a register of historic places and reviewing proposed changes to register properties, to raise community awareness of Yakima's history and historic resources, and to serve as Yakima's primary resource in matters of history, historic planning, and preservation.

In carrying out these responsibilities, the commission shall engage in the following:

- (1) Conduct and maintain a comprehensive inventory of historic resources within the boundaries of the city of Yakima and known as the Yakima historic inventory, and publicize and periodically update inventory results. Properties listed on the inventory shall be recorded on official zoning records with an "HI" (for historic inventory designation). This designation shall not change or modify the underlying zone classification.
- (2) Initiate and maintain the Yakima register of historic places. This official register shall be compiled of buildings, structures, sites, objects, and districts identified by the commission as having historic significance worthy of recognition and protection by the city of Yakima and encouragement of efforts by owners to maintain, rehabilitate, and preserve properties.
- (3) Review nominations to the Yakima register of historic places according to criteria in YMC 11.62.045 and adopt standards in its rules to be used to guide this review.
- (4) Review proposals to construct, change, alter, modify, remodel, move, demolish, or significantly affect properties or districts on the register as provided in YMC 11.62.050 and adopt standards and design guidelines in its rules to be used to guide this review and the issuance of a certificate of appropriateness or waiver.
- (5) Provide for the review either by the commission or its staff of all applications for approvals, permits, environmental assessments or impact statements, and other similar documents pertaining to identified historic resources.
- (6) Conduct all commission meetings in compliance with Chapter 42.30 RCW, Open Public Meetings Act, to provide for adequate public participation and adopt standards in its rules to guide this action.
- (7) Participate in, promote and conduct public information, educational and interpretive programs pertaining to historic and prehistoric resources.

- (8) Establish liaison support, communication and cooperation with federal, state, and other local government entities which will further historic preservation objectives, including public education, within the city of Yakima.
- (9) Serve as a subcommittee to the Yakima Planning Commission to review and comment to the Yakima Planning Commission on land use, housing and redevelopment, economic development strategies, municipal improvements and other types of planning and programs undertaken by agencies of the city of Yakima, other neighboring communities, Yakima County, the state or federal governments, as they relate to historic resources of the city of Yakima.
- (10) Advise the Yakima Planning Commission, and/or the Yakima city council and the mayor of Yakima generally on matters of Yakima history and historic preservation.
- (11) Perform other related functions assigned to the commission by the Yakima city council.
- (12) Provide information to the public on methods of maintaining and rehabilitating historic properties. This may take the form of pamphlets, newsletters, workshops, websites, or similar activities.
- (13) Officially recognize excellence in the rehabilitation of historic buildings, structures, sites and districts, and new construction in historic areas and encourage appropriate measures for such recognition.
- (14) Be informed about and provide information to the public, the Yakima Planning Commission, and city of Yakima departments on incentives for preservation of historic resources including legislation, regulations and codes which encourage the use and adaptive reuse of historic properties.
- (15) Review nominations to the State and National Registers of Historic Places.
- (16) Investigate and report to the Yakima Planning Commission and/or the Yakima city council on the use of various federal, state, local or private funding sources available to promote historic resource preservation in the city of Yakima.
- (17) Serve as the local review board for special valuation and:
  - a. Make determination concerning the eligibility of historic properties for special valuation;
  - b. Verify that the improvements are consistent with the Washington State Advisory Council's standards for rehabilitation and maintenance;
  - c. Enter into agreements with property owners for the duration of the special valuation period as required under WAC 254-20-070(2);
  - d. Approve or deny applications for special valuation;
  - e. Monitor the property for continued compliance with the agreement and statutory eligibility requirements during the ten-year special valuation period; and

f. Adopt bylaws and/or administrative rules and comply with all other board responsibilities identified in Chapter 84.26 RCW.

(18) Provide a yearly report to the Yakima Planning Commission regarding the activities undertaken in the previous twelve (12) months, or report more often if requested by the Yakima Planning Commission or the Yakima City Council.

E. Compensation. All members shall serve without compensation.

F. Rules and Officers. The commission shall establish and adopt its own rules of procedure, and shall select from among its membership a chairperson and such other officers as may be necessary to conduct the commission's business.

G. Commission Staff. Commission and professional staff assistance may be provided by the department of community development, or other department as designated by the city manager, with additional assistance and information to be provided by other city departments as may be necessary to aid the commission in carrying out its duties and responsibilities under this chapter. (Ord. 2019-017 § 1, 2019: Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2013-22 § 1, 2013: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

**Section 4.** Yakima Municipal Code Bicycle and Pedestrian Advisory Committee Ordinance Section 1.37.010: Establishment, is hereby amended to read as follows:

#### **1.37.010 Establishment.**

There is hereby established within the city of Yakima a bicycle and pedestrian advisory committee, which shall be a subcommittee of the Yakima Planning Commission, to be appointed by the city council to carry out the purposes listed herein. (Ord. 2023-002 § 1, 2023).

**Section 5.** Yakima Municipal Code Bicycle and Pedestrian Advisory Committee Ordinance Section 1.37.050: Meetings, is hereby amended to read as follows:

#### **1.37.050 Meetings.**

(a) At its first meeting of each calendar year, the committee shall elect a chairperson and a secretary, which persons shall hold office for one year and until their successors are appointed.

(b) The committee should hold, at a minimum, regular quarterly public meetings that may be broadcast by the city. The committee may appoint a subcommittee of at least two members, which may meet during other times and at other dates as the subcommittee deems necessary or appropriate, to review and discuss bicycle/pedestrian committee policies and procedures, or relevant code sections of the Yakima Municipal Code. The subcommittee shall formulate a recommendation regarding its work to the whole committee for its consideration. Subcommittee meetings may be staffed only upon written request to the city manager from the subcommittee, and at the city manager's, or their designee's, discretion.

(c) Minutes of each meeting shall be kept by the secretary and sent to the staff liaison, or, if there is no staff liaison assigned, the city clerk, and any other city staff person or council person as determined by the city.

(d) All committee meetings shall be open to the public.



(e) To constitute a quorum for the transaction of business there shall be a simple majority of seated committee members present.

(f) An agenda shall be prepared and distributed by the chairperson prior to each meeting which includes a list of individual items of committee business that are intended to be discussed. If staff members are approved for attendance, they shall receive an agenda at least five business days prior to the meeting. (Ord. 2023-023 § 2, 2023; Ord. 2023-002 § 1, 2023).

**Section 6.** Yakima Municipal Code Bicycle and Pedestrian Advisory Committee Ordinance Section 1.37.060: Functions and duties, is hereby amended to read as follows:

**1.37.060 Functions and duties.**

(a) The committee generally shall serve in an advisory capacity to the Yakima Planning Commission as a subcommittee of the Commission concerning the development, maintenance and planning of the network of facilities for bicycles and pedestrians within the city or extending into Yakima County or neighboring communities.

(b) The committee shall assist the Yakima Planning Commission and, when specifically requested, the city council, on specific projects delegated to the committee by those groups..

(c) The committee shall report to the Yakima Planning Commission on an annual basis at a minimum. Reports to the Yakima Planning Commission shall contain a summary of action items taken to date, a list of action items that are pending, and a summary of any findings made as of the date of the report that are relevant to the committee's purpose or pending action items. The chair of the committee is responsible for writing any report and forwarding it to the staff liaison for the Yakima Planning Commission for dissemination and inclusion in a Yakima Planning Commission agenda.

(d) On areas of work where the Yakima Planning Commission finds that it would be more appropriate to have the committee provide advice and information either directly to the City Council, or to another committee, board or commission, the Yakima Planning Commission will refer the work to the council or to another committee, board or commission for its review and evaluation. (Ord. 2023-002 § 1, 2023).

**Section 7.** If any section, subsection, paragraph, sentence, clause or phrase of this ordinance is declared invalid or unconstitutional for any reason, such decision shall not affect the validity of the remaining portions of this ordinance.

**Section 8.** This ordinance shall be in full force and effect 30 days after its passage, approval, and publication as provided by law and by the City Charter.

**PASSED BY THE CITY COUNCIL**, signed and approved this 5<sup>th</sup> day of March, 2024.

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Patricia Byers, Mayor

ATTEST:

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Rosalinda Ibarra, City Clerk

Publication Date:

Effective Date:

## Chapter 1.42 PLANNING COMMISSION\*

### Sections:

- 1.42.010 Planning commission—Authority.**
- 1.42.020 Organization and procedures.**
- 1.42.025 Membership—Appointment—Terms.**
- 1.42.026 Residence of members.**
- 1.42.027 Vacancy filling—Unexpired terms.**
- 1.42.030 Duties.**
- 1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

\* See Charter Article VIII, Section 1, Zoning—See Title 15 of this code.

### **1.42.010 Planning commission—Authority.**

The city of Yakima planning commission shall have the full authority and jurisdiction to perform all acts, duties and functions which are either required of or imparted or conferred on a planning commission by law or ordinance. Provided, any duties or functions of the planning commission which are conferred on the office of hearing examiner shall be performed by such examiner. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

### **1.42.020 Organization and procedures.**

The commission shall perform its duties and functions as the planning commission of the city of Yakima under the provisions and procedures of RCW Chapter 35.63. The planning commission may adopt its own bylaws and rules of procedure as long as they do not conflict with RCW Chapter 35.63 or this ordinance. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

### **1.42.025 Membership—Appointment—Terms.**

A. The city planning commission shall consist of ~~seven~~eleven members appointed by the mayor and confirmed by the city council. The ~~term of office for the first appointive members appointed to the city planning commission shall be designated from one to six years in such a manner as to provide the fewest possible terms will expire in any one year. Thereafter the term of office for each appointive member shall be four years.~~

~~B. Vacancies occurring otherwise than through the expiration of terms shall be filled for the unexpired term. Members may be removed, after public hearing, by the mayor, with the approval of the city council, for inefficiency, neglect of duty or malfeasance in office.~~

BC. The members of the city planning commission shall be selected without respect to political affiliation and they shall serve without compensation.

CD. No person shall serve more than two consecutive terms, provided a person appointed to fill unexpired terms of less than two years is eligible to serve two successive four-year terms; and provided further, a person who is ineligible to serve for having served two consecutive terms may again serve after two years have elapsed from the end of the second such term.

D. A maximum of one member of the city planning commission may also be a member of the Historic Preservation Commission. A maximum of one member of the city planning commission may also be a member of the Tree Board. A maximum of one member of the city planning commission may also be a member of the Bicycle and Pedestrian Advisory Committee. (Ord. 2017-018 § 1, 2017: Ord. 2010-22 § 1 (part), 2010).

#### **1.42.026 Residence of members.**

No person shall hold the office of member of the city planning commission unless that person is either (1) a resident of the city of Yakima, or (2) an owner of a business or of real property that is located within the city of Yakima. The office of member of the city planning commission shall become vacant upon such member ceasing to meet the requirements of either subsection 1 or 2, or both, as described in this section. (Ord. 2012-55 § 1, 2012: Ord. 2010-22 § 1 (part), 2010).

#### **1.42.027 Vacancy filling—Unexpired terms.**

~~Vacancies occurring other than through the expiration of terms shall be filled by appointment as provided in YMC 1.42.025. (Ord. 2010-22 § 1 (part), 2010).~~ Vacancies occurring otherwise than through the expiration of terms shall be filled for the unexpired term. Members may be removed, after public hearing, by the mayor, with the approval of the city council, for inefficiency, neglect of duty or malfeasance in office.

#### **1.42.028 Council liaisons**

The City Council may appoint up to two councilmember liaisons to the Planning Commission. Said liaisons are not considered members of the planning commission, shall not be entitled to vote on any matter before the commission and shall not actively participate in any matter that will come to the City Council for ultimate decision.

#### **1.42.030 Duties.**

The duties of the city planning commission shall be as set forth in RCW 35.63.060, by city ordinance, or as may be assigned or requested from time to time by the city council. Such duties include, but are not limited to:

1. Serving as the long-range planning body for the city of Yakima;
2. Monitor the growth and development of the city and continually reevaluate and recommend to the city council revisions to the comprehensive plan and zoning ordinance for the city;
3. Develop and recommend to the city council a subdivision ordinance for the city and revisions thereto;
4. Investigate and make recommendations on other land use matters as may be requested by the city council or on its own initiative;
5. Study and report on all proposed text changes to land use ordinances;
6. Advise the city council on land use matters;

7. Monitor the hearings of the hearing examiner in order to remain informed on development activities, public concerns and the decisions of the hearing examiner;

8. Work with, provide support, and give guidance to sub-committees associated with the planning commission, as appropriate.

89. Such other planning functions as authorized or required by law or ordinance or as requested or assigned by the city council. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

#### **1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

A. Plan Adoption. The Yakima urban area comprehensive plan (“the plan”) shall consist of the most recently adopted and approved Yakima Urban Area Comprehensive Plan, which at the time of this ordinance amendment is the Yakima Urban Area Comprehensive Plan 2025, adopted by Ordinance No. 2006-62 on December 15, 2006, the Terrace Heights Neighborhood Plan adopted on June 4, 1999 and as amended, and the West Valley Neighborhood Plan, as adopted and amended. The plan and its elements and plans including those incorporated by reference are hereby adopted as the official comprehensive land use plan for the city of Yakima, as required by Chapter 36.70A RCW.

B. Plan Amendments. Requests for amendments to the Yakima urban area comprehensive plan may be submitted in accord with YMC 16.10.030, and will be docketed for review and acted upon as provided in RCW 36.70A.130 and YMC 16.10. Proposed amendments shall be considered concurrently to ascertain the cumulative effect of the various proposals. Initial adoption of subarea plans and the adoption or amendment of a shoreline master program are not subject to the docketing requirement, and may be considered independently of the annual amendment process. Amendments to the plan may also be considered whenever an emergency exists, or to resolve an appeal of the plan filed with the Eastern Washington Growth Management Hearings Board, following appropriate public participation.

C. Amendment Review Process. Proposed amendments to the plan shall be submitted to the city of Yakima department of community and economic development, along with the required application fee, for review by the city planning commission pursuant to YMC 16.10.050. The city planning commission shall hold at least one public hearing to receive public testimony on proposed amendments, and shall forward its recommendation regarding proposed amendments to the city council, as outlined in YMC 16.10. The city council, pursuant to YMC 16.10.090, shall hold at least one public hearing on the city planning commission’s recommendation. The city council may refer any proposed amendment back to the city planning commission for further consideration and recommendation. The city council may amend the plan or reject any proposed amendments subsequent to the city council public hearing.

D. Existing Land Use Regulatory Ordinances Remain in Effect. All existing land use regulatory ordinances and land use controls shall remain in effect, including Title 15, Yakima Urban Area Zoning Ordinance; city of Yakima official zoning map; Title 14, Subdivisions; YMC Chapter 6.88, Environmental Policy; and YMC Chapter 15.27, Critical Areas, until such time that these ordinances are amended. Future land use decisions shall be based upon these ordinances, as periodically amended.

E. Severability. If any section, sentence, clause or phrase of the adopted Yakima urban area comprehensive plan should be held to be invalid or unconstitutional by any body or court with

authority and jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, clause or phrase of the adopted Yakima urban area comprehensive plan.

F. Revival of ~~1997~~ Plan upon Invalidation. In the event that ~~the 2006~~an updated Yakima urban area comprehensive plan, or any portion thereof, is invalidated by the Eastern Washington Growth Management Hearings Board, or any other body or court with authority and jurisdiction, the ~~1997~~prior-approved Yakima urban area comprehensive plan, or the relevant portions thereof, shall be revived and shall be in effect until a new comprehensive plan or new relevant portions are established. (Ord. 2013-021 § 1 (Exh. A), 2013: Ord. 2011-10 § 2, 2011; Ord. 2010-22 § 1 (part), 2010: Ord. 99-33 § 1, 1999; Ord. 97-22 § 2, 1997: Ord. 2579 § 1, 1981: Ord. 972 § 1, 1967: Ord. 779 §§ 1, 2, 1966).

## Chapter 1.42 PLANNING COMMISSION\*

### Sections:

- 1.42.010 Planning commission—Authority.**
- 1.42.020 Organization and procedures.**
- 1.42.025 Membership—Appointment—Terms.**
- 1.42.026 Residence of members.**
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- 1.42.030 Duties.**
- 1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

\* See Charter Article VIII, Section 1, Zoning—See Title 15 of this code.

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The City Council may appoint up to two councilmember liaisons to the Planning Commission. Said liaisons are not considered members of the planning commission, shall not be entitled to vote on any matter before the commission and shall not actively participate in any matter that will come to the City Council for ultimate decision.

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1. Serving as the long-range planning body for the city of Yakima;
2. Monitor the growth and development of the city and continually reevaluate and recommend to the city council revisions to the comprehensive plan and zoning ordinance for the city;
3. Develop and recommend to the city council a subdivision ordinance for the city and revisions thereto;
4. Investigate and make recommendations on other land use matters as may be requested by the city council or on its own initiative;
5. Study and report on all proposed text changes to land use ordinances;
6. Advise the city council on land use matters;
7. Monitor the hearings of the hearing examiner in order to remain informed on development activities, public concerns and the decisions of the hearing examiner;
8. Work with, provide support, and give guidance to sub-committees associated with the planning commission, as appropriate.
9. Such other planning functions as authorized or required by law or ordinance or as requested or assigned by the city council. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

#### **1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

A. **Plan Adoption.** The Yakima urban area comprehensive plan (“the plan”) shall consist of the most recently adopted and approved Yakima Urban Area Comprehensive Plan, which at the time of this ordinance amendment is the Yakima Urban Area Comprehensive Plan 2025, adopted by Ordinance No. 2006-62 on December 15, 2006, the Terrace Heights Neighborhood Plan adopted on June 4, 1999 and as amended, and the West Valley Neighborhood Plan, as adopted and amended. The plan and its elements and plans including those incorporated by reference are hereby adopted as the official comprehensive land use plan for the city of Yakima, as required by Chapter 36.70A RCW.

B. **Plan Amendments.** Requests for amendments to the Yakima urban area comprehensive plan may be submitted in accord with YMC 16.10.030, and will be docketed for review and acted upon as provided in RCW 36.70A.130 and YMC 16.10. Proposed amendments shall be considered concurrently to ascertain the cumulative effect of the various proposals. Initial adoption of subarea plans and the adoption or amendment of a shoreline master program are not subject to the docketing requirement, and may be considered independently of the annual amendment process. Amendments to the plan may also be considered whenever an emergency exists, or to resolve an appeal of the plan filed with the Eastern Washington Growth Management Hearings Board, following appropriate public participation.

C. **Amendment Review Process.** Proposed amendments to the plan shall be submitted to the city of Yakima department of community and economic development, along with the required application fee, for review by the city planning commission pursuant to YMC 16.10.050. The city planning commission shall hold at least one public hearing to receive public testimony on proposed amendments, and shall forward its recommendation regarding proposed amendments to the city council, as outlined in YMC 16.10. The city council, pursuant to YMC 16.10.090, shall hold at least one public hearing on the city planning commission’s recommendation. The city council may refer any proposed amendment back to the city planning commission for further consideration and recommendation. The city council may amend the plan or reject any proposed amendments subsequent to the city council public hearing.

D. **Existing Land Use Regulatory Ordinances Remain in Effect.** All existing land use regulatory ordinances and land use controls shall remain in effect, including Title 15, Yakima Urban Area Zoning Ordinance; city of Yakima official zoning map; Title 14, Subdivisions; YMC Chapter 6.88, Environmental Policy; and YMC Chapter 15.27, Critical Areas, until such time that these ordinances are amended. Future land use decisions shall be based upon these ordinances, as periodically amended.

E. **Severability.** If any section, sentence, clause or phrase of the adopted Yakima urban area comprehensive plan should be held to be invalid or unconstitutional by any body or court with authority and jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, clause or phrase of the adopted Yakima urban area comprehensive plan.

F. **Revival of Plan upon Invalidation.** In the event that an updated Yakima urban area comprehensive plan, or any portion thereof, is invalidated by the Eastern Washington Growth Management Hearings Board, or any other body or court with authority and jurisdiction, the prior-approved Yakima urban area comprehensive plan, or the relevant portions thereof, shall be revived and shall be in effect until a new comprehensive plan or new relevant portions are

established. (Ord. 2013-021 § 1 (Exh. A), 2013: Ord. 2011-10 § 2, 2011; Ord. 2010-22 § 1 (part), 2010: Ord. 99-33 § 1, 1999; Ord. 97-22 § 2, 1997: Ord. 2579 § 1, 1981: Ord. 972 § 1, 1967: Ord. 779 §§ 1, 2, 1966).

## Chapter 1.42 PLANNING COMMISSION\*

### Sections:

- 1.42.010 Planning commission—Authority.**
- 1.42.020 Organization and procedures.**
- 1.42.025 Membership—Appointment—Terms.**
- 1.42.026 Residence of members.**
- 1.42.027 Vacancy filling—Unexpired terms.**
- 1.42.030 Duties.**
- 1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

\* See Charter Article VIII, Section 1, Zoning—See Title 15 of this code.

### **1.42.010 Planning commission—Authority.**

The city of Yakima planning commission shall have the full authority and jurisdiction to perform all acts, duties and functions which are either required of or imparted or conferred on a planning commission by law or ordinance. Provided, any duties or functions of the planning commission which are conferred on the office of hearing examiner shall be performed by such examiner. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

### **1.42.020 Organization and procedures.**

The commission shall perform its duties and functions as the planning commission of the city of Yakima under the provisions and procedures of RCW Chapter 35.63. The planning commission may adopt its own bylaws and rules of procedure as long as they do not conflict with RCW Chapter 35.63 or this ordinance. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

### **1.42.025 Membership—Appointment—Terms.**

A. The city planning commission shall consist of ~~seven~~eleven members appointed by the mayor and confirmed by the city council. The ~~term of office for the first appointive members appointed to the city planning commission shall be designated from one to six years in such a manner as to provide the fewest possible terms will expire in any one year. Thereafter the term of office for each appointive member shall be four years.~~

~~B. Vacancies occurring otherwise than through the expiration of terms shall be filled for the unexpired term. Members may be removed, after public hearing, by the mayor, with the approval of the city council, for inefficiency, neglect of duty or malfeasance in office.~~

BC. The members of the city planning commission shall be selected without respect to political affiliation and they shall serve without compensation.

CD. No person shall serve more than two consecutive terms, provided a person appointed to fill unexpired terms of less than two years is eligible to serve two successive four-year terms; and provided further, a person who is ineligible to serve for having served two consecutive terms may again serve after two years have elapsed from the end of the second such term.

D. A maximum of one member of the city planning commission may also be a member of the Historic Preservation Commission. A maximum of one member of the city planning commission may also be a member of the Bicycle and Pedestrian Advisory Committee. (Ord. 2017-018 § 1, 2017: Ord. 2010-22 § 1 (part), 2010).

#### **1.42.026 Residence of members.**

No person shall hold the office of member of the city planning commission unless that person is either (1) a resident of the city of Yakima, or (2) an owner of a business or of real property that is located within the city of Yakima. The office of member of the city planning commission shall become vacant upon such member ceasing to meet the requirements of either subsection 1 or 2, or both, as described in this section. (Ord. 2012-55 § 1, 2012: Ord. 2010-22 § 1 (part), 2010).

#### **1.42.027 Vacancy filling—Unexpired terms.**

~~Vacancies occurring other than through the expiration of terms shall be filled by appointment as provided in YMC 1.42.025. (Ord. 2010-22 § 1 (part), 2010).~~ Vacancies occurring otherwise than through the expiration of terms shall be filled for the unexpired term. Members may be removed, after public hearing, by the mayor, with the approval of the city council, for inefficiency, neglect of duty or malfeasance in office.

#### **1.42.028 Council liaisons**

The City Council may appoint up to two councilmember liaisons to the Planning Commission. Said liaisons are not considered members of the planning commission, shall not be entitled to vote on any matter before the commission and shall not actively participate in any matter that will come to the City Council for ultimate decision.

#### **1.42.030 Duties.**

The duties of the city planning commission shall be as set forth in RCW 35.63.060, by city ordinance, or as may be assigned or requested from time to time by the city council. Such duties include, but are not limited to:

1. Serving as the long-range planning body for the city of Yakima;
2. Monitor the growth and development of the city and continually reevaluate and recommend to the city council revisions to the comprehensive plan and zoning ordinance for the city;
3. Develop and recommend to the city council a subdivision ordinance for the city and revisions thereto;
4. Investigate and make recommendations on other land use matters as may be requested by the city council or on its own initiative;
5. Study and report on all proposed text changes to land use ordinances;
6. Advise the city council on land use matters;
7. Monitor the hearings of the hearing examiner in order to remain informed on development activities, public concerns and the decisions of the hearing examiner;

8. Work with, provide support, and give guidance to sub-committees associated with the planning commission, as appropriate.

89. Such other planning functions as authorized or required by law or ordinance or as requested or assigned by the city council. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

#### **1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

A. Plan Adoption. The Yakima urban area comprehensive plan (“the plan”) shall consist of the most recently adopted and approved Yakima Urban Area Comprehensive Plan, which at the time of this ordinance amendment is the Yakima Urban Area Comprehensive Plan 2025, adopted by Ordinance No. 2006-62 on December 15, 2006, the Terrace Heights Neighborhood Plan adopted on June 4, 1999 and as amended, and the West Valley Neighborhood Plan, as adopted and amended. The plan and its elements and plans including those incorporated by reference are hereby adopted as the official comprehensive land use plan for the city of Yakima, as required by Chapter 36.70A RCW.

B. Plan Amendments. Requests for amendments to the Yakima urban area comprehensive plan may be submitted in accord with YMC 16.10.030, and will be docketed for review and acted upon as provided in RCW 36.70A.130 and YMC 16.10. Proposed amendments shall be considered concurrently to ascertain the cumulative effect of the various proposals. Initial adoption of subarea plans and the adoption or amendment of a shoreline master program are not subject to the docketing requirement, and may be considered independently of the annual amendment process. Amendments to the plan may also be considered whenever an emergency exists, or to resolve an appeal of the plan filed with the Eastern Washington Growth Management Hearings Board, following appropriate public participation.

C. Amendment Review Process. Proposed amendments to the plan shall be submitted to the city of Yakima department of community and economic development, along with the required application fee, for review by the city planning commission pursuant to YMC 16.10.050. The city planning commission shall hold at least one public hearing to receive public testimony on proposed amendments, and shall forward its recommendation regarding proposed amendments to the city council, as outlined in YMC 16.10. The city council, pursuant to YMC 16.10.090, shall hold at least one public hearing on the city planning commission’s recommendation. The city council may refer any proposed amendment back to the city planning commission for further consideration and recommendation. The city council may amend the plan or reject any proposed amendments subsequent to the city council public hearing.

D. Existing Land Use Regulatory Ordinances Remain in Effect. All existing land use regulatory ordinances and land use controls shall remain in effect, including Title 15, Yakima Urban Area Zoning Ordinance; city of Yakima official zoning map; Title 14, Subdivisions; YMC Chapter 6.88, Environmental Policy; and YMC Chapter 15.27, Critical Areas, until such time that these ordinances are amended. Future land use decisions shall be based upon these ordinances, as periodically amended.

E. Severability. If any section, sentence, clause or phrase of the adopted Yakima urban area comprehensive plan should be held to be invalid or unconstitutional by any body or court with authority and jurisdiction, such invalidity or unconstitutionality shall not affect the validity or

constitutionality of any other section, clause or phrase of the adopted Yakima urban area comprehensive plan.

F. Revival of ~~1997~~ Plan upon Invalidation. In the event that ~~the 2006~~an updated Yakima urban area comprehensive plan, or any portion thereof, is invalidated by the Eastern Washington Growth Management Hearings Board, or any other body or court with authority and jurisdiction, the ~~1997~~prior-approved Yakima urban area comprehensive plan, or the relevant portions thereof, shall be revived and shall be in effect until a new comprehensive plan or new relevant portions are established. (Ord. 2013-021 § 1 (Exh. A), 2013: Ord. 2011-10 § 2, 2011; Ord. 2010-22 § 1 (part), 2010: Ord. 99-33 § 1, 1999; Ord. 97-22 § 2, 1997: Ord. 2579 § 1, 1981: Ord. 972 § 1, 1967: Ord. 779 §§ 1, 2, 1966).



## Chapter 1.42 PLANNING COMMISSION\*

### Sections:

- 1.42.010 Planning commission—Authority.**
- 1.42.020 Organization and procedures.**
- 1.42.025 Membership—Appointment—Terms.**
- 1.42.026 Residence of members.**
- 1.42.027 Vacancy filling—Unexpired terms.**
- 1.42.030 Duties.**
- 1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

\* See Charter Article VIII, Section 1, Zoning—See Title 15 of this code.

### **1.42.010 Planning commission—Authority.**

The city of Yakima planning commission shall have the full authority and jurisdiction to perform all acts, duties and functions which are either required of or imparted or conferred on a planning commission by law or ordinance. Provided, any duties or functions of the planning commission which are conferred on the office of hearing examiner shall be performed by such examiner. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

### **1.42.020 Organization and procedures.**

The commission shall perform its duties and functions as the planning commission of the city of Yakima under the provisions and procedures of RCW Chapter 35.63. The planning commission may adopt its own bylaws and rules of procedure as long as they do not conflict with RCW Chapter 35.63 or this ordinance. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

### **1.42.025 Membership—Appointment—Terms.**

A. The city planning commission shall consist of eleven members appointed by the mayor and confirmed by the city council. The term of office for each appointive member shall be four years.

B. The members of the city planning commission shall be selected without respect to political affiliation and they shall serve without compensation.

C. No person shall serve more than two consecutive terms, provided a person appointed to fill unexpired terms of less than two years is eligible to serve two successive four-year terms; and provided further, a person who is ineligible to serve for having served two consecutive terms may again serve after two years have elapsed from the end of the second such term.

D. A maximum of one member of the city planning commission may also be a member of the Historic Preservation Commission. A maximum of one member of the city planning commission may also be a member of the Bicycle and Pedestrian Advisory Committee. (Ord. 2017-018 § 1, 2017: Ord. 2010-22 § 1 (part), 2010).

#### **1.42.026 Residence of members.**

No person shall hold the office of member of the city planning commission unless that person is either (1) a resident of the city of Yakima, or (2) an owner of a business or of real property that is located within the city of Yakima. The office of member of the city planning commission shall become vacant upon such member ceasing to meet the requirements of either subsection 1 or 2, or both, as described in this section. (Ord. 2012-55 § 1, 2012: Ord. 2010-22 § 1 (part), 2010).

#### **1.42.027 Vacancy filling—Unexpired terms.**

Vacancies occurring otherwise than through the expiration of terms shall be filled for the unexpired term. Members may be removed, after public hearing, by the mayor, with the approval of the city council, for inefficiency, neglect of duty or malfeasance in office.

#### **1.42.028 Council liaisons.**

The City Council may appoint up to two councilmember liaisons to the Planning Commission. Said liaisons are not considered members of the planning commission, shall not be entitled to vote on any matter before the commission and shall not actively participate in any matter that will come to the City Council for ultimate decision.

#### **1.42.030 Duties.**

The duties of the city planning commission shall be as set forth in RCW 35.63.060, by city ordinance, or as may be assigned or requested from time to time by the city council. Such duties include, but are not limited to:

1. Serving as the long-range planning body for the city of Yakima;
2. Monitor the growth and development of the city and continually reevaluate and recommend to the city council revisions to the comprehensive plan and zoning ordinance for the city;
3. Develop and recommend to the city council a subdivision ordinance for the city and revisions thereto;
4. Investigate and make recommendations on other land use matters as may be requested by the city council or on its own initiative;
5. Study and report on all proposed text changes to land use ordinances;
6. Advise the city council on land use matters;
7. Monitor the hearings of the hearing examiner in order to remain informed on development activities, public concerns and the decisions of the hearing examiner;
8. Work with, provide support, and give guidance to sub-committees associated with the planning commission, as appropriate.
9. Such other planning functions as authorized or required by law or ordinance or as requested or assigned by the city council. (Ord. 2010-22 § 1 (part), 2010: Ord. 2948 § 3 (part), 1986).

#### **1.42.070 Yakima urban area comprehensive plan—Adoption and amendment procedures.**

A. **Plan Adoption.** The Yakima urban area comprehensive plan (“the plan”) shall consist of the most recently adopted and approved Yakima Urban Area Comprehensive Plan, which at the time of this ordinance amendment is the Yakima Urban Area Comprehensive Plan 2025, adopted by Ordinance No. 2006-62 on December 15, 2006, the Terrace Heights Neighborhood Plan adopted on June 4, 1999 and as amended, and the West Valley Neighborhood Plan, as adopted and amended. The plan and its elements and plans including those incorporated by reference are hereby adopted as the official comprehensive land use plan for the city of Yakima, as required by Chapter 36.70A RCW.

B. **Plan Amendments.** Requests for amendments to the Yakima urban area comprehensive plan may be submitted in accord with YMC 16.10.030, and will be docketed for review and acted upon as provided in RCW 36.70A.130 and YMC 16.10. Proposed amendments shall be considered concurrently to ascertain the cumulative effect of the various proposals. Initial adoption of subarea plans and the adoption or amendment of a shoreline master program are not subject to the docketing requirement, and may be considered independently of the annual amendment process. Amendments to the plan may also be considered whenever an emergency exists, or to resolve an appeal of the plan filed with the Eastern Washington Growth Management Hearings Board, following appropriate public participation.

C. **Amendment Review Process.** Proposed amendments to the plan shall be submitted to the city of Yakima department of community and economic development, along with the required application fee, for review by the city planning commission pursuant to YMC 16.10.050. The city planning commission shall hold at least one public hearing to receive public testimony on proposed amendments, and shall forward its recommendation regarding proposed amendments to the city council, as outlined in YMC 16.10. The city council, pursuant to YMC 16.10.090, shall hold at least one public hearing on the city planning commission’s recommendation. The city council may refer any proposed amendment back to the city planning commission for further consideration and recommendation. The city council may amend the plan or reject any proposed amendments subsequent to the city council public hearing.

D. **Existing Land Use Regulatory Ordinances Remain in Effect.** All existing land use regulatory ordinances and land use controls shall remain in effect, including Title 15, Yakima Urban Area Zoning Ordinance; city of Yakima official zoning map; Title 14, Subdivisions; YMC Chapter 6.88, Environmental Policy; and YMC Chapter 15.27, Critical Areas, until such time that these ordinances are amended. Future land use decisions shall be based upon these ordinances, as periodically amended.

E. **Severability.** If any section, sentence, clause or phrase of the adopted Yakima urban area comprehensive plan should be held to be invalid or unconstitutional by any body or court with authority and jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, clause or phrase of the adopted Yakima urban area comprehensive plan.

F. **Revival of Plan upon Invalidation.** In the event that an updated Yakima urban area comprehensive plan, or any portion thereof, is invalidated by the Eastern Washington Growth Management Hearings Board, or any other body or court with authority and jurisdiction, the prior-approved Yakima urban area comprehensive plan, or the relevant portions thereof, shall be revived and shall be in effect until a new comprehensive plan or new relevant portions are

established. (Ord. 2013-021 § 1 (Exh. A), 2013: Ord. 2011-10 § 2, 2011; Ord. 2010-22 § 1 (part), 2010: Ord. 99-33 § 1, 1999; Ord. 97-22 § 2, 1997: Ord. 2579 § 1, 1981: Ord. 972 § 1, 1967: Ord. 779 §§ 1, 2, 1966).

## Chapter 11.62 HISTORIC PRESERVATION ORDINANCE FOR SPECIAL VALUATION

### Sections:

- 11.62.010 Purpose.**
- 11.62.020 Short title.**
- 11.62.025 Applicability.**
- 11.62.030 Definitions.**
- 11.62.040 Yakima historic preservation commission.**
- 11.62.045 Yakima register of historic places.**
- 11.62.050 Review of changes to Yakima register of historic places properties.**
- 11.62.060 Review and monitoring of properties for special property tax valuation.**

### **11.62.010 Purpose.**

The purpose of this chapter is to provide for the identification, evaluation, designation, and protection of designated historic and prehistoric resources within the boundaries of the city of Yakima and preserve and rehabilitate eligible historic properties within the city of Yakima for future generations through special valuation, a property tax incentive, as provided in Chapter 84.26 RCW in order to:

- A. Safeguard the heritage of Yakima as represented by those buildings, districts, objects, sites and structures which reflect significant elements of Yakima history;
- B. Foster civic and neighborhood pride in the beauty and accomplishments of the past, and a sense of identity based on Yakima history;
- C. Stabilize or improve the aesthetic and economic vitality and values of such sites, improvements and objects;
- D. Encourage capital investment in the rehabilitation of real property and assist in strategic economic development through the creation of jobs, construction spending and physical improvement within Yakima;
- E. Promote fundamental growth management principles and the development of sound tools for land use planning, urban design and environmental protections;
- F. Conserve valuable material and energy resources by ongoing use and maintenance of the existing built environment; and
- G. Assist, encourage and provide incentives to private owners for preservation, rehabilitation, restoration, redevelopment, and use of historic buildings, districts, objects, sites and structures. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

### **11.62.020 Short title.**

The following sections shall be known and may be cited as the “historic preservation ordinance of Yakima.” (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

### **11.62.025 Applicability.**

This chapter applies to any property which falls into the following categories:

- A. Property listed or eligible to be listed on the Yakima historic inventory;
- B. Property listed or eligible to be listed on the Yakima register of historic places, National Register of Historic Places, or Washington Heritage Register. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

### **11.62.030 Definitions.**

The following words and terms when used in this chapter shall mean as follows, unless a different meaning clearly appears from the context:

- A. “Actual cost of rehabilitation” means costs incurred within twenty-four months prior to the date of application and directly resulting from one or more of the following:
  - 1. Improvements to an existing building located on or within the perimeters of the original structure; or
  - 2. Improvements outside of but directly attached to the original structure which are necessary to make the building fully usable but shall not include rentable/habitable floor space attributable to new construction; or
  - 3. Architectural and engineering services attributable to the design of the improvements; or
  - 4. All costs defined as qualified rehabilitation expenditures for purposes of the federal historic preservation investment tax credit.
- B. A “building” is a structure constructed by human beings. This includes both residential and nonresidential buildings, main and accessory buildings.
- C. “Certificate of appropriateness” means the document indicating that the commission has reviewed the proposed changes to a local register property or within a local register historic district and certified the changes as not adversely affecting the historic characteristics of the property which contribute to its designation.
- D. “Certified local government” or “CLG” means the designation reflecting that the local government has been jointly certified by the State Historic Preservation Officer and the National Park Service as having established its own historic preservation commission and a program meeting federal and state standards.
- E. “Class of properties eligible to apply for special valuation in Yakima” means only all properties in Yakima listed on the Yakima and National Registers of Historic Places or properties certified as contributing to a Yakima or National Register Historic District which have been substantially rehabilitated at a cost and within a time period which meets the requirements set forth in Chapter 84.26 RCW.

F. “Contributing property” means any property within a historic district which is documented in the Yakima or National Register of Historic Places to contribute architecturally, historically, and/or culturally to the historic character of the district, and properties that date from the historic period of significance for the historic district and retain integrity of materials, place, or setting.

G. “Cost” means the actual cost of rehabilitation, which cost shall be at least twenty-five percent of the assessed valuation of the historic property, exclusive of the assessed value attributable to the land, prior to rehabilitation.

H. A “district” is a geographically definable area—urban or rural, small or large, possessing a significant concentration, linkage, or continuity of sites, buildings, structures, and/or objects united by past events or aesthetically by plan or physical development.

I. “Emergency repair” means work necessary to prevent destruction or dilapidation of real property or structural appurtenances thereto immediately threatened or damaged by fire, flood, earthquake or other disaster.

J. “Historic property” means real property together with improvements thereon, except property listed in a register primarily for objects buried below ground, which is listed in the Yakima register of historic places or on the National Register of Historic Places.

K. “Incentives” are such rights or privileges or combination thereof which the Yakima city council, or other local, state, or federal public body or agency, by virtue of applicable present or future legislation, may be authorized to grant or obtain for the owner(s) of register properties. Examples of economic incentives include but are not limited to tax relief, conditional use permits, rezoning, street vacation, planned unit development, transfer of development rights, facade easements, gifts, preferential leasing policies, beneficial placement of public improvements or amenities, or the like.

L. “Local review board” or “board” used in Chapter 84.26 RCW and Chapter 254-20 WAC for the special valuation of historic properties means the commission created in YMC 11.62.040.

M. “National Register of Historic Places” means the national listing of properties significant to our cultural history because of their documented importance to our history, architectural history, engineering, or cultural heritage.

N. “Noncontributing property” means a property within a historic district which is documented in the Yakima or National Register of Historic Places as not contributing architecturally, historically, and/or culturally to the historic character of a historic district.

O. An “object” is a thing of functional, aesthetic, cultural, historical, or scientific value that may be, by nature or design, movable yet related to a specific setting or environment.

P. “Ordinary repair and maintenance” means work for which a permit issued by the city of Yakima is not required by law, and where the purpose and effect of such work is to correct any deterioration or decay of or damage to the real property or structure appurtenance therein and to restore the same, as nearly as may be practicable, to the condition prior to the occurrence of such deterioration, decay, or damage.

Q. “Owner” of property is the fee simple owner of record as exists on the Yakima County assessor’s records.



R. “Significance” or “significant” used in the context of historic significance means the following: a property with local, state, or national significance is one which helps in the understanding of the history or prehistory of the local area, state, or nation (whichever is applicable) by illuminating the local, statewide, or nationwide impact of the events or persons associated with the property, or its architectural type or style in information potential. The local area can include the city of Yakima, Yakima County, or south central Washington, or a modest geographic or cultural area, such as a neighborhood. Local significance may apply to a property that illustrates a theme that is important to one or more localities, state significance to a theme important to the history of the state, and national significance to property of exceptional value in representing or illustrating an important theme in the history of the nation.

S. A “site” is a place where a significant event or pattern of events occurred. It may be the location of prehistoric or historic occupation or activities that may be marked by physical remains, or it may be the symbolic focus of a significant event or pattern of events that may not have been actively occupied. A site may be the location of ruined or now nonextant building or structure if the location itself possesses historic cultural or archaeological significance.

T. “Special valuation for historic properties” or “special valuation” means the local option program which when implemented makes available to property owners a special tax valuation for rehabilitation of historic properties under which the assessed value of an eligible historic property is determined at a rate that excludes, for up to ten years, the actual cost of the rehabilitation.

U. A “structure” is a work made up of interdependent and interrelated parts in a definite pattern of organization. Generally constructed by human beings, it is often an engineering project.

V. “Waiver of a certificate of appropriateness” or “waiver” means the document indicating that the commission has reviewed the proposed whole or partial demolition of a local register property or a contributing property in a local register historic district and failing to find alternatives to demolition has issued a waiver of a certificate of appropriateness which allows the building or zoning official to issue a permit for demolition.

W. “Washington Heritage Register” means the state listing of properties significant to the community, state, or nation but which may or may not meet the criteria of the National Register.

X. “Washington State Advisory Council’s Standards for the Rehabilitation and Maintenance of Historic Properties” or “State Advisory Council’s Standards” means the rehabilitation and maintenance standards used by the Yakima historic preservation commission as minimum requirements for determining whether or not a historic property is eligible for special valuation and whether or not the property continues to be eligible for special valuation once it has been so classified.

Y. “Yakima historic inventory” or “inventory” means the comprehensive inventory of historic and prehistoric resources within the boundaries of Yakima.

Z. “Yakima historic preservation commission” or “commission” means the commission created by YMC 11.62.040.

AA. “Yakima register of historic places,” “local register,” or “register” means the listing of locally designated properties provided for in YMC 11.62.045. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

#### **11.62.040 Yakima historic preservation commission.**

A. **Creation and Size.** There is hereby established a Yakima historic preservation commission consisting of five members, as provided in subsection B of this section. Members of the Yakima historic preservation commission shall be appointed by the mayor with the approval of the Yakima city council and shall be residents of the city of Yakima.

B. **Composition of the Commission.**

(1) All members of the commission must have a demonstrated interest and competence in historic preservation, history, urban planning, or architecture and possess qualities of impartiality and broad judgment.

(2) The commission shall always include at least one professional who has experience in identifying, evaluating, and protecting historic resources and are selected from among the disciplines of history, architecture, architectural history, landscape architecture, historic preservation, planning, folklore, cultural anthropology, prehistoric and historic archaeology, American studies, curation, traditional building crafts, the practice of historic rehabilitation or restoration, finance and banking, law, and real estate, or related disciplines. The commission action that would otherwise be valid shall not be rendered invalid by the temporary vacancy of one or all of the professional positions, unless the commission action is related to meeting certified local government (CLG) responsibilities cited in the certification agreement between the mayor of Yakima and the State Historic Preservation Officer on behalf of the state. Furthermore, exception to the residency requirement of commission members may be granted by the mayor of Yakima with the approval of the Yakima city council in order to obtain representatives from these disciplines.

(3) In making appointments, the mayor may consider names submitted from any source, but the mayor shall notify Yakima history, heritage, preservation, and development related organizations of vacancies so that names of interested and qualified individuals may be submitted by such organizations for consideration along with names from any other source.

C. **Terms.** The initial appointments to the commission shall be staggered. Two members shall be appointed for one year, three members shall be appointed for two years, and two members shall be appointed for four years. Thereafter, the terms shall be made for four years. There shall be no consecutive term limit for membership on the commission. Vacancies shall be filled by the mayor with the approval of the council for a new or unexpired term in the same manner as the original appointment.

D. **Powers and Duties.** The major responsibility of the historic preservation commission is to identify and actively encourage the conservation of Yakima’s historic resources by initiating and maintaining a register of historic places and reviewing proposed changes to register properties, to raise community awareness of Yakima’s history and historic resources, and to serve as Yakima’s primary resource in matters of history, historic planning, and preservation.

In carrying out these responsibilities, the commission shall engage in the following:

- (1) Conduct and maintain a comprehensive inventory of historic resources within the boundaries of the city of Yakima and known as the Yakima historic inventory, and publicize and periodically update inventory results. Properties listed on the inventory shall be recorded on official zoning records with an "HI" (for historic inventory designation). This designation shall not change or modify the underlying zone classification.
- (2) Initiate and maintain the Yakima register of historic places. This official register shall be compiled of buildings, structures, sites, objects, and districts identified by the commission as having historic significance worthy of recognition and protection by the city of Yakima and encouragement of efforts by owners to maintain, rehabilitate, and preserve properties.
- (3) Review nominations to the Yakima register of historic places according to criteria in YMC 11.62.045 and adopt standards in its rules to be used to guide this review.
- (4) Review proposals to construct, change, alter, modify, remodel, move, demolish, or significantly affect properties or districts on the register as provided in YMC 11.62.050 and adopt standards and design guidelines in its rules to be used to guide this review and the issuance of a certificate of appropriateness or waiver.
- (5) Provide for the review either by the commission or its staff of all applications for approvals, permits, environmental assessments or impact statements, and other similar documents pertaining to identified historic resources.
- (6) Conduct all commission meetings in compliance with Chapter 42.30 RCW, Open Public Meetings Act, to provide for adequate public participation and adopt standards in its rules to guide this action.
- (7) Participate in, promote and conduct public information, educational and interpretive programs pertaining to historic and prehistoric resources.
- (8) Establish liaison support, communication and cooperation with federal, state, and other local government entities which will further historic preservation objectives, including public education, within the city of Yakima.
- (9) Serve as a subcommittee to the Yakima Planning Commission to rReview and comment to the Yakima ~~city council~~Planning Commission on land use, housing and redevelopment, economic development strategies, municipal improvements and other types of planning and programs undertaken by agencies of the city of Yakima, other neighboring communities, Yakima County, the state or federal governments, as they relate to historic resources of the city of Yakima.
- (10) Advise the Yakima Planning Commission, and/or the Yakima city council and the mayor of Yakima generally on matters of Yakima history and historic preservation.
- (11) Perform other related functions assigned to the commission by the Yakima city council.

(12) Provide information to the public on methods of maintaining and rehabilitating historic properties. This may take the form of pamphlets, newsletters, workshops, websites, or similar activities.

(13) Officially recognize excellence in the rehabilitation of historic buildings, structures, sites and districts, and new construction in historic areas and encourage appropriate measures for such recognition.

(14) Be informed about and provide information to the public, the Yakima Planning Commission, and city of Yakima departments on incentives for preservation of historic resources including legislation, regulations and codes which encourage the use and adaptive reuse of historic properties.

(15) Review nominations to the State and National Registers of Historic Places.

(16) Investigate and report to the Yakima Planning Commission and/or the Yakima city council on the use of various federal, state, local or private funding sources available to promote historic resource preservation in the city of Yakima.

(17) Serve as the local review board for special valuation and:

- a. Make determination concerning the eligibility of historic properties for special valuation;
- b. Verify that the improvements are consistent with the Washington State Advisory Council's standards for rehabilitation and maintenance;
- c. Enter into agreements with property owners for the duration of the special valuation period as required under WAC 254-20-070(2);
- d. Approve or deny applications for special valuation;
- e. Monitor the property for continued compliance with the agreement and statutory eligibility requirements during the ten-year special valuation period; and
- f. Adopt bylaws and/or administrative rules and comply with all other board responsibilities identified in Chapter 84.26 RCW.

(18) Provide a yearly report to the Yakima Planning Commission regarding the activities undertaken in the previous twelve (12) months, or report more often if requested by the Yakima Planning Commission or the Yakima City Council.

E. Compensation. All members shall serve without compensation.

F. Rules and Officers. The commission shall establish and adopt its own rules of procedure, and shall select from among its membership a chairperson and such other officers as may be necessary to conduct the commission's business.

G. Commission Staff. Commission and professional staff assistance ~~shall~~may be provided by the department of community development, or other department as designated by the city manager, with additional assistance and information to be provided by other city departments as

may be necessary to aid the commission in carrying out its duties and responsibilities under this chapter. (Ord. 2019-017 § 1, 2019: Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2013-22 § 1, 2013: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

#### **11.62.045 Yakima register of historic places.**

A. Criteria for Determining Designation in the Register. Any building, structure, site, object, or district may be designated for inclusion in the Yakima register of historic places if it is significantly associated with the history, architecture, archaeology, engineering, or cultural heritage of the community; if it has integrity; is at least forty years old, or is of lesser age and has exceptional importance; and if it falls in at least one of the following categories:

- (1) Is associated with events that have made a significant contribution to the broad patterns of national, state, or local history.
- (2) Embodies the distinctive architectural characteristics of a type, period, style, or method of design or construction, or represents a significant and distinguishable entity whose components may lack individual distinction.
- (3) Is an outstanding work of a designer, builder, or architect who has made a substantial contribution to the art.
- (4) Exemplifies or reflects special elements of Yakima's cultural, special, economic, political, aesthetic, engineering, or architectural history.
- (5) Is associated with the lives of persons significant in national, state, or local history.
- (6) Has yielded or may be likely to yield important archaeological information related to history or prehistory.
- (7) Is a building or structure removed from its original location but which is significant primarily for architectural value, or which is the only surviving structure significantly associated with a historic person or event.
- (8) Is a birthplace or grave of a historical figure of outstanding importance and is the only surviving structure or site associated with that person.
- (9) Is a cemetery which derives its primary significance from age, from distinctive design features, or from association with historic events, or cultural patterns.
- (10) Is a creative and unique example of folk or vernacular architecture and design created by persons not formally trained in the architectural or design professions, and which does not fit into formal architectural or historical categories.

B. Process for Designating Properties or Districts to the Yakima Register of Historic Places.

- (1) Any person may nominate a building, structure, site, object, or district for inclusion in the Yakima register of historic places. Members of the historic preservation commission or the commission as a whole may generate nominations. In its designation decision, the commission shall consider the Yakima historic inventory and the Yakima comprehensive plan.

(2) Applications for nominations must bear the signature of the property owner(s) of record of the subject property as indicated by the records of the Yakima County auditor. In the case of districts, applications for nomination of districts or additions to an existing district must bear the signatures of the owners of a majority of the properties within the proposed district or area to be added to an existing district. At least sixty percent of the properties within such proposed district or area to be added to an existing district shall be contributing properties. Applications shall be on forms and include information and documentation supporting the historic significance of the building, structure, site, object, or district.

(3) In the case of individual properties, the designation shall include the legal description and all features—interior and exterior—and outbuildings that contribute to its designation.

(4) In the case of districts, the designation shall include description of the boundaries of the district, the characteristics of the district which justify its designation, a list of all contributing properties including features, structures, sites, and objects which contribute to the designation of the district, and a list of all noncontributing properties.

(5) The commission shall consider the merits of the nomination, according to the criteria in subsection A of this section and according to the nomination review standards established in rules, at an open record public hearing. At least ten days prior to the hearing, written notice by first-class mail of the time, date, place, and subject of the hearing will be given to all owners of record of the subject property as indicated by the records of the Yakima County auditor, the authors of the nomination, if different, and lessees, if any, of the subject property. Public notice of the hearing shall also be provided and shall include, at least ten days prior to the hearing, publication in a newspaper of general circulation in Yakima and posting of the property.

The commission shall, by a majority vote of its members, make a written recommendation to the city council that the nomination of the subject property be approved or rejected for listing on the Yakima register of historic places. The recommendation shall set forth findings of fact which constitute the basis for the recommendation.

(6) Upon receipt of the commission's recommendation, the city council shall approve, reject or refer the recommendation back to the commission for further consideration, as the council deems appropriate. Approval of a recommendation to designate a property for listing on the register shall be done by city council adoption of a resolution designating the building, structure, site, object, or district for listing on the Yakima register of historic places.

(7) Properties listed on the Yakima register of historic places shall be recorded on official zoning records with an "HR" (for historic register) designation. This designation shall not change or modify the underlying zone classification.

#### C. Removal of Properties from the Register.

(1) In the event that any property is no longer deemed appropriate for designation or no longer meets the eligibility requirements for the Yakima register of historic places, the commission may initiate removal from such designation by the same procedure as provided for in establishing the designation in subsection B of this section.

(2) Additionally, and except to the extent that a property is subject to a historic preservation special valuation agreement entered into under the authority of YMC 11.62.060 and applicable state law, the property owner(s) of record (as indicated by the records of the Yakima County auditor) of a property listed on the Yakima register of historic places may make a written request to have said property removed from the register. The written request must be signed by said property owner(s) and notarized. Upon receipt of such a properly notarized written request, the commission shall immediately remove the property from the register.

(3) Additionally, and except to the extent that a property is subject to a historic preservation special valuation agreement entered into under the authority of YMC 11.62.060 and applicable state law, the property owner(s) of record (as indicated by the records of the Yakima County auditor) of a contributing property in an existing historic district may make a written request to have said property changed from contributing to noncontributing status. The written request must be signed by said property owner(s) and notarized. Upon receipt of such a properly notarized written request, the commission shall immediately change the status of the subject property from contributing to noncontributing.

D. Change of Status from Noncontributing to Contributing within a District. The owner(s) of record of a noncontributing property within a district may submit an application to the commission for change of status of the property from noncontributing to contributing. The application shall identify all features of historical significance of the property in accordance with subsection A of this section and shall include the legal description and all features—interior and exterior—and outbuildings that contribute to its proposed designation as a contributing property.

The commission shall consider the merits of the application according to the criteria in subsection A of this section and according to any review standards established in rules at an open meeting. This action shall be deemed a Type II commission review subject to the procedures of YMC 11.62.050(C)(4).

E. Effects of Listing on the Register.

(1) Listing on the Yakima register of historic places is an honorary designation denoting significant association with the historic, archaeological, engineering, or cultural heritage of the community. Properties are listed individually or as contributing properties to a historic district.

(2) Prior to the commencement of any work on a register property, or any contributing property in a district, excluding ordinary repair and maintenance and emergency measures defined in YMC 11.62.030 and the exemptions stated in YMC 11.62.050, the owner must request and receive a certificate of appropriateness from the commission for the proposed work. Violation of this rule shall be grounds for the commission to review the property for removal from the register.

(3) Prior to whole or partial demolition of a register property or contributing property within a district, the owner must request and receive a waiver of a certificate of appropriateness.

(4) Because Yakima is certified as a certified local government (CLG), all qualifying properties listed on the Yakima and National Registers of Historic Places may be eligible



for special tax valuation on their rehabilitation under YMC 11.62.060. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

#### **11.62.050 Review of changes to Yakima register of historic places properties.**

To achieve the comprehensive plan and historic preservation goals and to safeguard the heritage of Yakima, a two-part evaluation system shall be followed:

- (1) The identification of those materials, features and combinations of features that give significance to property(ies) or districts on the Yakima register of historic places.
- (2) Assessing the potential impact or effect of rehabilitation work necessary for efficient contemporary utilization of the property.

The historic character of a property or district is defined by many features: materials, style, method of construction, composition and decorative features; the presence of architectural metals; window number, arrangements and styles (fenestration); entrances and porches, storefronts on commercial buildings, internal arrangement and detailing; and the historic relationship between buildings, landscape features and open space, as well as many other materials and features, can all contribute to a property's character.

After identifying the distinguishing historic characteristics of a property subject to the design review process, retention and preservation of those features and materials are the primary goals of the design review effort.

This is accomplished through the review process individual to each property. Preferred approaches to the treatment of properties, specified by the Secretary of the Interior, are common to each property. These are, in descending order of preference: (1) protecting and maintaining, (2) repairing, (3) replacing in kind, (4) design for missing features, and (5) alterations and additions to historic buildings. The guidelines for the above are listed in the "rules and procedures" adopted herewith.

A. **Review Required.** Except as provided in subsection B of this section, no person shall construct any new building or structure, or reconstruct, alter, restore, remodel, repair, move, demolish or make any material change affecting significant historic features as listed in the designation form(s) to any existing property on the Yakima register of historic places or contributing property within a historic district on the Yakima register without review by the commission and without receipt of a certificate of appropriateness, or in the case of demolition, a waiver of certificate of appropriateness, as a result of the review. The review shall apply to all features of the property, interior and exterior, that contribute to its designation and are listed on the designation. Material, documents and other information required by the commission to review the proposed changes shall be established in its rules and procedures. A preapplication conference is recommended but is at the request of the applicant.

B. **Exemptions.** The following activities do not require a certificate of appropriateness or review by the commission:

- (1) Ordinary repairs and maintenance which do not affect significant historic features, including painting, or emergency measures as defined in YMC 11.62.030.

- (2) Ordinary repairs and maintenance which do not alter the appearance of a significant feature and do not utilize substitute materials.
- (3) If there are not interior features of significance, repairs to or replacement of utility systems and interior modifications to existing structures.
- (4) Any construction, reconstruction, alteration, restoration, remodeling, repairs, or alterations to noncontributing properties within a district as defined by the district inventory adopted by the commission and kept on file at the historic preservation office.
- (5) The installation, alteration, or repair of public and private plumbing, sewer, water and gas piping systems, where no right-of-way restoration is required.
- (6) The installation, alteration, or repair of public and private electrical, telephone, and cable television wiring systems. The installation of solar panels, wind generators and cellular antenna towers is not exempt.
- (7) The landscaping of private residences, unless such landscaping or landscaping elements are listed as features of historical significance of the property in the historic property inventory report maintained by the commission.
- (8) The maintenance of existing parking conditions and configurations, including curb cuts, driveways, alleys, and parking lots.
- (9) Signs not exceeding the limitations for a home occupation permit and those installed by the city for directional and locational purposes.
- (10) The following types of projects within the public rights-of-way: ADA accessibility ramps and installations, in-road work, traffic signaling equipment, utility markers, and equipment required by the United States Postal Service.

#### C. Review Process.

- (1) Requests for Review and Issuance of a Certificate of Appropriateness or Waiver.
  - (a) Procedure When City Permit Required. The director of community development or his/her designee shall initially review any application for a permit to work on a designated Yakima register of historic places property or contributing property in a Yakima register historic district. For any work not exempt from commission review as determined by the city, the director of community development or his/her designee shall report to the commission the application for a permit to work on a designated Yakima register of historic places property or in a Yakima register historic district. The commission or staff shall notify the applicant of the review requirements. The director of community development or his/her designee shall not issue any such permit until a certificate of appropriateness or a waiver is received from the commission but shall work with the commission in considering building and fire code requirements.
  - (b) Procedure When No City Permit Required. In the event the director of community development is informed that work not requiring a city permit is proposed or has been performed on any existing property listed in the Yakima register of historic places or contributing property within a historic district on the Yakima register,

the director of community development or his designee shall notify the commission. Upon receipt of such notification, or upon its own receipt of information that such work is proposed or has been performed, the commission may thereupon review the scope of proposed or performed work, determine whether a certificate of appropriateness or waiver is required, and invoke any procedure or procedures authorized in this chapter or law to require review, modify the work to conform to applicable standards, remove such property from the Yakima register of historic places, and/or initiate procedures to disqualify the property from special property tax valuation pursuant to YMC 11.62.060.

Nothing in this section shall be construed to impose any duty or obligation upon the city to assure compliance with this chapter by owners or occupants of properties designated in any register of historic places or in a registered historic district, nor to create any special relationship with the commission, any third party, property owner, or owner of property within a historic district to assure compliance with this chapter. The duties and obligations of the city in this chapter are duties owed to the public and not to individual members thereof. The city shall be entitled to interpret and enforce its code provisions and this chapter in accordance with applicable law and procedures.

(2) There shall be two types of reviews for issuance of a certificate of appropriateness:

a. Type I. An administrative review by commission staff for repairs and replacements in kind as listed below, but not limited to, the following:

- i. Repairs (other than ordinary repair and maintenance) using the same materials and design as the original;
- ii. Reroofing using the same type of material;
- iii. Replacement of sidewalks and driveways using the same type of materials;
- iv. Replacement of foundations or major portions thereof, using the same type of materials;
- v. Replacement of utility systems if contributing interior features of significance are present;
- vi. Structural or seismic upgrades which do not alter or affect significant features.

b. Type II. A public meeting review by the commission is required for any alteration in the appearance of a significant contributing feature, the replacement of historic material (other than in kind) in a significant feature, and/or additions to a Yakima register property; new construction on a Yakima register property or in a historic district; demolition or removal of a Yakima register property; or any excavation on an archaeological site.

When a certificate of appropriateness is required, the following procedures shall govern according to the type of review required.

(3) Type I Commission Staff Review. A Type I application for review for certificates of appropriateness shall be reviewed by the commission staff.

a. The property owner or his/her agent shall file an application with the commission staff on a form provided by the commission. At a minimum, applications shall be accompanied by the following documents, materials and information: a clear photograph or photographs of the building, object, site or structure; a brief description of the proposed work; scaled drawings depicting the proposed work; and samples of replacement material for comparison with the existing or the original building or structure must be furnished with the application.

b. A Type I commission staff review decision shall be made within thirty days from the date on which the commission staff receives a fully complete application.

c. The commission staff may, on his or her own motion, refer the application to the commission for a decision in accordance with the procedures set forth for a Type II commission review. The time for a decision of the commission on the application shall run from the date that the application is referred to the commission by the staff.

d. A Type I commission staff review decision shall be final and binding unless it is appealed to the commission by the aggrieved person, public agency or other legal entity. The appeal must be in writing on forms provided by the commission, and filed with the commission within fourteen calendar days of the date of the decision. The written appeal must specify all grounds for the appeal, request a hearing before the commission and be accompanied by an appeal fee of one hundred dollars. The commission shall set a date, time and place for the appeal hearing. After the hearing, the commission shall make the final and conclusive written determination regarding the appeal.

(4) Type II Commission Review. A Type II application for review for certificates of appropriateness or waiver thereof shall be reviewed by the commission in accordance with the following process.

a. The property owner or his/her agent shall file an application with the commission on a form provided by the commission. Each application shall be accompanied by such documents, materials and information as required by the commission and which is reasonably necessary for the review of the proposed project.

b. When an applicant is requesting a waiver of the certificate of appropriateness requirement in order to demolish a designated Yakima register of historic places property in whole or in part, the applicant shall also demonstrate in writing with the application that demolition alternatives have been or are being pursued (alternatives include but are not limited to economic analysis; offers to lease, sell or dedicate site to a private, public or nonprofit entity, and outcome of the offer; relocation of building, etc.). The commission shall consider these and other alternatives to demolition as part of its Type II review process. The commission may extend the review process as necessary to allow sufficient time to fully explore and consider alternatives to demolition. The commission may also condition the issuance of a waiver upon the satisfaction of certain mitigation steps and measures (including, but not limited to, photographic documentation of the resource, an identification plaque, use of an

architectural element in new construction, and/or buffering of the historic or cultural resource).

c. The commission shall hold a public meeting to review the proposed work according to the design review criteria established in its rules. Notice of the time, date and place of the design review meeting shall be sent by first-class mail to the property owner(s) of record of the subject property as indicated by the records of the Yakima County auditor, applicant (if different), lessees and any other interested parties. The commission shall issue a written decision which shall set forth findings of fact and conclusions which constitute the basis for the decision. The commission's decision shall be forwarded to the code administration and planning manager or his/her designee.

d. A Type II commission review decision shall be final and binding unless it is appealed to the city of Yakima city council by the aggrieved person, public agency or other legal entity. The appeal must be in writing on forms provided by the commission, and filed with the clerk of the city of Yakima within fourteen calendar days of the date of the decision. The written appeal must specify all grounds for the appeal, request a hearing before the city council and be accompanied by an appeal fee of one hundred dollars. The city council shall set a date, time and place for the appeal hearing. The record on appeal shall be limited to that record developed before the commission at its public meeting to review the application. The city council shall apply the design review criteria established by the commission in considering the appropriateness of the commission decision. After the hearing, the city council shall make the final and conclusive written determination regarding the appeal. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

#### **11.62.060 Review and monitoring of properties for special property tax valuation.**

##### **A. Time Lines.**

- (1) Special property tax valuations applications shall be forwarded to the commission by the assessor within ten calendar days of filing.
- (2) Applications which are received from the Yakima County assessor and deemed complete by the commission staff no later than October 1st of the year in which the application is made shall be reviewed by the commission before December 31st of the calendar year.
- (3) Commission decisions regarding the applications shall be certified in writing and filed with the assessor within ten calendar days of issuance.

##### **B. Procedure.**

- (1) The assessor forwards the applications to the commission.
- (2) The commission staff shall review the application(s), consistent with its rules of procedure, and determines if the application(s) is complete and if the properties meet the criteria set forth in WAC 254-20-070(1) (and as may be amended) and listed in subsection C of this section.

- a. If the application(s) is deemed complete, the commission staff shall send the applicant a letter of complete application which provides the date the special valuation request will be considered, transmit the application to the commission (as soon as practical), and schedule the application for review by the commission.
  - b. If the application(s) is deemed incomplete, the commission staff shall transmit the application and a letter of incomplete application stating what is missing or incomplete from the applicant's application to the commission (as soon as practical), and schedule the letter for review and signature by the commission chair at the commission's earliest public meeting.
  - c. Following the commission consideration, if the commission finds the properties meet all the criteria, then, on behalf of the city of Yakima, it shall enter into a historic preservation special valuation agreement with the owner in a form set forth in WAC 254-20-120 (and as may be amended) and listed in subsection D of this section. Upon execution of the agreement between the owner and commission, the commission shall approve the application.
  - d. If the commission determines the properties do not meet all the criteria, then it shall deny the application.
- (3) The commission shall certify its decision in writing and state the facts upon which the approval or denial is based and file copies of the certification with the Yakima County assessor.
- (4) For approved applications, the commission shall:
- a. Forward a copy of the agreement, application, and supporting documentation as required by WAC 254-20-070(4) (and as may be amended) and identified in subsection (C)(2) of this section to the assessor;
  - b. Notify the state review board that the properties have been approved for special valuation; and
  - c. Monitor the properties for continued compliance with the agreements throughout the ten-year special valuation period, including but not limited to any special valuation agreements that were entered into under the authority of YMC Chapter 11.60 and that are still in effect.
- (5) The commission determines, in a manner consistent with its rules of procedure, whether or not a property is disqualified from special valuation either because of:
- a. The owner's failure to comply with the terms of the agreement; or
  - b. A loss of historic value resulting from physical changes to the building or site.
- (6) In the event that the commission concludes that a property is no longer qualified for special valuation, the commission shall notify the owner, assessor, and state review board in writing and state the facts supporting its findings.

C. Criteria for Special Valuation.

- (1) Historic Property Criteria. The class of historic property eligible to apply for special valuation in the city of Yakima means all properties listed on the Yakima or National Register of Historic Places or certified as contributing to a Yakima or National Register Historic District which have been substantially rehabilitated at a cost and within a time period which meets the requirements set forth in Chapter 84.26 RCW (and as may be amended).
- (2) Application Criteria. Complete applications shall consist of the following documentation:
  - a. A legal description of the historic property;
  - b. Comprehensive exterior and interior photographs of the historic property before and after rehabilitation;
  - c. Architectural plans or other legible drawings depicting the completed rehabilitation work;
  - d. A notarized affidavit attesting to the actual cost of the rehabilitation work completed prior to the date of application and the period of time during which the work was performed and documentation of both to be made available to the commission upon request; and
  - e. For properties located within historic districts, in addition to the standard application documentation, a statement from the Secretary of the Interior or community development manager or his/her designee indicating the property is a certified historic structure.
- (3) Property Review Criteria. In its review the commission shall determine if the properties meet all the following criteria:
  - a. The property is historic property;
  - b. The property is included within a class of historic property determined eligible for special valuation by the city of Yakima under subsection (C)(1) of this section;
  - c. The property has been rehabilitated at a cost which meets the definition set forth in RCW 84.26.020(2) (and as may be amended), and identified in subsection C of this section within twenty-four months prior to the date of application; and
  - d. The property has not been altered in any way which adversely affects those elements which qualify it as historically significant as determined by applying the Washington State Advisory Council's standards for the rehabilitation and maintenance of historic properties (WAC 254-20-100(1)).
- (4) Rehabilitation and Maintenance Criteria. The Washington State Advisory Council's standards for the rehabilitation and maintenance of historic properties in WAC 254-20-100 (and as may be amended) shall be used by the commission as minimum requirements for determining whether or not a historic property is eligible for special



valuation and whether or not the property continues to be eligible for special valuation once it has been so classified.

D. Agreement. The historic preservation special valuation agreement in WAC 254-20-120 (and as may be amended) shall be used by the commission as the minimum agreement necessary to comply with the requirements of RCW 84.26.050(2).

E. Appeals. Any decision of the commission acting on any application for classification as historic property eligible for special valuation, or any other dispute, may be appealed to the city council in accordance with the procedures of YMC 11.62.050(C)(4)(d), and thereafter to the superior court under RCW 34.05.570 in addition to any other remedy of law. Any decision of the commission on the disqualification of historic property eligible for special valuation may be appealed to the city council in accordance with the procedures of YMC 11.62.050(C)(4)(d), and thereafter to the county board of equalization. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

## Chapter 11.62 HISTORIC PRESERVATION ORDINANCE FOR SPECIAL VALUATION

### Sections:

- 11.62.010 Purpose.**
- 11.62.020 Short title.**
- 11.62.025 Applicability.**
- 11.62.030 Definitions.**
- 11.62.040 Yakima historic preservation commission.**
- 11.62.045 Yakima register of historic places.**
- 11.62.050 Review of changes to Yakima register of historic places properties.**
- 11.62.060 Review and monitoring of properties for special property tax valuation.**

### **11.62.010 Purpose.**

The purpose of this chapter is to provide for the identification, evaluation, designation, and protection of designated historic and prehistoric resources within the boundaries of the city of Yakima and preserve and rehabilitate eligible historic properties within the city of Yakima for future generations through special valuation, a property tax incentive, as provided in Chapter 84.26 RCW in order to:

- A. Safeguard the heritage of Yakima as represented by those buildings, districts, objects, sites and structures which reflect significant elements of Yakima history;
- B. Foster civic and neighborhood pride in the beauty and accomplishments of the past, and a sense of identity based on Yakima history;
- C. Stabilize or improve the aesthetic and economic vitality and values of such sites, improvements and objects;
- D. Encourage capital investment in the rehabilitation of real property and assist in strategic economic development through the creation of jobs, construction spending and physical improvement within Yakima;
- E. Promote fundamental growth management principles and the development of sound tools for land use planning, urban design and environmental protections;
- F. Conserve valuable material and energy resources by ongoing use and maintenance of the existing built environment; and
- G. Assist, encourage and provide incentives to private owners for preservation, rehabilitation, restoration, redevelopment, and use of historic buildings, districts, objects, sites and structures. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

### **11.62.020 Short title.**

The following sections shall be known and may be cited as the “historic preservation ordinance of Yakima.” (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

### **11.62.025 Applicability.**

This chapter applies to any property which falls into the following categories:

- A. Property listed or eligible to be listed on the Yakima historic inventory;
- B. Property listed or eligible to be listed on the Yakima register of historic places, National Register of Historic Places, or Washington Heritage Register. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

### **11.62.030 Definitions.**

The following words and terms when used in this chapter shall mean as follows, unless a different meaning clearly appears from the context:

- A. "Actual cost of rehabilitation" means costs incurred within twenty-four months prior to the date of application and directly resulting from one or more of the following:
  - 1. Improvements to an existing building located on or within the perimeters of the original structure; or
  - 2. Improvements outside of but directly attached to the original structure which are necessary to make the building fully usable but shall not include rentable/habitable floor space attributable to new construction; or
  - 3. Architectural and engineering services attributable to the design of the improvements; or
  - 4. All costs defined as qualified rehabilitation expenditures for purposes of the federal historic preservation investment tax credit.
- B. A "building" is a structure constructed by human beings. This includes both residential and nonresidential buildings, main and accessory buildings.
- C. "Certificate of appropriateness" means the document indicating that the commission has reviewed the proposed changes to a local register property or within a local register historic district and certified the changes as not adversely affecting the historic characteristics of the property which contribute to its designation.
- D. "Certified local government" or "CLG" means the designation reflecting that the local government has been jointly certified by the State Historic Preservation Officer and the National Park Service as having established its own historic preservation commission and a program meeting federal and state standards.
- E. "Class of properties eligible to apply for special valuation in Yakima" means only all properties in Yakima listed on the Yakima and National Registers of Historic Places or properties certified as contributing to a Yakima or National Register Historic District which have been substantially rehabilitated at a cost and within a time period which meets the requirements set forth in Chapter 84.26 RCW.

F. “Contributing property” means any property within a historic district which is documented in the Yakima or National Register of Historic Places to contribute architecturally, historically, and/or culturally to the historic character of the district, and properties that date from the historic period of significance for the historic district and retain integrity of materials, place, or setting.

G. “Cost” means the actual cost of rehabilitation, which cost shall be at least twenty-five percent of the assessed valuation of the historic property, exclusive of the assessed value attributable to the land, prior to rehabilitation.

H. A “district” is a geographically definable area—urban or rural, small or large, possessing a significant concentration, linkage, or continuity of sites, buildings, structures, and/or objects united by past events or aesthetically by plan or physical development.

I. “Emergency repair” means work necessary to prevent destruction or dilapidation of real property or structural appurtenances thereto immediately threatened or damaged by fire, flood, earthquake or other disaster.

J. “Historic property” means real property together with improvements thereon, except property listed in a register primarily for objects buried below ground, which is listed in the Yakima register of historic places or on the National Register of Historic Places.

K. “Incentives” are such rights or privileges or combination thereof which the Yakima city council, or other local, state, or federal public body or agency, by virtue of applicable present or future legislation, may be authorized to grant or obtain for the owner(s) of register properties. Examples of economic incentives include but are not limited to tax relief, conditional use permits, rezoning, street vacation, planned unit development, transfer of development rights, facade easements, gifts, preferential leasing policies, beneficial placement of public improvements or amenities, or the like.

L. “Local review board” or “board” used in Chapter 84.26 RCW and Chapter 254-20 WAC for the special valuation of historic properties means the commission created in YMC 11.62.040.

M. “National Register of Historic Places” means the national listing of properties significant to our cultural history because of their documented importance to our history, architectural history, engineering, or cultural heritage.

N. “Noncontributing property” means a property within a historic district which is documented in the Yakima or National Register of Historic Places as not contributing architecturally, historically, and/or culturally to the historic character of a historic district.

O. An “object” is a thing of functional, aesthetic, cultural, historical, or scientific value that may be, by nature or design, movable yet related to a specific setting or environment.

P. “Ordinary repair and maintenance” means work for which a permit issued by the city of Yakima is not required by law, and where the purpose and effect of such work is to correct any deterioration or decay of or damage to the real property or structure appurtenance therein and to restore the same, as nearly as may be practicable, to the condition prior to the occurrence of such deterioration, decay, or damage.

Q. “Owner” of property is the fee simple owner of record as exists on the Yakima County assessor’s records.

R. “Significance” or “significant” used in the context of historic significance means the following: a property with local, state, or national significance is one which helps in the understanding of the history or prehistory of the local area, state, or nation (whichever is applicable) by illuminating the local, statewide, or nationwide impact of the events or persons associated with the property, or its architectural type or style in information potential. The local area can include the city of Yakima, Yakima County, or south central Washington, or a modest geographic or cultural area, such as a neighborhood. Local significance may apply to a property that illustrates a theme that is important to one or more localities, state significance to a theme important to the history of the state, and national significance to property of exceptional value in representing or illustrating an important theme in the history of the nation.

S. A “site” is a place where a significant event or pattern of events occurred. It may be the location of prehistoric or historic occupation or activities that may be marked by physical remains, or it may be the symbolic focus of a significant event or pattern of events that may not have been actively occupied. A site may be the location of ruined or now nonextant building or structure if the location itself possesses historic cultural or archaeological significance.

T. “Special valuation for historic properties” or “special valuation” means the local option program which when implemented makes available to property owners a special tax valuation for rehabilitation of historic properties under which the assessed value of an eligible historic property is determined at a rate that excludes, for up to ten years, the actual cost of the rehabilitation.

U. A “structure” is a work made up of interdependent and interrelated parts in a definite pattern of organization. Generally constructed by human beings, it is often an engineering project.

V. “Waiver of a certificate of appropriateness” or “waiver” means the document indicating that the commission has reviewed the proposed whole or partial demolition of a local register property or a contributing property in a local register historic district and failing to find alternatives to demolition has issued a waiver of a certificate of appropriateness which allows the building or zoning official to issue a permit for demolition.

W. “Washington Heritage Register” means the state listing of properties significant to the community, state, or nation but which may or may not meet the criteria of the National Register.

X. “Washington State Advisory Council’s Standards for the Rehabilitation and Maintenance of Historic Properties” or “State Advisory Council’s Standards” means the rehabilitation and maintenance standards used by the Yakima historic preservation commission as minimum requirements for determining whether or not a historic property is eligible for special valuation and whether or not the property continues to be eligible for special valuation once it has been so classified.

Y. “Yakima historic inventory” or “inventory” means the comprehensive inventory of historic and prehistoric resources within the boundaries of Yakima.

Z. “Yakima historic preservation commission” or “commission” means the commission created by YMC 11.62.040.

AA. "Yakima register of historic places," "local register," or "register" means the listing of locally designated properties provided for in YMC 11.62.045. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

#### **11.62.040 Yakima historic preservation commission.**

A. **Creation and Size.** There is hereby established a Yakima historic preservation commission consisting of five members, as provided in subsection B of this section. Members of the Yakima historic preservation commission shall be appointed by the mayor with the approval of the Yakima city council and shall be residents of the city of Yakima.

#### **B. Composition of the Commission.**

(1) All members of the commission must have a demonstrated interest and competence in historic preservation, history, urban planning, or architecture and possess qualities of impartiality and broad judgment.

(2) The commission shall always include at least one professional who has experience in identifying, evaluating, and protecting historic resources and are selected from among the disciplines of history, architecture, architectural history, landscape architecture, historic preservation, planning, folklore, cultural anthropology, prehistoric and historic archaeology, American studies, curation, traditional building crafts, the practice of historic rehabilitation or restoration, finance and banking, law, and real estate, or related disciplines. The commission action that would otherwise be valid shall not be rendered invalid by the temporary vacancy of one or all of the professional positions, unless the commission action is related to meeting certified local government (CLG) responsibilities cited in the certification agreement between the mayor of Yakima and the State Historic Preservation Officer on behalf of the state. Furthermore, exception to the residency requirement of commission members may be granted by the mayor of Yakima with the approval of the Yakima city council in order to obtain representatives from these disciplines.

(3) In making appointments, the mayor may consider names submitted from any source, but the mayor shall notify Yakima history, heritage, preservation, and development related organizations of vacancies so that names of interested and qualified individuals may be submitted by such organizations for consideration along with names from any other source.

C. **Terms.** The initial appointments to the commission shall be staggered. Two members shall be appointed for one year, three members shall be appointed for two years, and two members shall be appointed for four years. Thereafter, the terms shall be made for four years. There shall be no consecutive term limit for membership on the commission. Vacancies shall be filled by the mayor with the approval of the council for a new or unexpired term in the same manner as the original appointment.

D. **Powers and Duties.** The major responsibility of the historic preservation commission is to identify and actively encourage the conservation of Yakima's historic resources by initiating and maintaining a register of historic places and reviewing proposed changes to register properties, to raise community awareness of Yakima's history and historic resources, and to serve as Yakima's primary resource in matters of history, historic planning, and preservation.

In carrying out these responsibilities, the commission shall engage in the following:

- (1) Conduct and maintain a comprehensive inventory of historic resources within the boundaries of the city of Yakima and known as the Yakima historic inventory, and publicize and periodically update inventory results. Properties listed on the inventory shall be recorded on official zoning records with an "HI" (for historic inventory designation). This designation shall not change or modify the underlying zone classification.
- (2) Initiate and maintain the Yakima register of historic places. This official register shall be compiled of buildings, structures, sites, objects, and districts identified by the commission as having historic significance worthy of recognition and protection by the city of Yakima and encouragement of efforts by owners to maintain, rehabilitate, and preserve properties.
- (3) Review nominations to the Yakima register of historic places according to criteria in YMC 11.62.045 and adopt standards in its rules to be used to guide this review.
- (4) Review proposals to construct, change, alter, modify, remodel, move, demolish, or significantly affect properties or districts on the register as provided in YMC 11.62.050 and adopt standards and design guidelines in its rules to be used to guide this review and the issuance of a certificate of appropriateness or waiver.
- (5) Provide for the review either by the commission or its staff of all applications for approvals, permits, environmental assessments or impact statements, and other similar documents pertaining to identified historic resources.
- (6) Conduct all commission meetings in compliance with Chapter 42.30 RCW, Open Public Meetings Act, to provide for adequate public participation and adopt standards in its rules to guide this action.
- (7) Participate in, promote and conduct public information, educational and interpretive programs pertaining to historic and prehistoric resources.
- (8) Establish liaison support, communication and cooperation with federal, state, and other local government entities which will further historic preservation objectives, including public education, within the city of Yakima.
- (9) Serve as a subcommittee to the Yakima Planning Commission to review and comment to the Yakima Planning Commission on land use, housing and redevelopment, economic development strategies, municipal improvements and other types of planning and programs undertaken by agencies of the city of Yakima, other neighboring communities, Yakima County, the state or federal governments, as they relate to historic resources of the city of Yakima.
- (10) Advise the Yakima Planning Commission, and/or the Yakima city council and the mayor of Yakima generally on matters of Yakima history and historic preservation.
- (11) Perform other related functions assigned to the commission by the Yakima city council.



- (12) Provide information to the public on methods of maintaining and rehabilitating historic properties. This may take the form of pamphlets, newsletters, workshops, websites, or similar activities.
- (13) Officially recognize excellence in the rehabilitation of historic buildings, structures, sites and districts, and new construction in historic areas and encourage appropriate measures for such recognition.
- (14) Be informed about and provide information to the public, the Yakima Planning Commission, and city of Yakima departments on incentives for preservation of historic resources including legislation, regulations and codes which encourage the use and adaptive reuse of historic properties.
- (15) Review nominations to the State and National Registers of Historic Places.
- (16) Investigate and report to the Yakima Planning Commission and/or the Yakima city council on the use of various federal, state, local or private funding sources available to promote historic resource preservation in the city of Yakima.
- (17) Serve as the local review board for special valuation and:
  - a. Make determination concerning the eligibility of historic properties for special valuation;
  - b. Verify that the improvements are consistent with the Washington State Advisory Council's standards for rehabilitation and maintenance;
  - c. Enter into agreements with property owners for the duration of the special valuation period as required under WAC 254-20-070(2);
  - d. Approve or deny applications for special valuation;
  - e. Monitor the property for continued compliance with the agreement and statutory eligibility requirements during the ten-year special valuation period; and
  - f. Adopt bylaws and/or administrative rules and comply with all other board responsibilities identified in Chapter 84.26 RCW.
- (18) Provide a yearly report to the Yakima Planning Commission regarding the activities undertaken in the previous twelve (12) months, or report more often if requested by the Yakima Planning Commission or the Yakima City Council.

E. Compensation. All members shall serve without compensation.

F. Rules and Officers. The commission shall establish and adopt its own rules of procedure, and shall select from among its membership a chairperson and such other officers as may be necessary to conduct the commission's business.

G. Commission Staff. Commission and professional staff assistance may be provided by the department of community development, or other department as designated by the city manager, with additional assistance and information to be provided by other city departments as may be

necessary to aid the commission in carrying out its duties and responsibilities under this chapter. (Ord. 2019-017 § 1, 2019: Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2013-22 § 1, 2013: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

#### **11.62.045 Yakima register of historic places.**

A. Criteria for Determining Designation in the Register. Any building, structure, site, object, or district may be designated for inclusion in the Yakima register of historic places if it is significantly associated with the history, architecture, archaeology, engineering, or cultural heritage of the community; if it has integrity; is at least forty years old, or is of lesser age and has exceptional importance; and if it falls in at least one of the following categories:

- (1) Is associated with events that have made a significant contribution to the broad patterns of national, state, or local history.
- (2) Embodies the distinctive architectural characteristics of a type, period, style, or method of design or construction, or represents a significant and distinguishable entity whose components may lack individual distinction.
- (3) Is an outstanding work of a designer, builder, or architect who has made a substantial contribution to the art.
- (4) Exemplifies or reflects special elements of Yakima's cultural, special, economic, political, aesthetic, engineering, or architectural history.
- (5) Is associated with the lives of persons significant in national, state, or local history.
- (6) Has yielded or may be likely to yield important archaeological information related to history or prehistory.
- (7) Is a building or structure removed from its original location but which is significant primarily for architectural value, or which is the only surviving structure significantly associated with a historic person or event.
- (8) Is a birthplace or grave of a historical figure of outstanding importance and is the only surviving structure or site associated with that person.
- (9) Is a cemetery which derives its primary significance from age, from distinctive design features, or from association with historic events, or cultural patterns.
- (10) Is a creative and unique example of folk or vernacular architecture and design created by persons not formally trained in the architectural or design professions, and which does not fit into formal architectural or historical categories.

#### **B. Process for Designating Properties or Districts to the Yakima Register of Historic Places.**

- (1) Any person may nominate a building, structure, site, object, or district for inclusion in the Yakima register of historic places. Members of the historic preservation commission or the commission as a whole may generate nominations. In its designation decision, the commission shall consider the Yakima historic inventory and the Yakima comprehensive plan.

(2) Applications for nominations must bear the signature of the property owner(s) of record of the subject property as indicated by the records of the Yakima County auditor. In the case of districts, applications for nomination of districts or additions to an existing district must bear the signatures of the owners of a majority of the properties within the proposed district or area to be added to an existing district. At least sixty percent of the properties within such proposed district or area to be added to an existing district shall be contributing properties. Applications shall be on forms and include information and documentation supporting the historic significance of the building, structure, site, object, or district.

(3) In the case of individual properties, the designation shall include the legal description and all features—interior and exterior—and outbuildings that contribute to its designation.

(4) In the case of districts, the designation shall include description of the boundaries of the district, the characteristics of the district which justify its designation, a list of all contributing properties including features, structures, sites, and objects which contribute to the designation of the district, and a list of all noncontributing properties.

(5) The commission shall consider the merits of the nomination, according to the criteria in subsection A of this section and according to the nomination review standards established in rules, at an open record public hearing. At least ten days prior to the hearing, written notice by first-class mail of the time, date, place, and subject of the hearing will be given to all owners of record of the subject property as indicated by the records of the Yakima County auditor, the authors of the nomination, if different, and lessees, if any, of the subject property. Public notice of the hearing shall also be provided and shall include, at least ten days prior to the hearing, publication in a newspaper of general circulation in Yakima and posting of the property.

The commission shall, by a majority vote of its members, make a written recommendation to the city council that the nomination of the subject property be approved or rejected for listing on the Yakima register of historic places. The recommendation shall set forth findings of fact which constitute the basis for the recommendation.

(6) Upon receipt of the commission's recommendation, the city council shall approve, reject or refer the recommendation back to the commission for further consideration, as the council deems appropriate. Approval of a recommendation to designate a property for listing on the register shall be done by city council adoption of a resolution designating the building, structure, site, object, or district for listing on the Yakima register of historic places.

(7) Properties listed on the Yakima register of historic places shall be recorded on official zoning records with an "HR" (for historic register) designation. This designation shall not change or modify the underlying zone classification.

#### C. Removal of Properties from the Register.

(1) In the event that any property is no longer deemed appropriate for designation or no longer meets the eligibility requirements for the Yakima register of historic places, the commission may initiate removal from such designation by the same procedure as provided for in establishing the designation in subsection B of this section.

(2) Additionally, and except to the extent that a property is subject to a historic preservation special valuation agreement entered into under the authority of YMC 11.62.060 and applicable state law, the property owner(s) of record (as indicated by the records of the Yakima County auditor) of a property listed on the Yakima register of historic places may make a written request to have said property removed from the register. The written request must be signed by said property owner(s) and notarized. Upon receipt of such a properly notarized written request, the commission shall immediately remove the property from the register.

(3) Additionally, and except to the extent that a property is subject to a historic preservation special valuation agreement entered into under the authority of YMC 11.62.060 and applicable state law, the property owner(s) of record (as indicated by the records of the Yakima County auditor) of a contributing property in an existing historic district may make a written request to have said property changed from contributing to noncontributing status. The written request must be signed by said property owner(s) and notarized. Upon receipt of such a properly notarized written request, the commission shall immediately change the status of the subject property from contributing to noncontributing.

D. Change of Status from Noncontributing to Contributing within a District. The owner(s) of record of a noncontributing property within a district may submit an application to the commission for change of status of the property from noncontributing to contributing. The application shall identify all features of historical significance of the property in accordance with subsection A of this section and shall include the legal description and all features—interior and exterior—and outbuildings that contribute to its proposed designation as a contributing property.

The commission shall consider the merits of the application according to the criteria in subsection A of this section and according to any review standards established in rules at an open meeting. This action shall be deemed a Type II commission review subject to the procedures of YMC 11.62.050(C)(4).

E. Effects of Listing on the Register.

(1) Listing on the Yakima register of historic places is an honorary designation denoting significant association with the historic, archaeological, engineering, or cultural heritage of the community. Properties are listed individually or as contributing properties to a historic district.

(2) Prior to the commencement of any work on a register property, or any contributing property in a district, excluding ordinary repair and maintenance and emergency measures defined in YMC 11.62.030 and the exemptions stated in YMC 11.62.050, the owner must request and receive a certificate of appropriateness from the commission for the proposed work. Violation of this rule shall be grounds for the commission to review the property for removal from the register.

(3) Prior to whole or partial demolition of a register property or contributing property within a district, the owner must request and receive a waiver of a certificate of appropriateness.

(4) Because Yakima is certified as a certified local government (CLG), all qualifying properties listed on the Yakima and National Registers of Historic Places may be eligible

for special tax valuation on their rehabilitation under YMC 11.62.060. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

#### **11.62.050 Review of changes to Yakima register of historic places properties.**

To achieve the comprehensive plan and historic preservation goals and to safeguard the heritage of Yakima, a two-part evaluation system shall be followed:

- (1) The identification of those materials, features and combinations of features that give significance to property(ies) or districts on the Yakima register of historic places.
- (2) Assessing the potential impact or effect of rehabilitation work necessary for efficient contemporary utilization of the property.

The historic character of a property or district is defined by many features: materials, style, method of construction, composition and decorative features; the presence of architectural metals; window number, arrangements and styles (fenestration); entrances and porches, storefronts on commercial buildings, internal arrangement and detailing; and the historic relationship between buildings, landscape features and open space, as well as many other materials and features, can all contribute to a property's character.

After identifying the distinguishing historic characteristics of a property subject to the design review process, retention and preservation of those features and materials are the primary goals of the design review effort.

This is accomplished through the review process individual to each property. Preferred approaches to the treatment of properties, specified by the Secretary of the Interior, are common to each property. These are, in descending order of preference: (1) protecting and maintaining, (2) repairing, (3) replacing in kind, (4) design for missing features, and (5) alterations and additions to historic buildings. The guidelines for the above are listed in the "rules and procedures" adopted herewith.

A. Review Required. Except as provided in subsection B of this section, no person shall construct any new building or structure, or reconstruct, alter, restore, remodel, repair, move, demolish or make any material change affecting significant historic features as listed in the designation form(s) to any existing property on the Yakima register of historic places or contributing property within a historic district on the Yakima register without review by the commission and without receipt of a certificate of appropriateness, or in the case of demolition, a waiver of certificate of appropriateness, as a result of the review. The review shall apply to all features of the property, interior and exterior, that contribute to its designation and are listed on the designation. Material, documents and other information required by the commission to review the proposed changes shall be established in its rules and procedures. A preapplication conference is recommended but is at the request of the applicant.

B. Exemptions. The following activities do not require a certificate of appropriateness or review by the commission:

- (1) Ordinary repairs and maintenance which do not affect significant historic features, including painting, or emergency measures as defined in YMC 11.62.030.

- (2) Ordinary repairs and maintenance which do not alter the appearance of a significant feature and do not utilize substitute materials.
- (3) If there are not interior features of significance, repairs to or replacement of utility systems and interior modifications to existing structures.
- (4) Any construction, reconstruction, alteration, restoration, remodeling, repairs, or alterations to noncontributing properties within a district as defined by the district inventory adopted by the commission and kept on file at the historic preservation office.
- (5) The installation, alteration, or repair of public and private plumbing, sewer, water and gas piping systems, where no right-of-way restoration is required.
- (6) The installation, alteration, or repair of public and private electrical, telephone, and cable television wiring systems. The installation of solar panels, wind generators and cellular antenna towers is not exempt.
- (7) The landscaping of private residences, unless such landscaping or landscaping elements are listed as features of historical significance of the property in the historic property inventory report maintained by the commission.
- (8) The maintenance of existing parking conditions and configurations, including curb cuts, driveways, alleys, and parking lots.
- (9) Signs not exceeding the limitations for a home occupation permit and those installed by the city for directional and locational purposes.
- (10) The following types of projects within the public rights-of-way: ADA accessibility ramps and installations, in-road work, traffic signaling equipment, utility markers, and equipment required by the United States Postal Service.

#### C. Review Process.

- (1) Requests for Review and Issuance of a Certificate of Appropriateness or Waiver.
  - (a) Procedure When City Permit Required. The director of community development or his/her designee shall initially review any application for a permit to work on a designated Yakima register of historic places property or contributing property in a Yakima register historic district. For any work not exempt from commission review as determined by the city, the director of community development or his/her designee shall report to the commission the application for a permit to work on a designated Yakima register of historic places property or in a Yakima register historic district. The commission or staff shall notify the applicant of the review requirements. The director of community development or his/her designee shall not issue any such permit until a certificate of appropriateness or a waiver is received from the commission but shall work with the commission in considering building and fire code requirements.
  - (b) Procedure When No City Permit Required. In the event the director of community development is informed that work not requiring a city permit is proposed or has been performed on any existing property listed in the Yakima register of historic places or contributing property within a historic district on the Yakima register,

the director of community development or his designee shall notify the commission. Upon receipt of such notification, or upon its own receipt of information that such work is proposed or has been performed, the commission may thereupon review the scope of proposed or performed work, determine whether a certificate of appropriateness or waiver is required, and invoke any procedure or procedures authorized in this chapter or law to require review, modify the work to conform to applicable standards, remove such property from the Yakima register of historic places, and/or initiate procedures to disqualify the property from special property tax valuation pursuant to YMC 11.62.060.

Nothing in this section shall be construed to impose any duty or obligation upon the city to assure compliance with this chapter by owners or occupants of properties designated in any register of historic places or in a registered historic district, nor to create any special relationship with the commission, any third party, property owner, or owner of property within a historic district to assure compliance with this chapter. The duties and obligations of the city in this chapter are duties owed to the public and not to individual members thereof. The city shall be entitled to interpret and enforce its code provisions and this chapter in accordance with applicable law and procedures.

(2) There shall be two types of reviews for issuance of a certificate of appropriateness:

a. Type I. An administrative review by commission staff for repairs and replacements in kind as listed below, but not limited to, the following:

- i. Repairs (other than ordinary repair and maintenance) using the same materials and design as the original;
- ii. Reroofing using the same type of material;
- iii. Replacement of sidewalks and driveways using the same type of materials;
- iv. Replacement of foundations or major portions thereof, using the same type of materials;
- v. Replacement of utility systems if contributing interior features of significance are present;
- vi. Structural or seismic upgrades which do not alter or affect significant features.

b. Type II. A public meeting review by the commission is required for any alteration in the appearance of a significant contributing feature, the replacement of historic material (other than in kind) in a significant feature, and/or additions to a Yakima register property; new construction on a Yakima register property or in a historic district; demolition or removal of a Yakima register property; or any excavation on an archaeological site.

When a certificate of appropriateness is required, the following procedures shall govern according to the type of review required.



(3) Type I Commission Staff Review. A Type I application for review for certificates of appropriateness shall be reviewed by the commission staff.

a. The property owner or his/her agent shall file an application with the commission staff on a form provided by the commission. At a minimum, applications shall be accompanied by the following documents, materials and information: a clear photograph or photographs of the building, object, site or structure; a brief description of the proposed work; scaled drawings depicting the proposed work; and samples of replacement material for comparison with the existing or the original building or structure must be furnished with the application.

b. A Type I commission staff review decision shall be made within thirty days from the date on which the commission staff receives a fully complete application.

c. The commission staff may, on his or her own motion, refer the application to the commission for a decision in accordance with the procedures set forth for a Type II commission review. The time for a decision of the commission on the application shall run from the date that the application is referred to the commission by the staff.

d. A Type I commission staff review decision shall be final and binding unless it is appealed to the commission by the aggrieved person, public agency or other legal entity. The appeal must be in writing on forms provided by the commission, and filed with the commission within fourteen calendar days of the date of the decision. The written appeal must specify all grounds for the appeal, request a hearing before the commission and be accompanied by an appeal fee of one hundred dollars. The commission shall set a date, time and place for the appeal hearing. After the hearing, the commission shall make the final and conclusive written determination regarding the appeal.

(4) Type II Commission Review. A Type II application for review for certificates of appropriateness or waiver thereof shall be reviewed by the commission in accordance with the following process.

a. The property owner or his/her agent shall file an application with the commission on a form provided by the commission. Each application shall be accompanied by such documents, materials and information as required by the commission and which is reasonably necessary for the review of the proposed project.

b. When an applicant is requesting a waiver of the certificate of appropriateness requirement in order to demolish a designated Yakima register of historic places property in whole or in part, the applicant shall also demonstrate in writing with the application that demolition alternatives have been or are being pursued (alternatives include but are not limited to economic analysis; offers to lease, sell or dedicate site to a private, public or nonprofit entity, and outcome of the offer; relocation of building, etc.). The commission shall consider these and other alternatives to demolition as part of its Type II review process. The commission may extend the review process as necessary to allow sufficient time to fully explore and consider alternatives to demolition. The commission may also condition the issuance of a waiver upon the satisfaction of certain mitigation steps and measures (including, but not limited to, photographic documentation of the resource, an identification plaque, use of an

architectural element in new construction, and/or buffering of the historic or cultural resource).

c. The commission shall hold a public meeting to review the proposed work according to the design review criteria established in its rules. Notice of the time, date and place of the design review meeting shall be sent by first-class mail to the property owner(s) of record of the subject property as indicated by the records of the Yakima County auditor, applicant (if different), lessees and any other interested parties. The commission shall issue a written decision which shall set forth findings of fact and conclusions which constitute the basis for the decision. The commission's decision shall be forwarded to the code administration and planning manager or his/her designee.

d. A Type II commission review decision shall be final and binding unless it is appealed to the city of Yakima city council by the aggrieved person, public agency or other legal entity. The appeal must be in writing on forms provided by the commission, and filed with the clerk of the city of Yakima within fourteen calendar days of the date of the decision. The written appeal must specify all grounds for the appeal, request a hearing before the city council and be accompanied by an appeal fee of one hundred dollars. The city council shall set a date, time and place for the appeal hearing. The record on appeal shall be limited to that record developed before the commission at its public meeting to review the application. The city council shall apply the design review criteria established by the commission in considering the appropriateness of the commission decision. After the hearing, the city council shall make the final and conclusive written determination regarding the appeal. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

#### **11.62.060 Review and monitoring of properties for special property tax valuation.**

##### **A. Time Lines.**

- (1) Special property tax valuations applications shall be forwarded to the commission by the assessor within ten calendar days of filing.
- (2) Applications which are received from the Yakima County assessor and deemed complete by the commission staff no later than October 1st of the year in which the application is made shall be reviewed by the commission before December 31st of the calendar year.
- (3) Commission decisions regarding the applications shall be certified in writing and filed with the assessor within ten calendar days of issuance.

##### **B. Procedure.**

- (1) The assessor forwards the applications to the commission.
- (2) The commission staff shall review the application(s), consistent with its rules of procedure, and determines if the application(s) is complete and if the properties meet the criteria set forth in WAC 254-20-070(1) (and as may be amended) and listed in subsection C of this section.

- a. If the application(s) is deemed complete, the commission staff shall send the applicant a letter of complete application which provides the date the special valuation request will be considered, transmit the application to the commission (as soon as practical), and schedule the application for review by the commission.
  - b. If the application(s) is deemed incomplete, the commission staff shall transmit the application and a letter of incomplete application stating what is missing or incomplete from the applicant's application to the commission (as soon as practical), and schedule the letter for review and signature by the commission chair at the commission's earliest public meeting.
  - c. Following the commission consideration, if the commission finds the properties meet all the criteria, then, on behalf of the city of Yakima, it shall enter into a historic preservation special valuation agreement with the owner in a form set forth in WAC 254-20-120 (and as may be amended) and listed in subsection D of this section. Upon execution of the agreement between the owner and commission, the commission shall approve the application.
  - d. If the commission determines the properties do not meet all the criteria, then it shall deny the application.
- (3) The commission shall certify its decision in writing and state the facts upon which the approval or denial is based and file copies of the certification with the Yakima County assessor.
- (4) For approved applications, the commission shall:
- a. Forward a copy of the agreement, application, and supporting documentation as required by WAC 254-20-070(4) (and as may be amended) and identified in subsection (C)(2) of this section to the assessor;
  - b. Notify the state review board that the properties have been approved for special valuation; and
  - c. Monitor the properties for continued compliance with the agreements throughout the ten-year special valuation period, including but not limited to any special valuation agreements that were entered into under the authority of YMC Chapter 11.60 and that are still in effect.
- (5) The commission determines, in a manner consistent with its rules of procedure, whether or not a property is disqualified from special valuation either because of:
- a. The owner's failure to comply with the terms of the agreement; or
  - b. A loss of historic value resulting from physical changes to the building or site.
- (6) In the event that the commission concludes that a property is no longer qualified for special valuation, the commission shall notify the owner, assessor, and state review board in writing and state the facts supporting its findings.

C. Criteria for Special Valuation.

- (1) Historic Property Criteria. The class of historic property eligible to apply for special valuation in the city of Yakima means all properties listed on the Yakima or National Register of Historic Places or certified as contributing to a Yakima or National Register Historic District which have been substantially rehabilitated at a cost and within a time period which meets the requirements set forth in Chapter 84.26 RCW (and as may be amended).
- (2) Application Criteria. Complete applications shall consist of the following documentation:
  - a. A legal description of the historic property;
  - b. Comprehensive exterior and interior photographs of the historic property before and after rehabilitation;
  - c. Architectural plans or other legible drawings depicting the completed rehabilitation work;
  - d. A notarized affidavit attesting to the actual cost of the rehabilitation work completed prior to the date of application and the period of time during which the work was performed and documentation of both to be made available to the commission upon request; and
  - e. For properties located within historic districts, in addition to the standard application documentation, a statement from the Secretary of the Interior or community development manager or his/her designee indicating the property is a certified historic structure.
- (3) Property Review Criteria. In its review the commission shall determine if the properties meet all the following criteria:
  - a. The property is historic property;
  - b. The property is included within a class of historic property determined eligible for special valuation by the city of Yakima under subsection (C)(1) of this section;
  - c. The property has been rehabilitated at a cost which meets the definition set forth in RCW 84.26.020(2) (and as may be amended), and identified in subsection C of this section within twenty-four months prior to the date of application; and
  - d. The property has not been altered in any way which adversely affects those elements which qualify it as historically significant as determined by applying the Washington State Advisory Council's standards for the rehabilitation and maintenance of historic properties (WAC 254-20-100(1)).
- (4) Rehabilitation and Maintenance Criteria. The Washington State Advisory Council's standards for the rehabilitation and maintenance of historic properties in WAC 254-20-100 (and as may be amended) shall be used by the commission as minimum requirements for determining whether or not a historic property is eligible for special

valuation and whether or not the property continues to be eligible for special valuation once it has been so classified.

D. Agreement. The historic preservation special valuation agreement in WAC 254-20-120 (and as may be amended) shall be used by the commission as the minimum agreement necessary to comply with the requirements of RCW 84.26.050(2).

E. Appeals. Any decision of the commission acting on any application for classification as historic property eligible for special valuation, or any other dispute, may be appealed to the city council in accordance with the procedures of YMC 11.62.050(C)(4)(d), and thereafter to the superior court under RCW 34.05.570 in addition to any other remedy of law. Any decision of the commission on the disqualification of historic property eligible for special valuation may be appealed to the city council in accordance with the procedures of YMC 11.62.050(C)(4)(d), and thereafter to the county board of equalization. (Ord. 2015-004 § 1 (Exh. A) (part), 2015: Ord. 2011-28 § 1 (Exh. A) (part), 2011: Ord. 2005-02 § 2 (part), 2005).

## Chapter 8.77 PUBLIC TREE ORDINANCE

### Sections:

- 8.77.010 Purpose.**
- 8.77.020 Definitions.**
- 8.77.030 Creation and establishment of a city tree board.**
- 8.77.040 Term of office.**
- 8.77.050 Compensation.**
- 8.77.060 Duties and responsibilities.**
- 8.77.070 Operation.**
- 8.77.080 Street tree species to be planted.**
- 8.77.090 Spacing.**
- 8.77.100 Distance from curb and sidewalk.**
- 8.77.110 Distance from street corners and fire hydrants.**
- 8.77.120 Utilities.**
- 8.77.130 Public tree care.**
- 8.77.140 Tree topping.**
- 8.77.150 Pruning over streets and rights-of-way.**
- 8.77.160 Dead or diseased tree removal on private property.**
- 8.77.165 Appeal of dead or diseased tree removal on private property.**
- 8.77.170 Review by city council.**
- 8.77.180 Removal of stumps.**
- 8.77.190 Interference with tree board.**
- 8.77.200 Arborist's license and bond.**
- 8.77.210 Penalty.**

### **8.77.010 Purpose.**

1. The purpose of this chapter is to encourage responsible management of trees within city parks, rights-of-way, facilities and open spaces. Proper planting, pruning, and maintenance are required to promote the community's tree resource and the benefits it provides.
2. The city council, city departments, and tree board recognize the need to establish a public tree management program as part of the urban forestry program. The focus of the urban forestry program will be balancing the needs of the community and the urban forest. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.020 Definitions.**

The following words and phrases when used in this chapter shall have the following meanings unless a different meaning is clearly required by the context:

"Associated vegetation" shall mean native or nonnative trees, shrubs and ground covers within city parks, rights-of-way, facilities and open spaces.

"City" shall mean the city of Yakima.

"City arborist" shall mean the contracted or city employee who is a current certified arborist by the International Society of Arboriculture and works under the direction of the parks and recreation manager.

“Director” shall mean the public works director, or his or her designee.

“Hazard tree” or “hazardous tree” shall mean any tree subject to this chapter rated as such by the city according to the tree hazard evaluation standards established by the International Society of Arboriculture.

“Maintain” or “maintenance” shall mean the entire care of trees within city parks, rights-of-way, and open spaces, as well as the preparation of ground, fertilizing, mulching, planting, disease and insect control, trimming, pruning, staking, root control, watering, leaf litter, weed removal, and removal of dead and dying trees, unless specifically so stated.

“Park trees” are herein defined as trees, shrubs, bushes and all other woody vegetation in public parks having individual names, and all open space areas owned by the city.

“Planting” shall mean to install public trees permanently in the ground.

“Planting strip” shall mean the area available for planting including tree pits between the street curb, the edge of the traveled portion of roadway and the property line.

“Property owner” shall mean the person owning such property as shown by the records of the assessor’s office of Yakima County, Washington.

“Pruning” shall mean cutting or removing any part of the branching structure of a plant in the crown, trunk, and/or root areas as per the best management practices from the American National Standard for Tree Care Operations pruning standards for tree care operators.

“Public trees” shall mean all trees within city parks, rights-of-way, and open spaces.

“Removal” shall mean removal of a tree within city parks, rights-of-way, and open spaces.

“Responsible official” means that the public works director will perform as the “responsible official” in cooperation with the parks and recreation manager. The public works director shall have the final authority on interpretation and enforcement of this chapter. The city arborist is designated as the person who advises the parks and recreation manager, and director on public tree related issues.

“Street trees” are herein defined as trees, shrubs, bushes, and all other woody vegetation on land lying between property lines on either side of all streets, avenues, or ways within the city. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.030 Creation and establishment of a city tree board.**

There is hereby created and established a tree board for the city of Yakima, Washington, which shall consist of five members. One of the members of the tree board shall be the city arborist. One of the members of the tree board shall be recommended by the Yakima arboretum. At least two of the seats on the board shall be filled by tree care specialists. The tree board shall consist of city residents, except in the case of the tree care specialists and the member recommended by the Yakima arboretum. The city should, however, fill the seats on the tree board with city residents when possible. (Ord. 2020-004 § 1, 2020: Ord. 2016-032 § 1 (part), 2016).



#### **8.77.040 Term of office.**

The term of the five persons to be appointed by the mayor shall be three years except that the term of two of the members appointed to the first board shall be for only one year and the term of two members of the first board shall be for two years. In the event that a vacancy shall occur during the term of any member, his or her successor shall be appointed for the unexpired portion of the term. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.050 Compensation.**

Members of the board shall serve without compensation. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.060 Duties and responsibilities.**

It shall be the responsibility of the tree board to study, investigate, develop, update, and administer a written plan for the care, preservation, pruning, planting, replanting, removal or disposition of trees and shrubs in parks, along streets and in other city-owned public areas. Such plan will be presented annually to the city council and the Yakima Planning Commission, and upon city council's acceptance and approval shall constitute the official comprehensive city tree plan for the city of Yakima, Washington. The tree board, when requested by the city council, shall consider, investigate, make findings, report and make recommendations regarding any special matter or question coming within the scope of its work and/or work with the Yakima Planning Commission on matters of relevance to both groups. The tree board shall be a subcommittee of the Yakima Planning Commission. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.070 Operation.**

The tree board shall choose its own officers, make its own rules and regulations and keep minutes of its proceedings. Minutes of its proceedings shall be forwarded to the Yakima city clerk. All meetings shall be held at Yakima City Hall after appropriate notice is provided to the public of the meeting time and date. All meetings shall be open to the public and comply with the Open Public Meetings Act. The tree board shall be subject to the Public Records Act. A majority of the members shall be a quorum for the transaction of business. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.080 Street tree species to be planted.**

The city of Yakima public works department shall maintain a list of approved street trees species for the city. Upon establishment of the tree board, the tree board shall review the list of currently approved trees, and provide the city arborist and director with a report of recommendations for additional trees to be added and/or removed from the list of approved trees. No species other than those included in this list may be planted as street trees without written permission of the tree board. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.090 Spacing.**

The spacing of street trees will be in accordance with the species size classes (small, medium, and large) as identified by the list of approved street trees on file with the city public works office, and no trees may be planted closer together than the following: small trees, thirty feet; medium trees, forty feet; and large trees, fifty feet; except in special plantings designed or approved by a landscape architect. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.100 Distance from curb and sidewalk.**

The distance trees may be planted from curbs or curb lines and sidewalks will be in accordance with the three species size classes identified by the list of approved street trees: small, medium, and large, and no trees may be planted closer to any curb or sidewalk than the following: small trees, two feet; medium trees, three feet; and large trees, four feet. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.110 Distance from street corners and fire hydrants.**

No street tree shall be planted closer than thirty-five feet from any street corner, measured from the point of nearest intersecting curbs or curb lines. No street tree shall be planted closer than ten feet from any fire hydrant. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.120 Utilities.**

No street trees other than those species listed as small trees on the city's list of approved street trees may be planted under or within ten lateral feet of any overhead utility wire, or over or within five lateral feet of any underground water line, sewer line, transmission line or other utility. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.130 Public tree care.**

1. The city shall have the right to plant, prune, maintain and remove trees, plants and shrubs within the lines of all city streets, alleys, avenues, lanes, squares and public grounds, as may be necessary to insure public safety or to preserve or enhance the symmetry and beauty of such public grounds.
2. The tree board may provide a written recommendation to the city arborist for the removal of any tree or part thereof which is in an unsafe condition or which by reason of its nature is injurious to sewers, electric power lines, gas lines, water lines, or other public improvements, or is affected with any injurious fungus, insect or other pest. Upon receiving the tree board's recommendation, the city arborist shall forward the board's recommendation to the director who shall make the final decision to remove the tree, and the method for removal. In the event that the hazard tree is a street tree, the tree shall be removed in accordance with YMC 8.80.080 and 8.80.200. This section does not prohibit the planting of street trees by adjacent property owners providing that the selection and location of said trees is in accordance with YMC 8.77.080 through 8.77.120. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.140 Tree topping.**

It shall be unlawful as a normal practice for any person, firm, or city department to top any street tree, park tree, or other tree on public property. Topping is defined as the severe cutting back of limbs to stubs larger than three inches in diameter within the tree's crown to such a degree so as to remove the normal canopy and disfigure the tree. Trees severely damaged by storms or other causes, or certain trees under utility wires or other obstructions where other pruning practices are impractical, may be exempted from this chapter by the recommendation of the tree board, and approved by the director. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.150 Pruning over streets and rights-of-way.**

Every owner of any tree overhanging any street or right-of-way within the city shall prune the branches so that such branches shall not obstruct the light from any street lamp or obstruct the view of any street intersection and so that there shall be a clear space of eight feet above the surface of the street or sidewalk. Said owners shall remove all dead, diseased or dangerous trees, or broken or decayed limbs, which constitute a menace to the safety of the public. The city shall have the right to prune any tree or shrub on private property which overhangs public right-of-way or interferes with the public health and/or safety of the public in accordance with YMC 8.80.080. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.160 Dead or diseased tree removal on private property.**

The city shall have the right to cause the removal of any dead or diseased trees on private property within the city when such trees constitute a hazard to life and property, or harbor insects or disease, which constitute a potential threat to other trees within the city. The tree board will notify in writing the city arborist of the location of the tree, which needs removal. The city arborist will then conduct an assessment of the tree, and provide the director a written report and recommendation as to the disposition of the tree. In the event that the director decides that the tree should be removed, the owners of such tree shall be notified in writing by hand delivery, or by regular and certified mail. Removal shall be done by said owners at their own expense within sixty days after the date of service of notice. In the event of failure of owners to comply with such provisions, the city shall have the authority to remove such trees and charge the cost of removal. If the cost of removal is not paid within thirty days of invoice, the costs of removal shall constitute a lien on the owners' property. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.165 Appeal of dead or diseased tree removal on private property.\***

In the event that the property owner does not agree with the recommendation of the city arborist and decision of the director, the property owner may submit a letter of appeal to the director within fourteen calendar days of the date of the notice of removal. The letter shall outline why the property owner does not agree with the recommendation, and include as an attachment any report of any expert retained by the property owner. Upon receipt of the letter of appeal, the director, or his or her designee, shall schedule an open record public hearing before the tree board at its next available meeting. Notice of the public hearing shall be provided to the appellant no later than ten business days prior to the public hearing. The appellant and their tree care representative and/or expert shall appear before the tree board and present evidence outlining why the identified tree does not qualify for removal under YMC 8.77.160. The tree board shall have ten business days to provide the property owner with the tree board's determination. Upon receipt of the tree board's determination, the director shall modify his or her decision, if necessary, based on the tree board's determination. (Ord. 2016-032 § 1 (part), 2016).

\* Code reviser's note: Ord. 2016-032 adds these provisions as Section 8.77.160. The section has been renumbered to avoid duplication of numbering.

#### **8.77.170 Review by city council.**

A decision to remove a dead or diseased tree made by the tree board after appeal pursuant to YMC 8.77.165 may be appealed by filing a notice of appeal with the city clerk within twenty days

of the date of the decision. Any appeals of the tree board's decisions shall be made in a closed record public hearing heard by the Yakima city council. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.180 Removal of stumps.**

All stumps of street trees and park trees shall be removed below the surface of the ground so that the top of the stump shall not project above the surface of the ground. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.190 Interference with tree board.**

It shall be unlawful for any person to prevent, delay or interfere with a city employee, tree board member, or any of its agents or contractors while engaging in the planting, cultivating, mulching, pruning, spraying, or removing of any street trees, park trees, or trees on private grounds, as authorized in this chapter. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.200 Arborist's license and bond.**

It shall be unlawful for any person or firm to engage in the business or occupation of pruning, treating, or removing street trees or park trees within the city without first obtaining all necessary Washington State licenses and a city of Yakima business license in accordance with YMC Chapter 5.52; however, no license shall be required of any public service company or city employee doing such work in the pursuit of their public service endeavors. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.210 Penalty.**

A violation of this chapter shall be a civil infraction subject to a maximum penalty of two hundred fifty dollars per violation. Each day in which any violation shall continue shall be deemed a separate offense. (Ord. 2016-032 § 1 (part), 2016).

## Chapter 8.77 PUBLIC TREE ORDINANCE

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1. The purpose of this chapter is to encourage responsible management of trees within city parks, rights-of-way, facilities and open spaces. Proper planting, pruning, and maintenance are required to promote the community's tree resource and the benefits it provides.
2. The city council, city departments, and tree board recognize the need to establish a public tree management program as part of the urban forestry program. The focus of the urban forestry program will be balancing the needs of the community and the urban forest. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.020 Definitions.**

The following words and phrases when used in this chapter shall have the following meanings unless a different meaning is clearly required by the context:

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“Director” shall mean the public works director, or his or her designee.

“Hazard tree” or “hazardous tree” shall mean any tree subject to this chapter rated as such by the city according to the tree hazard evaluation standards established by the International Society of Arboriculture.

“Maintain” or “maintenance” shall mean the entire care of trees within city parks, rights-of-way, and open spaces, as well as the preparation of ground, fertilizing, mulching, planting, disease and insect control, trimming, pruning, staking, root control, watering, leaf litter, weed removal, and removal of dead and dying trees, unless specifically so stated.

“Park trees” are herein defined as trees, shrubs, bushes and all other woody vegetation in public parks having individual names, and all open space areas owned by the city.

“Planting” shall mean to install public trees permanently in the ground.

“Planting strip” shall mean the area available for planting including tree pits between the street curb, the edge of the traveled portion of roadway and the property line.

“Property owner” shall mean the person owning such property as shown by the records of the assessor’s office of Yakima County, Washington.

“Pruning” shall mean cutting or removing any part of the branching structure of a plant in the crown, trunk, and/or root areas as per the best management practices from the American National Standard for Tree Care Operations pruning standards for tree care operators.

“Public trees” shall mean all trees within city parks, rights-of-way, and open spaces.

“Removal” shall mean removal of a tree within city parks, rights-of-way, and open spaces.

“Responsible official” means that the public works director will perform as the “responsible official” in cooperation with the parks and recreation manager. The public works director shall have the final authority on interpretation and enforcement of this chapter. The city arborist is designated as the person who advises the parks and recreation manager, and director on public tree related issues.

“Street trees” are herein defined as trees, shrubs, bushes, and all other woody vegetation on land lying between property lines on either side of all streets, avenues, or ways within the city. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.030 Creation and establishment of a city tree board.**

There is hereby created and established a tree board for the city of Yakima, Washington, which shall consist of five members. One of the members of the tree board shall be the city arborist. One of the members of the tree board shall be recommended by the Yakima arboretum. At least two of the seats on the board shall be filled by tree care specialists. The tree board shall consist of city residents, except in the case of the tree care specialists and the member recommended by the Yakima arboretum. The city should, however, fill the seats on the tree board with city residents when possible. (Ord. 2020-004 § 1, 2020: Ord. 2016-032 § 1 (part), 2016).

#### **8.77.040 Term of office.**

The term of the five persons to be appointed by the mayor shall be three years except that the term of two of the members appointed to the first board shall be for only one year and the term of two members of the first board shall be for two years. In the event that a vacancy shall occur during the term of any member, his or her successor shall be appointed for the unexpired portion of the term. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.050 Compensation.**

Members of the board shall serve without compensation. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.060 Duties and responsibilities.**

It shall be the responsibility of the tree board to study, investigate, develop, update, and administer a written plan for the care, preservation, pruning, planting, replanting, removal or disposition of trees and shrubs in parks, along streets and in other city-owned public areas. Such plan will be presented annually to the city council and the Yakima Planning Commission, and upon city council's acceptance and approval shall constitute the official comprehensive city tree plan for the city of Yakima, Washington. The tree board, when requested by the city council, shall consider, investigate, make findings, report and make recommendations regarding any special matter or question coming within the scope of its work and/or work with the Yakima Planning Commission on matters of relevance to both groups. The tree board shall be a subcommittee of the Yakima Planning Commission. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.070 Operation.**

The tree board shall choose its own officers, make its own rules and regulations and keep minutes of its proceedings. Minutes of its proceedings shall be forwarded to the Yakima city clerk. All meetings shall be held at Yakima City Hall after appropriate notice is provided to the public of the meeting time and date. All meetings shall be open to the public and comply with the Open Public Meetings Act. The tree board shall be subject to the Public Records Act. A majority of the members shall be a quorum for the transaction of business. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.080 Street tree species to be planted.**

The city of Yakima public works department shall maintain a list of approved street trees species for the city. Upon establishment of the tree board, the tree board shall review the list of currently approved trees, and provide the city arborist and director with a report of recommendations for additional trees to be added and/or removed from the list of approved trees. No species other than those included in this list may be planted as street trees without written permission of the tree board. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.090 Spacing.**

The spacing of street trees will be in accordance with the species size classes (small, medium, and large) as identified by the list of approved street trees on file with the city public works office, and no trees may be planted closer together than the following: small trees, thirty feet; medium trees, forty feet; and large trees, fifty feet; except in special plantings designed or approved by a landscape architect. (Ord. 2016-032 § 1 (part), 2016).



### **8.77.100 Distance from curb and sidewalk.**

The distance trees may be planted from curbs or curb lines and sidewalks will be in accordance with the three species size classes identified by the list of approved street trees: small, medium, and large, and no trees may be planted closer to any curb or sidewalk than the following: small trees, two feet; medium trees, three feet; and large trees, four feet. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.110 Distance from street corners and fire hydrants.**

No street tree shall be planted closer than thirty-five feet from any street corner, measured from the point of nearest intersecting curbs or curb lines. No street tree shall be planted closer than ten feet from any fire hydrant. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.120 Utilities.**

No street trees other than those species listed as small trees on the city's list of approved street trees may be planted under or within ten lateral feet of any overhead utility wire, or over or within five lateral feet of any underground water line, sewer line, transmission line or other utility. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.130 Public tree care.**

1. The city shall have the right to plant, prune, maintain and remove trees, plants and shrubs within the lines of all city streets, alleys, avenues, lanes, squares and public grounds, as may be necessary to insure public safety or to preserve or enhance the symmetry and beauty of such public grounds.

2. The tree board may provide a written recommendation to the city arborist for the removal of any tree or part thereof which is in an unsafe condition or which by reason of its nature is injurious to sewers, electric power lines, gas lines, water lines, or other public improvements, or is affected with any injurious fungus, insect or other pest. Upon receiving the tree board's recommendation, the city arborist shall forward the board's recommendation to the director who shall make the final decision to remove the tree, and the method for removal. In the event that the hazard tree is a street tree, the tree shall be removed in accordance with YMC 8.80.080 and 8.80.200. This section does not prohibit the planting of street trees by adjacent property owners providing that the selection and location of said trees is in accordance with YMC 8.77.080 through 8.77.120. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.140 Tree topping.**

It shall be unlawful as a normal practice for any person, firm, or city department to top any street tree, park tree, or other tree on public property. Topping is defined as the severe cutting back of limbs to stubs larger than three inches in diameter within the tree's crown to such a degree so as to remove the normal canopy and disfigure the tree. Trees severely damaged by storms or other causes, or certain trees under utility wires or other obstructions where other pruning practices are impractical, may be exempted from this chapter by the recommendation of the tree board, and approved by the director. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.150 Pruning over streets and rights-of-way.**

Every owner of any tree overhanging any street or right-of-way within the city shall prune the branches so that such branches shall not obstruct the light from any street lamp or obstruct the view of any street intersection and so that there shall be a clear space of eight feet above the surface of the street or sidewalk. Said owners shall remove all dead, diseased or dangerous trees, or broken or decayed limbs, which constitute a menace to the safety of the public. The city shall have the right to prune any tree or shrub on private property which overhangs public right-of-way or interferes with the public health and/or safety of the public in accordance with YMC 8.80.080. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.160 Dead or diseased tree removal on private property.**

The city shall have the right to cause the removal of any dead or diseased trees on private property within the city when such trees constitute a hazard to life and property, or harbor insects or disease, which constitute a potential threat to other trees within the city. The tree board will notify in writing the city arborist of the location of the tree, which needs removal. The city arborist will then conduct an assessment of the tree, and provide the director a written report and recommendation as to the disposition of the tree. In the event that the director decides that the tree should be removed, the owners of such tree shall be notified in writing by hand delivery, or by regular and certified mail. Removal shall be done by said owners at their own expense within sixty days after the date of service of notice. In the event of failure of owners to comply with such provisions, the city shall have the authority to remove such trees and charge the cost of removal. If the cost of removal is not paid within thirty days of invoice, the costs of removal shall constitute a lien on the owners' property. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.165 Appeal of dead or diseased tree removal on private property.\***

In the event that the property owner does not agree with the recommendation of the city arborist and decision of the director, the property owner may submit a letter of appeal to the director within fourteen calendar days of the date of the notice of removal. The letter shall outline why the property owner does not agree with the recommendation, and include as an attachment any report of any expert retained by the property owner. Upon receipt of the letter of appeal, the director, or his or her designee, shall schedule an open record public hearing before the tree board at its next available meeting. Notice of the public hearing shall be provided to the appellant no later than ten business days prior to the public hearing. The appellant and their tree care representative and/or expert shall appear before the tree board and present evidence outlining why the identified tree does not qualify for removal under YMC 8.77.160. The tree board shall have ten business days to provide the property owner with the tree board's determination. Upon receipt of the tree board's determination, the director shall modify his or her decision, if necessary, based on the tree board's determination. (Ord. 2016-032 § 1 (part), 2016).

\* Code reviser's note: Ord. 2016-032 adds these provisions as Section 8.77.160. The section has been renumbered to avoid duplication of numbering.

#### **8.77.170 Review by city council.**

A decision to remove a dead or diseased tree made by the tree board after appeal pursuant to YMC 8.77.165 may be appealed by filing a notice of appeal with the city clerk within twenty days

of the date of the decision. Any appeals of the tree board's decisions shall be made in a closed record public hearing heard by the Yakima city council. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.180 Removal of stumps.**

All stumps of street trees and park trees shall be removed below the surface of the ground so that the top of the stump shall not project above the surface of the ground. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.190 Interference with tree board.**

It shall be unlawful for any person to prevent, delay or interfere with a city employee, tree board member, or any of its agents or contractors while engaging in the planting, cultivating, mulching, pruning, spraying, or removing of any street trees, park trees, or trees on private grounds, as authorized in this chapter. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.200 Arborist's license and bond.**

It shall be unlawful for any person or firm to engage in the business or occupation of pruning, treating, or removing street trees or park trees within the city without first obtaining all necessary Washington State licenses and a city of Yakima business license in accordance with YMC Chapter 5.52; however, no license shall be required of any public service company or city employee doing such work in the pursuit of their public service endeavors. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.210 Penalty.**

A violation of this chapter shall be a civil infraction subject to a maximum penalty of two hundred fifty dollars per violation. Each day in which any violation shall continue shall be deemed a separate offense. (Ord. 2016-032 § 1 (part), 2016).

## Chapter 8.77 PUBLIC TREE ORDINANCE

### Sections:

- 8.77.010 Purpose.**
- 8.77.020 Definitions.**
- 8.77.030 Creation and establishment of a city tree board.**
- 8.77.040 Term of office.**
- 8.77.050 Compensation.**
- 8.77.060 Duties and responsibilities.**
- 8.77.070 Operation.**
- 8.77.080 Street tree species to be planted.**
- 8.77.090 Spacing.**
- 8.77.100 Distance from curb and sidewalk.**
- 8.77.110 Distance from street corners and fire hydrants.**
- 8.77.120 Utilities.**
- 8.77.130 Public tree care.**
- 8.77.140 Tree topping.**
- 8.77.150 Pruning over streets and rights-of-way.**
- 8.77.160 Dead or diseased tree removal on private property.**
- 8.77.165 Appeal of dead or diseased tree removal on private property.**
- 8.77.170 Review by city council.**
- 8.77.180 Removal of stumps.**
- 8.77.190 Interference with tree board.**
- 8.77.200 Arborist's license and bond.**
- 8.77.210 Penalty.**

### **8.77.010 Purpose.**

1. The purpose of this chapter is to encourage responsible management of trees within city parks, rights-of-way, facilities and open spaces. Proper planting, pruning, and maintenance are required to promote the community's tree resource and the benefits it provides.
2. The city council, city departments, and tree board recognize the need to establish a public tree management program as part of the urban forestry program. The focus of the urban forestry program will be balancing the needs of the community and the urban forest. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.020 Definitions.**

The following words and phrases when used in this chapter shall have the following meanings unless a different meaning is clearly required by the context:

"Associated vegetation" shall mean native or nonnative trees, shrubs and ground covers within city parks, rights-of-way, facilities and open spaces.

"City" shall mean the city of Yakima.

"City arborist" shall mean the contracted or city employee who is a current certified arborist by the International Society of Arboriculture and works under the direction of the parks and recreation manager.

“Director” shall mean the public works director, or his or her designee.

“Hazard tree” or “hazardous tree” shall mean any tree subject to this chapter rated as such by the city according to the tree hazard evaluation standards established by the International Society of Arboriculture.

“Maintain” or “maintenance” shall mean the entire care of trees within city parks, rights-of-way, and open spaces, as well as the preparation of ground, fertilizing, mulching, planting, disease and insect control, trimming, pruning, staking, root control, watering, leaf litter, weed removal, and removal of dead and dying trees, unless specifically so stated.

“Park trees” are herein defined as trees, shrubs, bushes and all other woody vegetation in public parks having individual names, and all open space areas owned by the city.

“Planting” shall mean to install public trees permanently in the ground.

“Planting strip” shall mean the area available for planting including tree pits between the street curb, the edge of the traveled portion of roadway and the property line.

“Property owner” shall mean the person owning such property as shown by the records of the assessor’s office of Yakima County, Washington.

“Pruning” shall mean cutting or removing any part of the branching structure of a plant in the crown, trunk, and/or root areas as per the best management practices from the American National Standard for Tree Care Operations pruning standards for tree care operators.

“Public trees” shall mean all trees within city parks, rights-of-way, and open spaces.

“Removal” shall mean removal of a tree within city parks, rights-of-way, and open spaces.

“Responsible official” means that the public works director will perform as the “responsible official” in cooperation with the parks and recreation manager. The public works director shall have the final authority on interpretation and enforcement of this chapter. The city arborist is designated as the person who advises the parks and recreation manager, and director on public tree related issues.

“Street trees” are herein defined as trees, shrubs, bushes, and all other woody vegetation on land lying between property lines on either side of all streets, avenues, or ways within the city. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.030 Creation and establishment of a city tree board.**

There is hereby created and established a tree board for the city of Yakima, Washington, which shall consist of five members. One of the members of the tree board shall be the city arborist. One of the members of the tree board shall be recommended by the Yakima arboretum. At least two of the seats on the board shall be filled by tree care specialists. The tree board shall consist of city residents, except in the case of the tree care specialists and the member recommended by the Yakima arboretum. The city should, however, fill the seats on the tree board with city residents when possible. (Ord. 2020-004 § 1, 2020: Ord. 2016-032 § 1 (part), 2016).

#### **8.77.040 Term of office.**

The term of the five persons to be appointed by the mayor shall be three years except that the term of two of the members appointed to the first board shall be for only one year and the term of two members of the first board shall be for two years. In the event that a vacancy shall occur during the term of any member, his or her successor shall be appointed for the unexpired portion of the term. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.050 Compensation.**

Members of the board shall serve without compensation. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.060 Duties and responsibilities.**

It shall be the responsibility of the tree board to study, investigate, develop, update, and administer a written plan for the care, preservation, pruning, planting, replanting, removal or disposition of trees and shrubs in parks, along streets and in other city-owned public areas. Such plan will be presented annually to the city council and the Yakima Parks and Recreation Commission, and upon city council's acceptance and approval shall constitute the official comprehensive city tree plan for the city of Yakima, Washington. The tree board, when requested by the city council, shall consider, investigate, make findings, report and make recommendations regarding any special matter or question coming within the scope of its work and/or work with the Yakima Parks and Recreation Commission on matters of relevance to both groups. The tree board shall be a subcommittee of the Yakima Parks and Recreation Commission. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.070 Operation.**

The tree board shall choose its own officers, make its own rules and regulations and keep minutes of its proceedings. Minutes of its proceedings shall be forwarded to the Yakima city clerk. All meetings shall be held at Yakima City Hall after appropriate notice is provided to the public of the meeting time and date. All meetings shall be open to the public and comply with the Open Public Meetings Act. The tree board shall be subject to the Public Records Act. A majority of the members shall be a quorum for the transaction of business. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.080 Street tree species to be planted.**

The city of Yakima public works department shall maintain a list of approved street trees species for the city. Upon establishment of the tree board, the tree board shall review the list of currently approved trees, and provide the city arborist and director with a report of recommendations for additional trees to be added and/or removed from the list of approved trees. No species other than those included in this list may be planted as street trees without written permission of the tree board. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.090 Spacing.**

The spacing of street trees will be in accordance with the species size classes (small, medium, and large) as identified by the list of approved street trees on file with the city public works office, and no trees may be planted closer together than the following: small trees, thirty feet;

medium trees, forty feet; and large trees, fifty feet; except in special plantings designed or approved by a landscape architect. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.100 Distance from curb and sidewalk.**

The distance trees may be planted from curbs or curb lines and sidewalks will be in accordance with the three species size classes identified by the list of approved street trees: small, medium, and large, and no trees may be planted closer to any curb or sidewalk than the following: small trees, two feet; medium trees, three feet; and large trees, four feet. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.110 Distance from street corners and fire hydrants.**

No street tree shall be planted closer than thirty-five feet from any street corner, measured from the point of nearest intersecting curbs or curb lines. No street tree shall be planted closer than ten feet from any fire hydrant. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.120 Utilities.**

No street trees other than those species listed as small trees on the city's list of approved street trees may be planted under or within ten lateral feet of any overhead utility wire, or over or within five lateral feet of any underground water line, sewer line, transmission line or other utility. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.130 Public tree care.**

1. The city shall have the right to plant, prune, maintain and remove trees, plants and shrubs within the lines of all city streets, alleys, avenues, lanes, squares and public grounds, as may be necessary to insure public safety or to preserve or enhance the symmetry and beauty of such public grounds.
2. The tree board may provide a written recommendation to the city arborist for the removal of any tree or part thereof which is in an unsafe condition or which by reason of its nature is injurious to sewers, electric power lines, gas lines, water lines, or other public improvements, or is affected with any injurious fungus, insect or other pest. Upon receiving the tree board's recommendation, the city arborist shall forward the board's recommendation to the director who shall make the final decision to remove the tree, and the method for removal. In the event that the hazard tree is a street tree, the tree shall be removed in accordance with YMC 8.80.080 and 8.80.200. This section does not prohibit the planting of street trees by adjacent property owners providing that the selection and location of said trees is in accordance with YMC 8.77.080 through 8.77.120. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.140 Tree topping.**

It shall be unlawful as a normal practice for any person, firm, or city department to top any street tree, park tree, or other tree on public property. Topping is defined as the severe cutting back of limbs to stubs larger than three inches in diameter within the tree's crown to such a degree so as to remove the normal canopy and disfigure the tree. Trees severely damaged by storms or other causes, or certain trees under utility wires or other obstructions where other pruning practices are impractical, may be exempted from this chapter by the recommendation of the tree board, and approved by the director. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.150 Pruning over streets and rights-of-way.**

Every owner of any tree overhanging any street or right-of-way within the city shall prune the branches so that such branches shall not obstruct the light from any street lamp or obstruct the view of any street intersection and so that there shall be a clear space of eight feet above the surface of the street or sidewalk. Said owners shall remove all dead, diseased or dangerous trees, or broken or decayed limbs, which constitute a menace to the safety of the public. The city shall have the right to prune any tree or shrub on private property which overhangs public right-of-way or interferes with the public health and/or safety of the public in accordance with YMC 8.80.080. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.160 Dead or diseased tree removal on private property.**

The city shall have the right to cause the removal of any dead or diseased trees on private property within the city when such trees constitute a hazard to life and property, or harbor insects or disease, which constitute a potential threat to other trees within the city. The tree board will notify in writing the city arborist of the location of the tree, which needs removal. The city arborist will then conduct an assessment of the tree, and provide the director a written report and recommendation as to the disposition of the tree. In the event that the director decides that the tree should be removed, the owners of such tree shall be notified in writing by hand delivery, or by regular and certified mail. Removal shall be done by said owners at their own expense within sixty days after the date of service of notice. In the event of failure of owners to comply with such provisions, the city shall have the authority to remove such trees and charge the cost of removal. If the cost of removal is not paid within thirty days of invoice, the costs of removal shall constitute a lien on the owners' property. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.165 Appeal of dead or diseased tree removal on private property.\***

In the event that the property owner does not agree with the recommendation of the city arborist and decision of the director, the property owner may submit a letter of appeal to the director within fourteen calendar days of the date of the notice of removal. The letter shall outline why the property owner does not agree with the recommendation, and include as an attachment any report of any expert retained by the property owner. Upon receipt of the letter of appeal, the director, or his or her designee, shall schedule an open record public hearing before the tree board at its next available meeting. Notice of the public hearing shall be provided to the appellant no later than ten business days prior to the public hearing. The appellant and their tree care representative and/or expert shall appear before the tree board and present evidence outlining why the identified tree does not qualify for removal under YMC 8.77.160. The tree board shall have ten business days to provide the property owner with the tree board's determination. Upon receipt of the tree board's determination, the director shall modify his or her decision, if necessary, based on the tree board's determination. (Ord. 2016-032 § 1 (part), 2016).

\* Code reviser's note: Ord. 2016-032 adds these provisions as Section 8.77.160. The section has been renumbered to avoid duplication of numbering.

### **8.77.170 Review by city council.**



A decision to remove a dead or diseased tree made by the tree board after appeal pursuant to YMC 8.77.165 may be appealed by filing a notice of appeal with the city clerk within twenty days of the date of the decision. Any appeals of the tree board's decisions shall be made in a closed record public hearing heard by the Yakima city council. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.180 Removal of stumps.**

All stumps of street trees and park trees shall be removed below the surface of the ground so that the top of the stump shall not project above the surface of the ground. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.190 Interference with tree board.**

It shall be unlawful for any person to prevent, delay or interfere with a city employee, tree board member, or any of its agents or contractors while engaging in the planting, cultivating, mulching, pruning, spraying, or removing of any street trees, park trees, or trees on private grounds, as authorized in this chapter. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.200 Arborist's license and bond.**

It shall be unlawful for any person or firm to engage in the business or occupation of pruning, treating, or removing street trees or park trees within the city without first obtaining all necessary Washington State licenses and a city of Yakima business license in accordance with YMC Chapter 5.52; however, no license shall be required of any public service company or city employee doing such work in the pursuit of their public service endeavors. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.210 Penalty.**

A violation of this chapter shall be a civil infraction subject to a maximum penalty of two hundred fifty dollars per violation. Each day in which any violation shall continue shall be deemed a separate offense. (Ord. 2016-032 § 1 (part), 2016).

## Chapter 8.77 PUBLIC TREE ORDINANCE

### Sections:

- 8.77.010 Purpose.**
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### **8.77.010 Purpose.**

1. The purpose of this chapter is to encourage responsible management of trees within city parks, rights-of-way, facilities and open spaces. Proper planting, pruning, and maintenance are required to promote the community's tree resource and the benefits it provides.
2. The city council, city departments, and tree board recognize the need to establish a public tree management program as part of the urban forestry program. The focus of the urban forestry program will be balancing the needs of the community and the urban forest. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.020 Definitions.**

The following words and phrases when used in this chapter shall have the following meanings unless a different meaning is clearly required by the context:

"Associated vegetation" shall mean native or nonnative trees, shrubs and ground covers within city parks, rights-of-way, facilities and open spaces.

"City" shall mean the city of Yakima.

"City arborist" shall mean the contracted or city employee who is a current certified arborist by the International Society of Arboriculture and works under the direction of the parks and recreation manager.

“Director” shall mean the public works director, or his or her designee.

“Hazard tree” or “hazardous tree” shall mean any tree subject to this chapter rated as such by the city according to the tree hazard evaluation standards established by the International Society of Arboriculture.

“Maintain” or “maintenance” shall mean the entire care of trees within city parks, rights-of-way, and open spaces, as well as the preparation of ground, fertilizing, mulching, planting, disease and insect control, trimming, pruning, staking, root control, watering, leaf litter, weed removal, and removal of dead and dying trees, unless specifically so stated.

“Park trees” are herein defined as trees, shrubs, bushes and all other woody vegetation in public parks having individual names, and all open space areas owned by the city.

“Planting” shall mean to install public trees permanently in the ground.

“Planting strip” shall mean the area available for planting including tree pits between the street curb, the edge of the traveled portion of roadway and the property line.

“Property owner” shall mean the person owning such property as shown by the records of the assessor’s office of Yakima County, Washington.

“Pruning” shall mean cutting or removing any part of the branching structure of a plant in the crown, trunk, and/or root areas as per the best management practices from the American National Standard for Tree Care Operations pruning standards for tree care operators.

“Public trees” shall mean all trees within city parks, rights-of-way, and open spaces.

“Removal” shall mean removal of a tree within city parks, rights-of-way, and open spaces.

“Responsible official” means that the public works director will perform as the “responsible official” in cooperation with the parks and recreation manager. The public works director shall have the final authority on interpretation and enforcement of this chapter. The city arborist is designated as the person who advises the parks and recreation manager, and director on public tree related issues.

“Street trees” are herein defined as trees, shrubs, bushes, and all other woody vegetation on land lying between property lines on either side of all streets, avenues, or ways within the city. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.030 Creation and establishment of a city tree board.**

There is hereby created and established a tree board for the city of Yakima, Washington, which shall consist of five members. One of the members of the tree board shall be the city arborist. One of the members of the tree board shall be recommended by the Yakima arboretum. At least two of the seats on the board shall be filled by tree care specialists. The tree board shall consist of city residents, except in the case of the tree care specialists and the member recommended by the Yakima arboretum. The city should, however, fill the seats on the tree board with city residents when possible. (Ord. 2020-004 § 1, 2020: Ord. 2016-032 § 1 (part), 2016).

#### **8.77.040 Term of office.**

The term of the five persons to be appointed by the mayor shall be three years except that the term of two of the members appointed to the first board shall be for only one year and the term of two members of the first board shall be for two years. In the event that a vacancy shall occur during the term of any member, his or her successor shall be appointed for the unexpired portion of the term. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.050 Compensation.**

Members of the board shall serve without compensation. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.060 Duties and responsibilities.**

It shall be the responsibility of the tree board to study, investigate, develop, update, and administer a written plan for the care, preservation, pruning, planting, replanting, removal or disposition of trees and shrubs in parks, along streets and in other city-owned public areas. Such plan will be presented annually to the city council and the Yakima Parks and Recreation Commission, and upon city council's acceptance and approval shall constitute the official comprehensive city tree plan for the city of Yakima, Washington. The tree board, when requested by the city council, shall consider, investigate, make findings, report and make recommendations regarding any special matter or question coming within the scope of its work and/or work with the Yakima Parks and Recreation Commission on matters of relevance to both groups. The tree board shall be a subcommittee of the Yakima Parks and Recreation Commission. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.070 Operation.**

The tree board shall choose its own officers, make its own rules and regulations and keep minutes of its proceedings. Minutes of its proceedings shall be forwarded to the Yakima city clerk. All meetings shall be held at Yakima City Hall after appropriate notice is provided to the public of the meeting time and date. All meetings shall be open to the public and comply with the Open Public Meetings Act. The tree board shall be subject to the Public Records Act. A majority of the members shall be a quorum for the transaction of business. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.080 Street tree species to be planted.**

The city of Yakima public works department shall maintain a list of approved street trees species for the city. Upon establishment of the tree board, the tree board shall review the list of currently approved trees, and provide the city arborist and director with a report of recommendations for additional trees to be added and/or removed from the list of approved trees. No species other than those included in this list may be planted as street trees without written permission of the tree board. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.090 Spacing.**

The spacing of street trees will be in accordance with the species size classes (small, medium, and large) as identified by the list of approved street trees on file with the city public works office, and no trees may be planted closer together than the following: small trees, thirty feet;

medium trees, forty feet; and large trees, fifty feet; except in special plantings designed or approved by a landscape architect. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.100 Distance from curb and sidewalk.**

The distance trees may be planted from curbs or curb lines and sidewalks will be in accordance with the three species size classes identified by the list of approved street trees: small, medium, and large, and no trees may be planted closer to any curb or sidewalk than the following: small trees, two feet; medium trees, three feet; and large trees, four feet. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.110 Distance from street corners and fire hydrants.**

No street tree shall be planted closer than thirty-five feet from any street corner, measured from the point of nearest intersecting curbs or curb lines. No street tree shall be planted closer than ten feet from any fire hydrant. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.120 Utilities.**

No street trees other than those species listed as small trees on the city's list of approved street trees may be planted under or within ten lateral feet of any overhead utility wire, or over or within five lateral feet of any underground water line, sewer line, transmission line or other utility. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.130 Public tree care.**

1. The city shall have the right to plant, prune, maintain and remove trees, plants and shrubs within the lines of all city streets, alleys, avenues, lanes, squares and public grounds, as may be necessary to insure public safety or to preserve or enhance the symmetry and beauty of such public grounds.

2. The tree board may provide a written recommendation to the city arborist for the removal of any tree or part thereof which is in an unsafe condition or which by reason of its nature is injurious to sewers, electric power lines, gas lines, water lines, or other public improvements, or is affected with any injurious fungus, insect or other pest. Upon receiving the tree board's recommendation, the city arborist shall forward the board's recommendation to the director who shall make the final decision to remove the tree, and the method for removal. In the event that the hazard tree is a street tree, the tree shall be removed in accordance with YMC 8.80.080 and 8.80.200. This section does not prohibit the planting of street trees by adjacent property owners providing that the selection and location of said trees is in accordance with YMC 8.77.080 through 8.77.120. (Ord. 2016-032 § 1 (part), 2016).

#### **8.77.140 Tree topping.**

It shall be unlawful as a normal practice for any person, firm, or city department to top any street tree, park tree, or other tree on public property. Topping is defined as the severe cutting back of limbs to stubs larger than three inches in diameter within the tree's crown to such a degree so as to remove the normal canopy and disfigure the tree. Trees severely damaged by storms or other causes, or certain trees under utility wires or other obstructions where other pruning practices are impractical, may be exempted from this chapter by the recommendation of the tree board, and approved by the director. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.150 Pruning over streets and rights-of-way.**

Every owner of any tree overhanging any street or right-of-way within the city shall prune the branches so that such branches shall not obstruct the light from any street lamp or obstruct the view of any street intersection and so that there shall be a clear space of eight feet above the surface of the street or sidewalk. Said owners shall remove all dead, diseased or dangerous trees, or broken or decayed limbs, which constitute a menace to the safety of the public. The city shall have the right to prune any tree or shrub on private property which overhangs public right-of-way or interferes with the public health and/or safety of the public in accordance with YMC 8.80.080. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.160 Dead or diseased tree removal on private property.**

The city shall have the right to cause the removal of any dead or diseased trees on private property within the city when such trees constitute a hazard to life and property, or harbor insects or disease, which constitute a potential threat to other trees within the city. The tree board will notify in writing the city arborist of the location of the tree, which needs removal. The city arborist will then conduct an assessment of the tree, and provide the director a written report and recommendation as to the disposition of the tree. In the event that the director decides that the tree should be removed, the owners of such tree shall be notified in writing by hand delivery, or by regular and certified mail. Removal shall be done by said owners at their own expense within sixty days after the date of service of notice. In the event of failure of owners to comply with such provisions, the city shall have the authority to remove such trees and charge the cost of removal. If the cost of removal is not paid within thirty days of invoice, the costs of removal shall constitute a lien on the owners' property. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.165 Appeal of dead or diseased tree removal on private property.\***

In the event that the property owner does not agree with the recommendation of the city arborist and decision of the director, the property owner may submit a letter of appeal to the director within fourteen calendar days of the date of the notice of removal. The letter shall outline why the property owner does not agree with the recommendation, and include as an attachment any report of any expert retained by the property owner. Upon receipt of the letter of appeal, the director, or his or her designee, shall schedule an open record public hearing before the tree board at its next available meeting. Notice of the public hearing shall be provided to the appellant no later than ten business days prior to the public hearing. The appellant and their tree care representative and/or expert shall appear before the tree board and present evidence outlining why the identified tree does not qualify for removal under YMC 8.77.160. The tree board shall have ten business days to provide the property owner with the tree board's determination. Upon receipt of the tree board's determination, the director shall modify his or her decision, if necessary, based on the tree board's determination. (Ord. 2016-032 § 1 (part), 2016).

\* Code reviser's note: Ord. 2016-032 adds these provisions as Section 8.77.160. The section has been renumbered to avoid duplication of numbering.

### **8.77.170 Review by city council.**

A decision to remove a dead or diseased tree made by the tree board after appeal pursuant to YMC 8.77.165 may be appealed by filing a notice of appeal with the city clerk within twenty days of the date of the decision. Any appeals of the tree board's decisions shall be made in a closed record public hearing heard by the Yakima city council. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.180 Removal of stumps.**

All stumps of street trees and park trees shall be removed below the surface of the ground so that the top of the stump shall not project above the surface of the ground. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.190 Interference with tree board.**

It shall be unlawful for any person to prevent, delay or interfere with a city employee, tree board member, or any of its agents or contractors while engaging in the planting, cultivating, mulching, pruning, spraying, or removing of any street trees, park trees, or trees on private grounds, as authorized in this chapter. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.200 Arborist's license and bond.**

It shall be unlawful for any person or firm to engage in the business or occupation of pruning, treating, or removing street trees or park trees within the city without first obtaining all necessary Washington State licenses and a city of Yakima business license in accordance with YMC Chapter 5.52; however, no license shall be required of any public service company or city employee doing such work in the pursuit of their public service endeavors. (Ord. 2016-032 § 1 (part), 2016).

### **8.77.210 Penalty.**

A violation of this chapter shall be a civil infraction subject to a maximum penalty of two hundred fifty dollars per violation. Each day in which any violation shall continue shall be deemed a separate offense. (Ord. 2016-032 § 1 (part), 2016).

## Chapter 1.37 BICYCLE AND PEDESTRIAN ADVISORY COMMITTEE

### Sections:

- 1.37.010 Establishment.**
- 1.37.020 Purpose.**
- 1.37.030 Membership.**
- 1.37.040 Terms of office.**
- 1.37.050 Meetings.**
- 1.37.060 Functions and duties.**
- 1.37.070 Vacancies.**
- 1.37.080 Removal.**
- 1.37.090 Expenditures—Budget.**

### **1.37.010 Establishment.**

There is hereby established within the city of Yakima a bicycle and pedestrian advisory committee, which shall be a subcommittee of the Yakima Planning Commission, to be appointed by the city council to carry out the purposes listed herein. (Ord. 2023-002 § 1, 2023).

### **1.37.020 Purpose.**

The purpose and intent of the bicycle and pedestrian advisory committee is to provide community-based input for the review, comment and idea generation related to the development, maintenance and planning of the network of facilities for bicycles and pedestrians including public streets, sidewalks, bike paths, pathways and related improvements; and to work with staff, committees, schools, affected residents, and neighborhoods or other interested groups on bicycle and pedestrian projects and implementation. (Ord. 2023-002 § 1, 2023).

### **1.37.030 Membership.**

- (a) The committee is comprised of seven voting members appointed by majority vote of the city council, one of which shall include a representative of the Yakima Greenway.
- (b) Six members of the committee shall be residents of the city of Yakima. One member may be a resident of Yakima County if they also either own property within the city of Yakima or own a business within the city of Yakima. The residency requirements herein shall not apply to the member representing the Yakima Greenway, nor to nonvoting members.
- (c) One employee of the city of Yakima may be appointed by the city manager to act as a staff liaison to provide information and reasonable assistance to the committee, but shall not be entitled to vote on any matter before the committee. Other employees may attend committee meetings on a case-by-case basis as determined appropriate by the city manager or their designee.
- (d) One member of the Yakima city council may be assigned as the representative to the committee, but shall not be entitled to vote on any matter before the committee.
- (e) Appointments shall be made to ensure that varied community perspectives are represented and, to the extent possible, reflect the current demographics of the city, including consideration of historically underrepresented communities.



(f) Members shall serve without compensation. (Ord. 2023-023 § 1, 2023; Ord. 2023-002 § 1, 2023).

#### **1.37.040 Terms of office.**

The term of office for a committee member shall be four years. Unless removed by council, members who have served their full term shall continue to serve until their replacement is appointed. (Ord. 2023-002 § 1, 2023).

#### **1.37.050 Meetings.**

(a) At its first meeting of each calendar year, the committee shall elect a chairperson and a secretary, which persons shall hold office for one year and until their successors are appointed.

(b) The committee should hold, at a minimum, regular quarterly public meetings that may be broadcast by the city. The committee may appoint a subcommittee of at least two members, which may meet during other times and at other dates as the subcommittee deems necessary or appropriate, to review and discuss bicycle/pedestrian committee policies and procedures, or relevant code sections of the Yakima Municipal Code. The subcommittee shall formulate a recommendation regarding its work to the whole committee for its consideration. Subcommittee meetings may be staffed only upon written request to the city manager from the subcommittee, and at the city manager's, or their designee's, discretion.

(c) Minutes of each meeting shall be kept by the secretary and sent to the staff liaison, or, if there is no staff liaison assigned, the city clerk, staff liaisons appointed to the committee and any other city staff person or council person as determined by the city.

(d) All committee meetings shall be open to the public.

(e) To constitute a quorum for the transaction of business there shall be a simple majority of seated committee members present.

(f) An agenda shall be prepared and distributed by the chairperson prior to each meeting which includes a list of individual items of committee business that are intended to be discussed. If ~~additional~~ staff members are approved for attendance, they shall receive an agenda at least five business days prior to the meeting. (Ord. 2023-023 § 2, 2023; Ord. 2023-002 § 1, 2023).

#### **1.37.060 Functions and duties.**

(a) The committee generally shall serve in an advisory capacity to the Yakima Planning Commission as a subcommittee of the Commission ~~city council~~ concerning the development, maintenance and planning of the network of facilities for bicycles and pedestrians within the city or extending into Yakima County or neighboring communities.

(b) The committee shall assist the Yakima Planning Commission and, when specifically requested, the city council, on specific projects delegated to the committee by those groups ~~by the city council~~.

(c) The committee shall report to the ~~city council~~Yakima Planning Commission on an annual basis at a minimum. Reports to ~~council~~the Yakima Planning Commission shall contain a summary of action items taken to date, a list of action items that are pending, and a summary of any findings made as of the date of the report that are relevant to the committee's purpose or pending action items. The chair of the committee is responsible for writing any report and forwarding it to the staff liaison for the Yakima Planning Commissions for dissemination and inclusion in a ~~council meeting~~Yakima Planning Commission agenda.

(d) On areas of work where the Yakima Planning Commission finds that it would be more appropriate to have the committee provide advice and information either directly to the City Council, or to another committee, board or commission, the Yakima Planning Commission will refer the work to the council or to another committee, board or commission for its review and evaluation. (Ord. 2023-002 § 1, 2023).

### **1.37.070 Vacancies.**

Any vacancy in the membership of the committee shall be filled for the unexpired term in the same manner as the original appointment. (Ord. 2023-002 § 1, 2023).

### **1.37.080 Removal.**

The committee may, by majority vote, recommend to the city council removal of an appointed member upon such grounds as may be deemed appropriate. Failure to attend three consecutive meetings may be cause for removal. The city council, either after recommendation by the committee, or independently, by majority vote, may remove any appointed member of the committee and declare the position vacant. (Ord. 2023-002 § 1, 2023).

### **1.37.090 Expenditures—Budget.**

The expenditures of the committee shall be limited to appropriations as determined by the city council. All services requiring appropriations shall be submitted through the budget of the city council; provided, however, the city council may specifically authorize expenditures pursuant to its rules. (Ord. 2023-002 § 1, 2023).

## Chapter 1.37 BICYCLE AND PEDESTRIAN ADVISORY COMMITTEE

### Sections:

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the date of the report that are relevant to the committee's purpose or pending action items. The chair of the committee is responsible for writing any report and forwarding it to the staff liaison for the Yakima Planning Commission for dissemination and inclusion in a Yakima Planning Commission agenda.

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The expenditures of the committee shall be limited to appropriations as determined by the city council. All services requiring appropriations shall be submitted through the budget of the city council; provided, however, the city council may specifically authorize expenditures pursuant to its rules. (Ord. 2023-002 § 1, 2023).



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 11.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Ordinance amending sections of Yakima Municipal Code Title 10  
Fire for adoption of the 2021 Washington State Codes

**SUBMITTED BY:** Joan Davenport, Community Development Director  
Glenn Denman, Code Administration Manager

**SUMMARY EXPLANATION:**

Washington State law requires cities and counties to adopt the state adopted editions of the International and Uniform Codes (most are now called the Washington State codes). The 2021 editions have been approved by the state for adoption by local jurisdictions. The City has previously adopted the 2018 editions of those codes (codes run in approximately 3 year cycles). The adoption of the 2021 codes has no connection with the International Property Maintenance Code.

The proposed Ordinance adopts the 2021 editions of the applicable codes with some amendments. Fees associated with the issuance of permits under such codes have not been changed in this Ordinance.

**ITEM BUDGETED:** NA

**STRATEGIC PRIORITY:** Neighborhood and Community Building

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Pass Ordinance.

**ATTACHMENTS:**

Description	Upload Date	Type
<input type="checkbox"/> Ordinance - Redline_Title 10 changes	2/26/2024	Ordinance
<input type="checkbox"/> Ordinance - Clean_Title 10	2/27/2024	Ordinance

## ORDINANCE NO. 2024-

**AN ORDINANCE** amending certain sections of City of Yakima Municipal Code Chapter 10.05 and Chapter 10.10 Fire Code for adoption of the 2021 Washington State Fire Code

**WHEREAS**, the International Code Council publishes the International Codes and accompanying standards for adoption by state and local jurisdictions to regulate the safe construction of buildings and building systems; and

**WHEREAS**, the Washington Legislature has delegated the responsibility of amending and adopting the International Codes by reference (referred to herein as the Washington State codes) to the State Building Code Council; and

**WHEREAS**, the State Building Code Council has adopted review procedures and approval criteria for local amendments, exempting from its review the administrative provisions of the codes; and

**WHEREAS**, any jurisdiction may amend the Washington State codes provided that the amendments do not reduce the minimum performance standards of the codes; and

**WHEREAS**, the State Building Code Act requires that each local jurisdiction enforce the Washington State codes within its jurisdiction; and

**WHEREAS**, the City Council of the City of Yakima finds that it is in the best interest of the City and its residents to adopt the Washington State codes as amended by the State Building Code Council and as amended by the City of Yakima; now, therefore,

### BE IT ORDAINED BY THE CITY OF YAKIMA:

**Section 1.** The following sections of Chapter 10.05 Fire Code of the City of Yakima Municipal Code are hereby revised to read as follows:

#### **10.05.010 Adoption of codes.**

The city of Yakima hereby adopts the ~~2018~~2021 Washington State Fire Code, including Sections 503.1, 503.2 and Appendices B, C, and Sections D105.1, D105.2, D105.3, D106 and D107 of Appendix D therein, as published by the International Code Council, Inc., as adopted and maintained by the State Building Code Council in Chapter ~~51-54~~54A WAC and as modified by the amendments, additions, deletions, and exceptions provided in this chapter. Any references to the International Fire Code, the fire code, the Washington State Fire Code, or this code shall mean the ~~2018~~2021 Washington State Fire Code as referred to herein.

The above-referenced texts are incorporated in this chapter by reference. One or more copies of the texts that comprise the fire code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.

#### **10.05.025 Amendments to the Washington State Fire Code.**

A. Section 103 of the Washington State Fire Code is amended to read as follows:

## SECTION 103

### RESPONSIBILITY FOR ENFORCEMENT

**103.1 General.** The following officers are designated as fire code officials, as that term is applied throughout this code, with the duties described herein.

**103.2 Administration and Enforcement—Code Administration Manager.** Subject to the availability of sufficient budgeted funds and/or personnel, the Director of Community Development and the Code Administration Manager shall be responsible for the administration and enforcement of this code. Under his or her direction, the Division of Code Administration shall enforce all ordinances of the jurisdiction pertaining to:

1. The prevention of fires.
2. The storage, use and handling of hazardous materials.
3. The installation and maintenance of automatic, manual, and other private fire alarm systems and fire-extinguishing equipment.
4. The maintenance and regulation of fire escapes.
5. The maintenance of fire protection and the elimination of fire hazards on land and in buildings, structures, and other property including those under construction.
6. The maintenance of exits.
7. Adoption and enforcement of this code shall not be construed for the particular benefit of any individual person or group of persons, other than the general public. In the event of a conflict between the intent of this section and any other section herein, this section shall govern insofar as applicable.

**103.3 Administration and Enforcement—Fire Chief.** The Chief of the Fire Department shall be responsible for the administration and enforcement of all ordinances of the jurisdiction pertaining to:

1. The suppression or extinguishing of dangerous or hazardous fires.
2. The investigation of the cause, origin and circumstances of fires and unauthorized releases of hazardous materials.
3. Annual inspections of existing buildings after which a Certificate of Occupancy has been issued.

B. Section 104, "General," of the Washington State Fire Code, is amended to add Section 104.1.1, "Rules and Regulations," to read as follows:

**104.1.1 Rules and Regulations.** The Director of Community Development, or person designated by the Director, is authorized to make and enforce such rules and regulations for the prevention and control of fires and fire hazards as may be



necessary from time to time to carry out the intent of this code. Three certified copies of such rules and regulations shall be filed with the Yakima City Clerk and shall be in effect immediately thereafter and additional copies shall be kept in the Office of Code Administration for distribution to the public.

- C. Section 104, "General," of the Washington State Fire Code, is hereby amended to add Section 104.1.2, "Authority of Fire Code Officials to Exercise Powers of Police Officers," to read as follows:

**104.1.2 Authority of Fire Code Officials to Exercise Powers of Police**

**Officers.** The Chief of the Fire Department and Director of Community Development, together with their respective authorized representatives, shall have the powers of a police officer in performing their respective duties under this code.

- D. Section 104, "General," of the Washington State Fire Code, is hereby amended to add Section 104.1.3, "Authority and Duty of Police Personnel to Assist in Enforcing this Code," to read as follows:

**104.1.3 Authority and Duty of Police Personnel to Assist in Enforcing this**

**Code.** Whenever requested to do so by the Chief of the Fire Department or the Director of Community Development or one of their authorized representatives, the Chief of Police shall assign such available police officers as in his discretion may be necessary to assist the Fire Department or Office of Code Administration in enforcing the provisions of this Code.

- E. Section 107.1, "Inspection authority," of the Washington State Fire Code, is hereby amended to read as follows:

**107.1 Inspection authority.** The fire code official is authorized to enter and examine any building, structure, marine vessel, vehicle or premises in accordance with Section 104.3 for the purpose of enforcing this code. Subject to the availability of sufficient budgeted funds and/or personnel, the Code Administration Manager or his authorized representatives may inspect, as often as may be practicable, all buildings and premises, including such other hazards or appliances, as the Code Administration Manager or his authorized representatives may designate for the purpose of ascertaining and causing to be corrected any conditions which would reasonably tend to cause fire or contribute to its spread, or any violation of the purpose or provisions of this Code and of any other law or standard affecting fire safety.

- F. Section 110.1.1, "Unsafe conditions," of the Washington State Fire Code, is hereby amended to read as follows:

**110.1.1 Unsafe conditions.** Structures or existing equipment that are or hereafter become unsafe or deficient because of inadequate means of egress or which constitute a fire hazard, or are otherwise dangerous to human life or the public welfare, or which involve illegal or improper occupancy or inadequate maintenance, shall be deemed an unsafe condition. A vacant structure which is not secured against unauthorized entry as required by Section 311 shall be deemed unsafe. All buildings or structures which are structurally unsafe or not provided with adequate egress, or which constitute a fire hazard, or are otherwise dangerous to human life,

or which in relation to existing use constitute a hazard to safety or health, or public welfare, by reason of inadequate maintenance, dilapidation, obsolescence, fire hazard, disaster damage, or abandonment, as specified in this Code or any other effective ordinance, are, for the purpose of this Section, unsafe buildings. All such unsafe buildings are hereby declared to be public nuisances and shall be abated by repair, rehabilitation, demolition, or removal in accordance with the procedure specified in Chapters 4 through 9 of the Uniform Code for the Abatement of Dangerous Buildings or by any other procedures provided by law.

G. Section 104.10, "Fire investigations," of the Washington State Fire Code, is hereby amended to read as follows:

**104.10 Fire investigations.** The Fire Chief, the fire department or other responsible authority shall have the authority to investigate the cause, origin and circumstances of any fire, explosion or other hazardous condition. Information that could be related to trade secrets or processes shall be subject to the procedures and provisions of the Public Records Act, Chapter [42.56](#) RCW. The Fire Department shall investigate promptly the cause, origin and circumstances of each and every fire occurring in the municipality involving loss of life or injury to person or destruction or damage to property, and if it appears to the Chief of the Fire Department or his authorized representatives making the investigation that such fire is of suspicious origin, he shall then take immediate charge of all physical evidence relating to the cause of the fire and shall pursue the investigation to its conclusion. The Chief of the Fire Department or his authorized representatives shall make a report in writing of all facts and findings relative to each investigation. The Police Department shall assist the Fire Department in its investigations whenever requested to do so, unless otherwise directed by the Chief of Police.

H. Section 104.3, "Right of entry," of the Washington State Fire Code, is hereby amended to read as follows:

**104.3 Right of entry.** Whenever necessary to make an inspection to enforce any of the provisions of this code, or any rules and regulations adopted hereunder, or whenever the Code Administration Manager or any of his authorized representatives has reasonable cause to believe that there exists in any building or upon any premises any condition in violation of this code which makes such building or premises unsafe, the Code Administration Manager or any of his authorized representatives may enter such building or premises at all reasonable times to inspect; provided, that if such building or premises be occupied he shall first present proper credentials and demand entry; and if such building or premises be unoccupied, he shall first make a reasonable effort to locate the owner or other persons having charge or control of the building or premises and demand entry. If such entry is refused, the Code Administration Manager or any of his authorized representatives shall have recourse to every remedy provided by law to secure entry.

"Authorized representative" shall include the officers named in Section 104.1.2 and 104.1.3 of this code.

If the owner or occupant denies entry, the chief or his authorized representative shall obtain a proper inspection warrant or other remedy provided by law to secure entry.

No owner or occupant or any other persons having charge, care or control of any building or premises shall fail or neglect, after proper request is made as herein provided, to promptly permit entry therein by the chief or his authorized representative for the purpose of inspection and examination pursuant to this code.

I. Section 109.3, "Violation penalties," of the Washington State Fire Code, is hereby amended to read as follows:

**109.3 Violation penalties.** Persons who shall violate a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter, repair or do work in violation of the approved construction documents or directive of the fire code official, or of a permit or certificate used under provisions of this code, shall be guilty of a misdemeanor, punishable by a fine of not more than One Thousand Dollars (\$1,000) or by imprisonment not exceeding ninety (90) days, or both such fine and imprisonment. Each day that a violation continues after due notice has been served shall be deemed a separate offense.

J. Section 109, "Board of Appeals," of the Washington State Fire Code, is hereby amended to read as follows:

**Board of appeals.** In order to determine the suitability of alternate materials and type of construction and to provide for reasonable interpretations of the provisions of this Code, there ~~shall be and hereby is created a~~ Board of Appeals. ~~The Code Administration Manager shall be an ex-officio member and shall act as Secretary of the Board. The Board of Appeals shall be the hearing examiner~~ as outlined in Yakima Municipal Code section 11.04.113, ~~shall be the Board of Appeals for this Chapter.~~

K. Section 105.2, "Application," of the Washington State Fire Code, is hereby amended to read as follows:

**105.2 Application.** All applications for a permit required by this Code shall be made to the Office of Code Administration, the applicable fire code official, in such form and detail as prescribed by the Code Administration Manager. Applications for permits shall be accompanied by such plans as required by the Code Administration Manager.

**Section 2.** The following Sections of Chapter 10.10 Fire Code of the City of Yakima Municipal Code are hereby revised to read as follows:

#### **10.10.010 Purpose of chapter.**

This chapter is enacted to provide minimum requirements for installation of fire hydrants designated or approved by the code administration manager in the exercise of his duties pursuant to Sections 507, Appendix B, Appendix C ~~10.402, 10.403, 10.501, 10.502 and 10.503~~ of the ~~1994~~2021 Edition of the Washington State~~Uniform~~ Fire Code.

#### **10.10.040 Plans and installations to conform to specifications and standards—Adoption of standards by reference.**

A. Fire hydrants, connecting pipelines, valves and appurtenances, including plans and installation details not specifically regulated by this chapter, shall conform to design standards and specifications promulgated by the owner of the attendant water system, to specifications of

the city of Yakima's code administration ~~and planning~~ manager and city engineer and to accepted standards of sound engineering practices.

B. Fire hydrants, connecting pipelines, valves and appurtenances further shall conform to the specifications and standards published in the following publications which are adopted and incorporated as fully as if set out in full herein:

1. Guide for Determination of Required Fire Flow, published by the Insurance Service Office of the Municipal Survey Service;
2. Washington State Department of Health Water System Design Manual;
3. The following AWWA Standards, published by the America Water Works Association:
  - Standard C104, Ductile Iron Pipe;
  - Standard C105, Ductile Iron Pipe Encasement;
  - Standard C110, Ductile Iron Pipe Fittings;
  - Standard C111, Ductile Iron Pipe Gaskets;
  - Standard C115, Ductile Iron Pipe Flange;
  - Standard C150, Ductile Iron Pipe Design;
  - Standard C151, Ductile Iron Pipe Design;
  - Standard C502, Hydrants;
  - Standard C509, Valves;
  - Standard C600, Ductile Iron Pipe Installation;
  - Standard C651, Disinfection of Water Mains.

#### **10.10.050 Fire hydrant type and installation requirements.**

A. All public fire hydrants, which shall include those hydrants situated on a street right-of-way or public utility easement and maintained by the city or a water district, and all private fire hydrants, which shall include those hydrants situated on private property for firefighting purposes, shall be restricted primarily to use for firefighting purposes and shall be maintained accessible for immediate use for such purposes at all times pursuant to IFC Section ~~508~~507.

B. All fire hydrants shall have three total outlets; two outlets that are national thread standard hose outlets of two and one-half inches in diameter, and one five-inch Storz quarter-turn quick-connect outlet.

C. All fire hydrants shall stand plumb.

D. All fire hydrants shall be set to finished grade with the lowest outlet thereof no less than eighteen inches above grade and with no less than thirty-six inches of unobstructed area for the

operation of hydrant wrenches on all outlets and the control valve nut pursuant with IFC 508.5.5. Flush-type hydrants, which hydrants are installed below grade, are prohibited except upon written approval of the code administration and planning manager and the fire chief pursuant to a showing of extreme necessity.

E. All fire hydrants shall be installed with the pumper port facing the nearest street, unless the code administration and planning manager designates a different public highway or direction as a more likely route of fire truck approach or location for pumping.

F. All fire hydrants shall be adequately protected against vehicular damage in a manner prescribed by IFC Section 508.

G. All fire hydrants shall be equipped with an auxiliary resilient seat gate valve installed between the service line and the hydrant to permit repair or replacement of the hydrant without disruption of water service.

H. All fire hydrant installations on dead-end mains or temporarily dead-end mains shall include provisions for looping, together with minimum easements of sixteen feet therefor, unless the city engineer and the water/irrigation manager approves for good cause a different installation design.

I. All private fire hydrants situated on private property for firefighting purposes which are connected to the city of Yakima's or a water district's water system shall be equipped with a backflow prevention device as required in YMC [7.68.070](#) and be subject to monthly service charges in accordance with YMC [7.68.275](#), [7.68.280](#) and [7.68.282](#).

#### **10.10.070 Fire hydrant location and number requirements.**

A. The distance between fire hydrants in single-family zones shall be pursuant to IFC Section ~~508507~~ and IFC Appendix C.

B. The maximum distance between fire hydrants in other than single-family zones shall be pursuant to IFC Section ~~508507~~ and IFC Appendix C.

C. The length of any fire hydrant lead shall not exceed one hundred fifty feet.

D. Not more than one fire hydrant shall be installed on a six-inch main between intersecting mains and not more than two fire hydrants shall be installed on an eight-inch line between intersecting mains.

**Section 3.** Severability. If any section, subsection, paragraph, sentence, clause or phrase of this ordinance is declared invalid or unconstitutional for any reason, such decision shall not affect the validity of the remaining portions of this ordinance.

**Section 4.** This ordinance shall be in full force and effect 30 days after its passage, approval, and publication as provided by law and by the City Charter.

**PASSED BY THE CITY COUNCIL**, signed and approved this 5th day of March, 2024.

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ATTEST:

Patricia Byers, Mayor

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Rosalinda Ibarra, City Clerk

Publication Date:\_\_\_\_\_

Effective Date:\_\_\_\_\_

## **ORDINANCE NO. 2024-**

**AN ORDINANCE** amending certain sections of City of Yakima Municipal Code Chapter 10.05 and Chapter 10.10 Fire Code for adoption of the 2021 Washington State Fire Code.

**WHEREAS**, the International Code Council publishes the International Codes and accompanying standards for adoption by state and local jurisdictions to regulate the safe construction of buildings and building systems; and

**WHEREAS**, the Washington Legislature has delegated the responsibility of amending and adopting the International Codes by reference (referred to herein as the Washington State codes) to the State Building Code Council; and

**WHEREAS**, the State Building Code Council has adopted review procedures and approval criteria for local amendments, exempting from its review the administrative provisions of the codes; and

**WHEREAS**, any jurisdiction may amend the Washington State codes provided that the amendments do not reduce the minimum performance standards of the codes; and

**WHEREAS**, the State Building Code Act requires that each local jurisdiction enforce the Washington State codes within its jurisdiction; and

**WHEREAS**, the City Council of the City of Yakima finds that it is in the best interest of the City and its residents to adopt the Washington State codes as amended by the State Building Code Council and as amended by the City of Yakima; now, therefore,

### **BE IT ORDAINED BY THE CITY OF YAKIMA:**

**Section 1.** The following sections of Chapter 10.05 Fire Code of the City of Yakima Municipal Code are hereby revised to read as follows:

#### **10.05.010 Adoption of codes.**

The city of Yakima hereby adopts the 2021 Washington State Fire Code, including Sections 503.1, 503.2 and Appendices B, C, and Sections D105.1, D105.2, D105.3, D106 and D107 of Appendix D therein, as published by the International Code Council, Inc., as adopted and maintained by the State Building Code Council in Chapter [51-54A](#) WAC and as modified by the amendments, additions, deletions, and exceptions provided in this chapter. Any references to the International Fire Code, the fire code, the Washington State Fire Code, or this code shall mean the 2021 Washington State Fire Code as referred to herein.

The above-referenced texts are incorporated in this chapter by reference. One or more copies of the texts that comprise the fire code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.

#### **10.05.025 Amendments to the Washington State Fire Code.**



- A. Section 103 of the Washington State Fire Code is amended to read as follows:

**SECTION 103**

**RESPONSIBILITY FOR ENFORCEMENT**

**103.1 General.** The following officers are designated as fire code officials, as that term is applied throughout this code, with the duties described herein.

**103.2 Administration and Enforcement—Code Administration Manager.** Subject to the availability of sufficient budgeted funds and/or personnel, the Director of Community Development and the Code Administration Manager shall be responsible for the administration and enforcement of this code. Under his or her direction, the Division of Code Administration shall enforce all ordinances of the jurisdiction pertaining to:

1. The prevention of fires.
2. The storage, use and handling of hazardous materials.
3. The installation and maintenance of automatic, manual, and other private fire alarm systems and fire-extinguishing equipment.
4. The maintenance and regulation of fire escapes.
5. The maintenance of fire protection and the elimination of fire hazards on land and in buildings, structures, and other property including those under construction.
6. The maintenance of exits.
7. Adoption and enforcement of this code shall not be construed for the particular benefit of any individual person or group of persons, other than the general public. In the event of a conflict between the intent of this section and any other section herein, this section shall govern insofar as applicable.

**103.3 Administration and Enforcement—Fire Chief.** The Chief of the Fire Department shall be responsible for the administration and enforcement of all ordinances of the jurisdiction pertaining to:

1. The suppression or extinguishing of dangerous or hazardous fires.
2. The investigation of the cause, origin and circumstances of fires and unauthorized releases of hazardous materials.
3. Annual inspections of existing buildings after which a Certificate of Occupancy has been issued.

- B. Section 104, "General," of the Washington State Fire Code, is amended to add Section 104.1.1, "Rules and Regulations," to read as follows:



**104.1.1 Rules and Regulations.** The Director of Community Development, or person designated by the Director, is authorized to make and enforce such rules and regulations for the prevention and control of fires and fire hazards as may be necessary from time to time to carry out the intent of this code. Three certified copies of such rules and regulations shall be filed with the Yakima City Clerk and shall be in effect immediately thereafter and additional copies shall be kept in the Office of Code Administration for distribution to the public.

C. Section 104, "General," of the Washington State Fire Code, is hereby amended to add Section 104.1.2, "Authority of Fire Code Officials to Exercise Powers of Police Officers," to read as follows:

**104.1.2 Authority of Fire Code Officials to Exercise Powers of Police Officers.** The Chief of the Fire Department and Director of Community Development, together with their respective authorized representatives, shall have the powers of a police officer in performing their respective duties under this code.

D. Section 104, "General," of the Washington State Fire Code, is hereby amended to add Section 104.1.3, "Authority and Duty of Police Personnel to Assist in Enforcing this Code," to read as follows:

**104.1.3 Authority and Duty of Police Personnel to Assist in Enforcing this Code.** Whenever requested to do so by the Chief of the Fire Department or the Director of Community Development or one of their authorized representatives, the Chief of Police shall assign such available police officers as in his discretion may be necessary to assist the Fire Department or Office of Code Administration in enforcing the provisions of this Code.

E. Section 107.1, "Inspection authority," of the Washington State Fire Code, is hereby amended to read as follows:

**107.1 Inspection authority.** The fire code official is authorized to enter and examine any building, structure, marine vessel, vehicle or premises in accordance with Section 104.3 for the purpose of enforcing this code. Subject to the availability of sufficient budgeted funds and/or personnel, the Code Administration Manager or his authorized representatives may inspect, as often as may be practicable, all buildings and premises, including such other hazards or appliances, as the Code Administration Manager or his authorized representatives may designate for the purpose of ascertaining and causing to be corrected any conditions which would reasonably tend to cause fire or contribute to its spread, or any violation of the purpose or provisions of this Code and of any other law or standard affecting fire safety.

F. Section 110.1.1, "Unsafe conditions," of the Washington State Fire Code, is hereby amended to read as follows:

**110.1.1 Unsafe conditions.** Structures or existing equipment that are or hereafter become unsafe or deficient because of inadequate means of egress or which constitute a fire hazard, or are otherwise dangerous to human life or the public welfare, or which involve illegal or improper occupancy or inadequate maintenance,

shall be deemed an unsafe condition. A vacant structure which is not secured against unauthorized entry as required by Section 311 shall be deemed unsafe. All buildings or structures which are structurally unsafe or not provided with adequate egress, or which constitute a fire hazard, or are otherwise dangerous to human life, or which in relation to existing use constitute a hazard to safety or health, or public welfare, by reason of inadequate maintenance, dilapidation, obsolescence, fire hazard, disaster damage, or abandonment, as specified in this Code or any other effective ordinance, are, for the purpose of this Section, unsafe buildings. All such unsafe buildings are hereby declared to be public nuisances and shall be abated by repair, rehabilitation, demolition, or removal in accordance with the procedure specified in Chapters 4 through 9 of the Uniform Code for the Abatement of Dangerous Buildings or by any other procedures provided by law.

G. Section 104.10, "Fire investigations," of the Washington State Fire Code, is hereby amended to read as follows:

**104.10 Fire investigations.** The Fire Chief, the fire department or other responsible authority shall have the authority to investigate the cause, origin and circumstances of any fire, explosion or other hazardous condition. Information that could be related to trade secrets or processes shall be subject to the procedures and provisions of the Public Records Act, Chapter [42.56](#) RCW. The Fire Department shall investigate promptly the cause, origin and circumstances of each and every fire occurring in the municipality involving loss of life or injury to person or destruction or damage to property, and if it appears to the Chief of the Fire Department or his authorized representatives making the investigation that such fire is of suspicious origin, he shall then take immediate charge of all physical evidence relating to the cause of the fire and shall pursue the investigation to its conclusion. The Chief of the Fire Department or his authorized representatives shall make a report in writing of all facts and findings relative to each investigation. The Police Department shall assist the Fire Department in its investigations whenever requested to do so, unless otherwise directed by the Chief of Police.

H. Section 104.3, "Right of entry," of the Washington State Fire Code, is hereby amended to read as follows:

**104.3 Right of entry.** Whenever necessary to make an inspection to enforce any of the provisions of this code, or any rules and regulations adopted hereunder, or whenever the Code Administration Manager or any of his authorized representatives has reasonable cause to believe that there exists in any building or upon any premises any condition in violation of this code which makes such building or premises unsafe, the Code Administration Manager or any of his authorized representatives may enter such building or premises at all reasonable times to inspect; provided, that if such building or premises be occupied he shall first present proper credentials and demand entry; and if such building or premises be unoccupied, he shall first make a reasonable effort to locate the owner or other persons having charge or control of the building or premises and demand entry. If such entry is refused, the Code Administration Manager or any of his authorized representatives shall have recourse to every remedy provided by law to secure entry.

“Authorized representative” shall include the officers named in Section 104.1.2 and 104.1.3 of this code.

If the owner or occupant denies entry, the chief or his authorized representative shall obtain a proper inspection warrant or other remedy provided by law to secure entry. No owner or occupant or any other persons having charge, care or control of any building or premises shall fail or neglect, after proper request is made as herein provided, to promptly permit entry therein by the chief or his authorized representative for the purpose of inspection and examination pursuant to this code.

I. Section 109.3, “Violation penalties,” of the Washington State Fire Code, is hereby amended to read as follows:

**109.3 Violation penalties.** Persons who shall violate a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter, repair or do work in violation of the approved construction documents or directive of the fire code official, or of a permit or certificate used under provisions of this code, shall be guilty of a misdemeanor, punishable by a fine of not more than One Thousand Dollars (\$1,000) or by imprisonment not exceeding ninety (90) days, or both such fine and imprisonment. Each day that a violation continues after due notice has been served shall be deemed a separate offense.

J. Section 109, “Board of Appeals,” of the Washington State Fire Code, is hereby amended to read as follows:

**Board of appeals.** In order to determine the suitability of alternate materials and type of construction and to provide for reasonable interpretations of the provisions of this Code, the Board of Appeals shall be the hearing examiner as outlined in Yakima Municipal Code section [11.04.113](#).

K. Section 105.2, “Application,” of the Washington State Fire Code, is hereby amended to read as follows:

**105.2 Application.** All applications for a permit required by this Code shall be made to the Office of Code Administration, the applicable fire code official, in such form and detail as prescribed by the Code Administration Manager. Applications for permits shall be accompanied by such plans as required by the Code Administration Manager.

**Section 2.** The following Sections of Chapter 10.10 Fire Code of the City of Yakima Municipal Code are hereby revised to read as follows:

**10.10.010 Purpose of chapter.**

This chapter is enacted to provide minimum requirements for installation of fire hydrants designated or approved by the code administration manager in the exercise of his duties pursuant to Sections 507, Appendix B, Appendix C of the 2021 Edition of the Washington State Fire Code.

**10.10.040 Plans and installations to conform to specifications and standards—Adoption of standards by reference.**

A. Fire hydrants, connecting pipelines, valves and appurtenances, including plans and installation details not specifically regulated by this chapter, shall conform to design standards and specifications promulgated by the owner of the attendant water system, to specifications of the city of Yakima's code administration manager and city engineer and to accepted standards of sound engineering practices.

B. Fire hydrants, connecting pipelines, valves and appurtenances further shall conform to the specifications and standards published in the following publications which are adopted and incorporated as fully as if set out in full herein:

1. Guide for Determination of Required Fire Flow, published by the Insurance Service Office of the Municipal Survey Service;
2. Washington State Department of Health Water System Design Manual;
3. The following AWWA Standards, published by the America Water Works Association:
  - Standard C104, Ductile Iron Pipe;
  - Standard C105, Ductile Iron Pipe Encasement;
  - Standard C110, Ductile Iron Pipe Fittings;
  - Standard C111, Ductile Iron Pipe Gaskets;
  - Standard C115, Ductile Iron Pipe Flange;
  - Standard C150, Ductile Iron Pipe Design;
  - Standard C151, Ductile Iron Pipe Design;
  - Standard C502, Hydrants;
  - Standard C509, Valves;
  - Standard C600, Ductile Iron Pipe Installation;
  - Standard C651, Disinfection of Water Mains.

#### **10.10.050 Fire hydrant type and installation requirements.**

A. All public fire hydrants, which shall include those hydrants situated on a street right-of-way or public utility easement and maintained by the city or a water district, and all private fire hydrants, which shall include those hydrants situated on private property for firefighting purposes, shall be restricted primarily to use for firefighting purposes and shall be maintained accessible for immediate use for such purposes at all times pursuant to IFC Section 507.

B. All fire hydrants shall have three total outlets; two outlets that are national thread standard hose outlets of two and one-half inches in diameter, and one five-inch Storz quarter-turn quick-connect outlet.

C. All fire hydrants shall stand plumb.

- D. All fire hydrants shall be set to finished grade with the lowest outlet thereof no less than eighteen inches above grade and with no less than thirty-six inches of unobstructed area for the operation of hydrant wrenches on all outlets and the control valve nut pursuant with IFC 508.5.5. Flush-type hydrants, which hydrants are installed below grade, are prohibited except upon written approval of the code administration and planning manager and the fire chief pursuant to a showing of extreme necessity.
- E. All fire hydrants shall be installed with the pumper port facing the nearest street, unless the code administration and planning manager designates a different public highway or direction as a more likely route of fire truck approach or location for pumping.
- F. All fire hydrants shall be adequately protected against vehicular damage in a manner prescribed by IFC Section 508.
- G. All fire hydrants shall be equipped with an auxiliary resilient seat gate valve installed between the service line and the hydrant to permit repair or replacement of the hydrant without disruption of water service.
- H. All fire hydrant installations on dead-end mains or temporarily dead-end mains shall include provisions for looping, together with minimum easements of sixteen feet therefor, unless the city engineer and the water/irrigation manager approves for good cause a different installation design.
- I. All private fire hydrants situated on private property for firefighting purposes which are connected to the city of Yakima's or a water district's water system shall be equipped with a backflow prevention device as required in YMC [7.68.070](#) and be subject to monthly service charges in accordance with YMC [7.68.275](#), [7.68.280](#) and [7.68.282](#).

**10.10.070 Fire hydrant location and number requirements.**

- A. The distance between fire hydrants in single-family zones shall be pursuant to IFC Section 507 and IFC Appendix C.
- B. The maximum distance between fire hydrants in other than single-family zones shall be pursuant to IFC Section 507 and IFC Appendix C.
- C. The length of any fire hydrant lead shall not exceed one hundred fifty feet.
- D. Not more than one fire hydrant shall be installed on a six-inch main between intersecting mains and not more than two fire hydrants shall be installed on an eight-inch line between intersecting mains.

**Section 3.** Severability. If any section, subsection, paragraph, sentence, clause or phrase of this ordinance is declared invalid or unconstitutional for any reason, such decision shall not affect the validity of the remaining portions of this ordinance.

**Section 4.** This ordinance shall be in full force and effect 30 days after its passage, approval, and publication as provided by law and by the City Charter.

**PASSED BY THE CITY COUNCIL**, signed and approved this 5th day of March, 2024.

ATTEST:

\_\_\_\_\_  
Patricia Byers, Mayor

\_\_\_\_\_  
Rosalinda Ibarra, City Clerk

Publication Date:\_\_\_\_\_

Effective Date:\_\_\_\_\_



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 12.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Ordinance amending sections of Yakima Municipal Code Title 11  
Buildings for adoption of the 2021 Washington State Codes

**SUBMITTED BY:** Joan Davenport, Community Development Director  
Glenn Denman, Code Administration Manager

**SUMMARY EXPLANATION:**

Washington State law requires cities and counties to adopt the state adopted editions of the International and Uniform Codes (most are now called the Washington State codes). The 2021 editions have been approved by the state for adoption by local jurisdictions. The City has previously adopted the 2018 editions of those codes (codes run in approximately 3 year cycles). The adoption of the 2021 codes has no connection with the International Property Maintenance Code.

The proposed Ordinance adopts the 2021 editions of the applicable codes with some amendments. Fees associated with the issuance of permits under such codes have not been changed in this Ordinance.

**ITEM BUDGETED:** NA

**STRATEGIC PRIORITY:** Neighborhood and Community Building

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

Pass Ordinance.

**ATTACHMENTS:**

Description	Upload Date	Type
<input type="checkbox"/> Ordinance - Redline_Title 11 changes	2/26/2024	Ordinance
<input type="checkbox"/> Ordinance - Clean_Title 11 changes	2/26/2024	Ordinance

## ORDINANCE NO. 2024-

**AN ORDINANCE** amending certain sections of City of Yakima Municipal Code Chapter 11.04 Building Code, Chapter 11.12 Existing Building Code; Chapter 11.18 Fuel Gas Code, Chapter 11.22 Residential Code, Chapter 11.32 Mechanical Code and Chapter 11.44 Plumbing Code for adoption of the 2021 Washington State Codes

**WHEREAS**, the International Code Council publishes the International Codes and accompanying standards for adoption by state and local jurisdictions to regulate the safe construction of buildings and building systems; and

**WHEREAS**, the Washington Legislature has delegated the responsibility of amending and adopting the International Codes by reference (referred to herein as the Washington State codes) to the State Building Code Council; and

**WHEREAS**, the State Building Code Council has adopted review procedures and approval criteria for local amendments, exempting from its review the administrative provisions of the codes; and

**WHEREAS**, any jurisdiction may amend the Washington State codes provided that the amendments do not reduce the minimum performance standards of the codes; and

**WHEREAS**, the State Building Code Act requires that each local jurisdiction enforce the Washington State codes within its jurisdiction; and

**WHEREAS**, the City Council of the City of Yakima finds that it is in the best interest of the City and its residents to adopt the Washington State codes as amended by the State Building Code Council and as amended by the City of Yakima; now, therefore,

### **BE IT ORDAINED BY THE CITY OF YAKIMA:**

**Section 1.** The following Sections of Chapter 11.04 Building Code of the City of Yakima Municipal Code are hereby revised to read as follows:

#### **11.04.010 City of Yakima building code.**

The city of Yakima hereby adopts the ~~2018~~2021 Washington State Building Code, including Sections 101 through 111 of Appendix E (Supplementary Accessibility Requirements), Appendix G and Appendix J, as published by the International Code Council, Inc., as adopted and maintained by the State Building Code Council in Chapter 51-50 WAC and as modified by the amendments, additions, deletions, and exceptions provided in this chapter. Any references to the International Building Code, the building code, the Washington State Building Code, or this code shall mean the ~~2018~~2021 Washington State Building Code as referred to herein.

The above-referenced texts are incorporated in this chapter by reference. One or more copies of the texts that comprise the building code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.



#### **~~11.04.040 Refund of plan review fees upon permit application withdrawal.~~**

~~In the event that a permit application is withdrawn by the applicant before any plan review is commenced by the building official or his/her designee, the applicant may submit a written refund application to the building official within thirty calendar days thereof. The building official shall then authorize a refund of eighty percent of the paid plan review fee.~~

#### **~~11.04.111.5 Addition to Section 111.~~**

~~Subsection 111.5 is added as a new subsection to Section 111 of the Washington State Building Code to read as follows:~~

~~**111.5 Public nuisance.** It is a public nuisance to use or occupy a building or structure, or any part thereof, without having been issued a valid certificate of occupancy for such building, structure or part thereof by the building official as provided herein. Such public nuisance shall be subject to prevention or abatement by injunction or other appropriate legal remedy in the Superior Court of Washington in Yakima County.~~

#### **11.04.113 Amendment to Section 113.**

Section 113 of the Washington State Building Code is amended to read as follows:

#### **Section 113 Board of Appeals**

**113.1 General.** Any person directly affected by a decision of the code official or a notice or order issued under this code shall have the right to appeal to the hearing examiner, provided that a written application for appeal is filed within 20 days after the day the decision, notice or order was served. An application for appeal shall be based on a claim that the true intent of this code or the rules legally adopted thereunder have been incorrectly interpreted, the provisions of this code do not fully apply, or the requirements of this code are adequately satisfied by other means.

~~In order to hear and decide appeals of orders, decisions or determinations made by the building official relative to the application and interpretation of this code, there shall be and is hereby created a board of appeals. The board of appeals shall be appointed by the Yakima City Council and shall hold office at its pleasure for a term of three years. The board shall adopt rules of procedure for conducting its business, and shall render all decisions and findings in writing to the appellant with a duplicate copy to the building official.~~

~~**113.2 Limitations on authority.** The board of appeals shall hear and decide appeals of orders, decisions or determinations made by the building official relative to the application and interpretation of this code. An application for appeal shall be based on a claim that the true intent of this code or the rules legally adopted thereunder have been incorrectly interpreted, the provisions of this code do not apply or a better form of construction is proposed. The board of appeals shall have no authority relative to interpretation of the administrative provisions of this code nor to waive requirements of this code.~~

~~**113.3 Qualifications.** The board of appeals shall consist of seven members who are qualified by experience and training to pass on matters pertaining to building~~

~~construction and are not employees of the jurisdiction, and who shall be appointed from the following areas: one architect; one engineer; one building and construction contractor; one developer; one representative from the general public, one Washington state journeyman plumber; and one Washington state journeyman mechanical contractor. The building official and/or the Fire Chief or a designee shall be an ex-officio member of and shall act as secretary to said board but shall have no vote on any matter before the board.~~

#### **11.04.903.2 Amendment to Section 903.2.**

~~An additional automatic sprinkler system exception is added to Section 903.2 of the International Building Code as adopted and maintained by the State Building Code Council and shall read as follows:~~

~~**Additional exception:** Automatic sprinkler systems shall not be required for controlled atmosphere storage rooms in which refrigeration apparatus is installed to control the temperature in the storage rooms and gas-tight seals are incorporated in the construction of the rooms. In addition, gas-tight seals must be used to facilitate the maintenance of an atmosphere within the storage rooms that is lower in oxygen content and higher in nitrogen and carbon dioxide content than normal atmosphere.~~

#### **11.04.1605.6 Addition of Table 1605.6.**

Subsection 11.04.1605.6 is added as a new subsection to Section 1605 (Load Combinations) of the Washington State Building Code to read as follows:

#### **1605.6 Climatic and Geographic Design Criteria**

The climatic and geographic design criteria table provided in YMC [11.22](#). R301.2(1) are applicable to and incorporated into this chapter as Table 1605.6. In the event that these design criteria conflict with design criteria provided elsewhere in YMC Chapter [11.04](#) or Chapter 16 of the International Building Code, these design criteria shall control unless the building official determines otherwise for a specific structure with special local conditions.

**TABLE 1605.6**

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

<b>Ground SNOW LOAD (a)</b>	<b>Wind Speed (mph) (b)</b>	<b>Wind Topographi c Effects</b>	<b>SEISMIC DESIGN CATEGOR Y (c)</b>	<b>Subject to damage from</b>			<b>Winter Desig n Temp</b>	<b>ICE SHIELD UNDERLAYMEN T REQUIRED</b>	<b>FLOOD HAZARD S</b>	<b>AIR FREEZIN G INDEX</b>	<b>MEAN ANNUA L TEMP</b>
				<b>Weatherin g</b>	<b>Frost line dept h</b>	<b>Termit e</b>					
19	(110)	NO	D	SEVERE	24	S—M	8	Yes	1973	1000	45

For SI: 1 pound per square foot = 0.0479 kN/m<sup>2</sup>, 1 mile per hour = 1.609 km/h.

- a. Minimum uniform roof snow load shall be 30 psf.
- b. May be reduced in accordance with the International Building Code Table 1609.3.1.
- c. May be reduced in accordance with the International Building Code Section 1613.

#### ~~11.04.1608.1.1 Addition of Section 1608.1.1.~~

~~The Washington State Building Code is hereby amended to add 1608.1.1 as follows:~~

~~**1608.1.1 General.** Design snow loads shall be determined in accordance with Chapter 7 of ASCE 7, but the minimum uniform roof snow load shall be 30 psf.~~

#### **11.04.1801 Amendment to Section 1801.1.**

Subsection 1801.1.1 is added as a new subsection to Section 1801 (Foundations) of the International Building Code as adopted and maintained by the State Building Code Council to read as follows:

##### **1801.1.1 Foundation Exemptions for Intermodal Shipping Containers.**

Foundations are not required to be provided for intermodal shipping containers provided that containers:

- a. Are not accessed or used by the general public, e.g. people other than owners or employees of the business entity to which the containers are an accessory use;
- b. Are placed on an improved surface such as gravel, blacktop or concrete;
- c. Have not been modified from their original construction;
- d. Are used as ~~S-1 or S-2 low to moderate hazard~~ storage occupancies only, ~~only~~; and
- e. Are accessory to an approved and permitted use.

This exception applies to containers approved for use other than as temporary S-1 or S-2 storage and must comply with all other provisions of the code, including, but not limited to: permits, site plans, building areas, building occupancy and zoning.

#### ~~11.04.1802.3 Addition to Section 1802.~~

~~Subsection 11.04.1802.3 is added as a new subsection to Section 1802 of the Washington State Building Code to read as follows:~~

~~**1802.3 Definitions.** The following words and terms shall, for the purposes of this section, have the meanings shown herein.~~

~~**Undisturbed soil.** Soil or soil profile, unaltered by removal or other man-induced changes, except for agricultural activities, that would adversely affect the in-situ or operation of on-lot systems. This soil material and the in-situ soil mass have not been disturbed.~~

~~**Soil.** Any uncemented or weakly cemented accumulation of material particles formed by the weathering of rocks, the void space between particles containing water and/or air.~~

~~**In-situ.** Soil in the natural or original position.~~

~~**Soil compaction.** The process of increasing the density of a soil by packing the particles closer together with a reduction in the volume of air. The higher the degree of compaction, the higher will be the shear strength and lower will be the compressibility of the soil.~~

#### ~~11.04.3303.1 Amendment to Section 3303.1.~~

~~Section 3303.1 of the 2015 Edition of the International Building Code as adopted and maintained by the State Building Code Council is amended to read as follows:~~

~~**3303.1 Construction documents.** Construction documents and a schedule for demolition must be submitted when required by the building official. Where such information is required, no work shall be done until such construction documents or schedule, or both, are approved.~~

**Section 2.** The following sections of Chapter 11.12 Existing Building Code of the City of Yakima Municipal Code are hereby revised to read as follows:

#### **11.12.010 City of Yakima existing building code.**

The city of Yakima hereby adopts the ~~2018~~2021 Edition of the Washington State Existing Building Code, as published by the International Code Council, Inc., and as adopted and maintained by the State Building Code Council in Chapter [51-50](#) WAC as the existing building code for the City of Yakima.

#### **11.12.112 Amendment to Section 112 Board of Appeals.**

The ~~board of appeals~~hearing examiner, as outlined in YMC [11.04.113](#), shall be the board of appeals for this chapter.

**Section 3.** The following sections of Chapter 11.18 Fuel Code of the City of Yakima Municipal Code are hereby revised to read as follows:

#### **11.18.010 City fuel gas code.**

The fuel gas code of the city of Yakima shall be comprised of the ~~2018~~2021 Edition of the International Fuel Gas Code, as published by the International Code Council, Inc., and as adopted and maintained by the State Building Code Council in WAC [51-52-21000](#).

The above-referenced text is incorporated in this chapter by reference. One or more copies of the text that comprises the fuel gas code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.

#### **11.18.109 Amendment to Section 109 Board of Appeals.**

The ~~board of appeals~~hearing examiner, as outlined in YMC [11.04.113](#), shall be the board of appeals for this chapter.

**Section 4.** The following sections of Chapter 11.22 Residential Code of the City of Yakima Municipal Code are hereby revised to read as follows:

#### **11.22.010 City residential code.**

The city of Yakima hereby adopts the ~~2018~~2021 Washington State Residential Code, including Appendix Q (Tiny Homes), as published by the International Code Council, Inc., as adopted and

maintained by the State Building Code Council in Chapter [51-51](#) WAC and as modified by the amendments, additions, deletions, and exceptions provided in this chapter. Any references to the International Residential Code, the residential code, the Washington State Residential Code, or “this code” shall mean the ~~2018~~[2021](#) Washington State Residential Code as referred to herein.

The above-referenced texts are incorporated in this chapter by reference. One or more copies of the texts that comprise the residential code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.

**11.22.112 Board of appeals.**

The ~~board of appeals~~[hearing examiner](#), as outlined in YMC [11.04.113](#), shall be the board of appeals for this chapter.

**11.22.R301.2(1) Amendment to Table R301.2(1).**

Table R301.2(1) of the International Residential Code as adopted and maintained by the State Building Code Council is amended to read as follows:

**TABLE R301.2(1)**

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

Ground Snow Load (a)	Wind Speed (mph)	Wind Topographic Effects	Seismic Design Category	Subject to damage from			Winter Design Temp	Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temp
				Weathering	Frost line depth	Termite					
19 <u>(b)</u>	85	NO	C	SEVERE	24	S—M	8	Yes	1973	1000	45

For SI: 1 pound per square foot = 0.0479 kN/m<sup>2</sup>, 1 mile per hour = 1.609 km/h.

a. Minimum uniform roof snow load shall be ~~30~~20 psf up to elevations of 1166 feet. Elevations above 1166 feet shall be minimum 25 psf.

~~a.b.~~ Case specific analysis may be utilized in lieu of prescriptive loads for elevations above 1166 feet.

**Section 5.** The following sections of Chapter 11.32 Mechanical Code of the City of Yakima Municipal Code are hereby revised to read as follows:

**11.32.010 City mechanical code.**

The city of Yakima hereby adopts the ~~2018~~2021 Washington State Mechanical Code, as published by the International Code Council, Inc., as adopted and maintained by the State Building Code Council in Chapter ~~51-52~~ WAC and as modified by the amendments, additions, deletions, and exceptions provided in this chapter. Any references to the International Mechanical Code, the mechanical code, the Washington State Mechanical Code, or “this code” shall mean the ~~2018~~2021 Washington State Mechanical Code as referred to herein.

The above-referenced texts are incorporated in this chapter by reference. One or more copies of the texts that comprise the mechanical code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.

**11.32.109 Amendment to Section 109.**

The ~~board of appeals~~hearing examiner, as outlined in YMC ~~11.04.113~~, shall be the board of appeals for this chapter.

**Section 6.** The following sections of Chapter 11.44 Plumbing Code of the City of Yakima Municipal Code are hereby revised to read as follows:

**11.44.010 Adoption of Uniform Plumbing Code.**

The Uniform Plumbing Code, ~~2018~~2021 Edition, of the International Association of Plumbing and Mechanical Officials, excluding Chapter 12, but including IAPMO installation standards and appendices thereto, consisting of Appendix A, “Rules for Sizing the Water Systems,” Appendix B, “Combination Waste and Vent Systems,” and Appendix I, “Installation Standards,” of which one or more copies each have been filed and are now on file in the office of the code administration manager of the city of Yakima, is adopted and incorporated as fully as if set out in full herein, as the plumbing code of the city of Yakima, except as hereinafter amended, and the provisions and regulations thereof are adopted as the provisions and regulations of the city of Yakima; and several sections or numbers therein shall constitute, and may be referred to as, the numbers of this chapter.

The above-referenced texts are incorporated in this chapter by reference. One or more copies of the texts that comprise the plumbing code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.

**11.44.040 Amendment to Part 1—Administration.**

Part 1, Administration, of the Uniform Plumbing Code, as applied to the city of Yakima, is amended to read as follows:

10.1. Title. This ordinance shall be known as the “Uniform Plumbing Code” and will be referred to as “this Code” herein.

10.2. Purpose. This code is an ordinance providing minimum requirements and standards for the protection of the public health, safety and welfare. Enforcement and adoption of this Code shall not be construed for the particular benefit of any individual person or group of persons, other than the general public. In the event of a conflict between the intent of this subsection and any other section herein, this subsection shall govern insofar as applicable.



### 10.3. Scope.

(a) Moved Buildings. Plumbing systems which are a part of buildings or structures moved into this jurisdiction shall comply with the provisions of this Code for new installations.

### 10.4. Authority to Abate

(a) Any portion of a plumbing system found by the Administrative Authority to be insanitary, as defined herein, is hereby declared to be a nuisance.

(b) Where a nuisance exists or a plumbing system is maintained in violation of this Code or any notice issued pursuant to this section, the Administrative Authority shall require the nuisance or violation to be abated and, where necessary, shall seek such abatement in the manner provided by law.

20.1 Administrative Authority. Whenever the term "Administrative Authority" is used in this Code, it shall mean the Code Administrative Manager or his authorized representative.

### 20.2 Duties and Powers of Administrative Authority.

(a) The Administrative Authority may appoint such assistants, deputies, inspectors, or other employees as are necessary to carry out the functions of the department and this Code.

(b) Right of Entry. Whenever it is necessary to make an inspection to enforce the provisions of this code, or whenever the Administrative Authority or his authorized representative has reasonable cause to believe that there exists in any building or upon any premises, any condition or violation of this Code which make the building or premises unsafe, insanitary, dangerous or hazardous, the Administrative Authority or his or her authorized representative may enter the building or premises at all reasonable times to inspect or to perform the duties imposed upon the Administrative Authority by this Code, provided that if such building or premises is occupied, ~~he~~ Administrative Authority shall present ~~his~~ credentials to the occupant and request entry. If such building or premises is unoccupied, ~~he shall first make a~~ reasonable effort shall first be made to locate the owner or the other person having charge or control of the building or premises and request entry. If entry is refused, the Administrative Authority or his or her authorized representative has recourse to every remedy provided by law to secure entry.

When the Administrative Authority or his or her authorized representative shall have first obtained a proper inspection warrant or other remedy provided by law to secure entry, no owner, occupant, or person having charge, care, or control of any building or premises shall fail or neglect, after proper request is made as herein provided, to promptly permit entry herein by the Administrative Authority or his or her authorized representative for the purpose of inspection and examination pursuant to this code.

(c) Stop Orders. Whenever any work being done contrary to the provisions of this Code, the Administrative Authority may order the work stopped by notice in writing served on any persons engaged in the doing or causing such work to be done, and

any such persons shall forthwith stop work until authorized by the Administrative Authority to proceed with the work.

(d) Authority to Disconnect Utilities in Emergencies. The Administrative Authority and his or her authorized representative shall have the authority to disconnect a plumbing system to a building, structure or equipment regulated by this Code in case of emergency where necessary to eliminate an immediate hazard to life or property.

(e) Authority to Condemn. Whenever the Administrative Authority ascertains that any plumbing system or portion thereof, regulated by this Code, has become hazardous to life, health, property, or has become insanitary, ~~he~~ the Administrative Authority shall order in writing that such plumbing either be removed or placed in a safe or sanitary condition, as appropriate. The order shall fix a reasonable time limit for compliance. No person shall use or maintain defective plumbing after receiving such notice.

When such plumbing system is to be disconnected, written notice shall be given. In cases of immediate danger to life or property, such disconnection may be made immediately without such notice.

(f) Liability. The Administrative Authority or his or her authorized representative, charged with the enforcement of this Code, acting in good faith and without malice in the discharge of duties, shall not thereby render himself personally liable for any damage that may accrue to the persons or property as a result of any act or by reason of any act or omission in the discharge of his duties. A suit brought against the Administrative Authority or employee because of such act or omission performed by him in the enforcement of any provision of this Code shall be defended by legal counsel provided by this jurisdiction until final termination of such proceedings.

### 20.3 Violation and Penalties.

(a) Any person, firm or corporation violating any provision of this Code shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be punishable by a fine not to exceed \$250.00, or by imprisonment in the jail facility for the City of Yakima not to exceed 90 days, or by both such fine and imprisonment. Each separate day or any portion thereof, during which any violation of this Code occurs or continues, shall be deemed to constitute a separate offense and, upon conviction thereof, shall be punishable as herein provided. The issuance or granting of a permit or approval of plans and specifications shall not be deemed or construed to be a permit for, or an approval of, any violation of any of the provisions of this Code. No permit presuming to give authority to violate or cancel the provisions of this Code shall be valid, except insofar as the work or use which it authorized is lawful.

(b) The issuance or granting of a permit or approval of plans shall not prevent the Administrative Authority from thereafter requiring the correction of errors in said plans and specifications or from preventing construction operations being carried on thereunder when in violation of this Code or any other ordinance or from revoking any Certificate of Approval when issued in error.

(c) Every permit issued by the Administrative Authority under the provisions of this Code shall expire by limitation and become null and void if the work authorized by

such permit is not commenced within 180 days from the date of issuance of such permit, or if the work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days. Before such work can be recommenced, a new permit shall first be obtained to do so.

(d) The City Council shall adopt by resolution a schedule of fees for plumbing permits and plan review.

**11.44.120 Board of appeals.**

In order to determine the suitability of alternate materials and methods of construction and to provide reasonable interpretations of the provisions of this code, the ~~board of appeals~~hearing examiner as set forth in YMC [11.04.113](#) shall also serve as the board of appeals for this code.

**Section 7.** The following sections are hereby repealed:

11.04.040  
11.04.111.5  
11.04.903.2  
11.04.1608.1.1  
11.04.1802.3  
11.04.3303.1

**Section 8.** Severability. If any section, subsection, paragraph, sentence, clause or phrase of this ordinance is declared invalid or unconstitutional for any reason, such decision shall not affect the validity of the remaining portions of this ordinance.

**Section 9.** This ordinance shall be in full force and effect 30 days after its passage, approval, and publication as provided by law and by the City Charter.

**PASSED BY THE CITY COUNCIL**, signed and approved this 5th day of March, 2024.

ATTEST:

\_\_\_\_\_  
Patricia Byers, Mayor

\_\_\_\_\_  
Rosalinda Ibarra, City Clerk

Publication Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

## **ORDINANCE NO. 2024-**

**AN ORDINANCE** amending certain sections of City of Yakima Municipal Code Chapter 11.04 Building Code, Chapter 11.12 Existing Building Code; Chapter 11.18 Fuel Gas Code, Chapter 11.22 Residential Code, Chapter 11.32 Mechanical Code and Chapter 11.44 Plumbing Code for adoption of the 2021 Washington State Codes

**WHEREAS**, the International Code Council publishes the International Codes and accompanying standards for adoption by state and local jurisdictions to regulate the safe construction of buildings and building systems; and

**WHEREAS**, the Washington Legislature has delegated the responsibility of amending and adopting the International Codes by reference (referred to herein as the Washington State codes) to the State Building Code Council; and

**WHEREAS**, the State Building Code Council has adopted review procedures and approval criteria for local amendments, exempting from its review the administrative provisions of the codes; and

**WHEREAS**, any jurisdiction may amend the Washington State codes provided that the amendments do not reduce the minimum performance standards of the codes; and

**WHEREAS**, the State Building Code Act requires that each local jurisdiction enforce the Washington State codes within its jurisdiction; and

**WHEREAS**, the City Council of the City of Yakima finds that it is in the best interest of the City and its residents to adopt the Washington State codes as amended by the State Building Code Council and as amended by the City of Yakima; now, therefore,

### **BE IT ORDAINED BY THE CITY OF YAKIMA:**

**Section 1.** The following Sections of Chapter 11.04 Building Code of the City of Yakima Municipal Code are hereby revised to read as follows:

#### **11.04.010 City of Yakima building code.**

The city of Yakima hereby adopts the 2021 Washington State Building Code, including Sections 101 through 111 of Appendix E (Supplementary Accessibility Requirements), Appendix G and Appendix J, as published by the International Code Council, Inc., as adopted and maintained by the State Building Code Council in Chapter [51-50](#) WAC and as modified by the amendments, additions, deletions, and exceptions provided in this chapter. Any references to the International Building Code, the building code, the Washington State Building Code, or this code shall mean the 2021 Washington State Building Code as referred to herein.

The above-referenced texts are incorporated in this chapter by reference. One or more copies of the texts that comprise the building code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.

#### **11.04.113 Amendment to Section 113.**

Section 113 of the Washington State Building Code is amended to read as follows:

#### **Section 113 Board of Appeals**

**113.1 General.** Any person directly affected by a decision of the code official or a notice or order issued under this code shall have the right to appeal to the hearing examiner, provided that a written application for appeal is filed within 20 days after the day of the decision, notice or order was served. An application for appeal shall be based on a claim that the true intent of this code or the rules legally adopted thereunder have been incorrectly interpreted, the provisions of this code do not fully apply, or the requirements of this code are adequately satisfied by other means.

#### **11.04.1605.6 Addition of Table 1605.6.**

Subsection 11.04.1605.6 is added as a new subsection to Section 1605 (Load Combinations) of the Washington State Building Code to read as follows:

#### **1605.6 Climatic and Geographic Design Criteria**

The climatic and geographic design criteria table provided in [YMC 11.22](#). R301.2(1) are applicable to and incorporated into this chapter as Table 1605.6. In the event that these design criteria conflict with design criteria provided elsewhere in YMC Chapter [11.04](#) or Chapter 16 of the International Building Code, these design criteria shall control unless the building official determines otherwise for a specific structure with special local conditions.

#### **11.04.1801 Amendment to Section 1801.1.**

Subsection 1801.1.1 is added as a new subsection to Section 1801 (Foundations) of the International Building Code as adopted and maintained by the State Building Code Council to read as follows:

#### **1801.1.1 Foundation Exemptions for Intermodal Shipping Containers.**

Foundations are not required to be provided for intermodal shipping containers provided that containers:

- a. Are not accessed or used by the general public, e.g. people other than owners or employees of the business entity to which the containers are an accessory use;
- b. Are placed on an improved surface such as gravel, blacktop or concrete;
- c. Have not been modified from their original construction;
- d. Are used as storage occupancies only,; and
- e. Are accessory to an approved and permitted use.

This exception applies to containers approved for use other than as temporary S-1 or S-2 storage and must comply with all other provisions of the code, including, but not limited to: permits, site plans, building areas, building occupancy and zoning.

**Section 2.** The following sections of Chapter 11.12 Existing Building Code of the City of Yakima Municipal Code are hereby revised to read as follows:

**11.12.010 City of Yakima existing building code.**

The city of Yakima hereby adopts the 2021 Edition of the Washington State Existing Building Code, as published by the International Code Council, Inc., and as adopted and maintained by the State Building Code Council in Chapter [51-50](#) WAC as the existing building code for the City of Yakima.

**11.12.112 Amendment to Section 112 Board of Appeals.**

The hearing examiner, as outlined in YMC [11.04.113](#), shall be the board of appeals for this chapter.

**Section 3.** The following sections of Chapter 11.18 Fuel Code of the City of Yakima Municipal Code are hereby revised to read as follows:

**11.18.010 City fuel gas code.**

The fuel gas code of the city of Yakima shall be comprised of the 2021 Edition of the International Fuel Gas Code, as published by the International Code Council, Inc., and as adopted and maintained by the State Building Code Council in [WAC 51-52-21000](#).

The above-referenced text is incorporated in this chapter by reference. One or more copies of the text that comprises the fuel gas code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.

**11.18.109 Amendment to Section 109 Board of Appeals.**

The hearing examiner, as outlined in YMC [11.04.113](#), shall be the board of appeals for this chapter.

**Section 4.** The following sections of Chapter 11.22 Residential Code of the City of Yakima Municipal Code are hereby revised to read as follows:

**11.22.010 City residential code.**

The city of Yakima hereby adopts the 2021 Washington State Residential Code, including Appendix Q (Tiny Homes), as published by the International Code Council, Inc., as adopted and maintained by the State Building Code Council in Chapter [51-51](#) WAC and as modified by the amendments, additions, deletions, and exceptions provided in this chapter. Any references to the International Residential Code, the residential code, the Washington State Residential Code, or "this code" shall mean the 2021 Washington State Residential Code as referred to herein.

The above-referenced texts are incorporated in this chapter by reference. One or more copies of the texts that comprise the residential code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.

**11.22.112 Board of appeals.**

The hearing examiner, as outlined in YMC [11.04.113](#), shall be the board of appeals for this chapter.

**11.22.R301.2(1) Amendment to Table R301.2(1).**

Table R301.2(1) of the International Residential Code as adopted and maintained by the State Building Code Council is amended to read as follows:

**TABLE R301.2(1)**

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

<b>Ground Snow Load (a)</b>	<b>Wind Speed (mph)</b>	<b>Wind Topographic Effects</b>	<b>Seismic Design Category</b>	<b>Subject to damage from</b>			<b>Winter Design Temp</b>	<b>Ice Shield Underlayment Required</b>	<b>Flood Hazards</b>	<b>Air Freezing Index</b>	<b>Mean Annual Temp</b>
				<b>Weathering</b>	<b>Frost line depth</b>	<b>Termite</b>					
19 (b)	85	NO	C	SEVERE	24	S—M	8	Yes	1973	1000	45

For SI: 1 pound per square foot = 0.0479 kN/m<sup>2</sup>, 1 mile per hour = 1.609 km/h.

- a. Minimum uniform roof snow load shall be 20 psf up to elevations of 1166 feet. Elevations above 1166 feet shall be minimum 25 psf.
- b. Case specific analysis may be utilized in lieu of prescriptive loads for elevations above 1166 feet.



**Section 5.** The following sections of Chapter 11.32 Mechanical Code of the City of Yakima Municipal Code are hereby revised to read as follows:

**11.32.010 City mechanical code.**

The city of Yakima hereby adopts the 2021 Washington State Mechanical Code, as published by the International Code Council, Inc., as adopted and maintained by the State Building Code Council in Chapter [51-52](#) WAC and as modified by the amendments, additions, deletions, and exceptions provided in this chapter. Any references to the International Mechanical Code, the mechanical code, the Washington State Mechanical Code, or “this code” shall mean the 2021 Washington State Mechanical Code as referred to herein.

The above-referenced texts are incorporated in this chapter by reference. One or more copies of the texts that comprise the mechanical code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.

**11.32.109 Amendment to Section 109.**

The hearing examiner, as outlined in YMC [11.04.113](#), shall be the board of appeals for this chapter.

**Section 6.** The following sections of Chapter 11.44 Plumbing Code of the City of Yakima Municipal Code are hereby revised to read as follows:

**11.44.010 Adoption of Uniform Plumbing Code.**

The Uniform Plumbing Code, 2021 Edition, of the International Association of Plumbing and Mechanical Officials, excluding Chapter 12, but including IAPMO installation standards and appendices thereto, consisting of Appendix A, “Rules for Sizing the Water Systems,” Appendix B, “Combination Waste and Vent Systems,” and Appendix I, “Installation Standards,” of which one or more copies each have been filed and are now on file in the office of the code administration manager of the city of Yakima, is adopted and incorporated as fully as if set out in full herein, as the plumbing code of the city of Yakima, except as hereinafter amended, and the provisions and regulations thereof are adopted as the provisions and regulations of the city of Yakima; and several sections or numbers therein shall constitute, and may be referred to as, the numbers of this chapter.

The above-referenced texts are incorporated in this chapter by reference. One or more copies of the texts that comprise the plumbing code of the city of Yakima shall be maintained on file in the office of the code administration manager of the city of Yakima.

**11.44.040 Amendment to Part 1—Administration.**

Part 1, Administration, of the Uniform Plumbing Code, as applied to the city of Yakima, is amended to read as follows:

10.1. Title. This ordinance shall be known as the “Uniform Plumbing Code” and will be referred to as “this Code” herein.

10.2. Purpose. This code is an ordinance providing minimum requirements and standards for the protection of the public health, safety and welfare. Enforcement and adoption of this Code shall not be construed for the particular benefit of any individual person or group of persons, other than the general public. In the event of a



conflict between the intent of this subsection and any other section herein, this subsection shall govern insofar as applicable.

### 10.3. Scope.

(a) Moved Buildings. Plumbing systems which are a part of buildings or structures moved into this jurisdiction shall comply with the provisions of this Code for new installations.

### 10.4. Authority to Abate

(a) Any portion of a plumbing system found by the Administrative Authority to be insanitary, as defined herein, is hereby declared to be a nuisance.

(b) Where a nuisance exists or a plumbing system is maintained in violation of this Code or any notice issued pursuant to this section, the Administrative Authority shall require the nuisance or violation to be abated and, where necessary, shall seek such abatement in the manner provided by law.

20.1 Administrative Authority. Whenever the term "Administrative Authority" is used in this Code, it shall mean the Code Administrative Manager or his authorized representative.

### 20.2 Duties and Powers of Administrative Authority.

(a) The Administrative Authority may appoint such assistants, deputies, inspectors, or other employees as are necessary to carry out the functions of the department and this Code.

(b) Right of Entry. Whenever it is necessary to make an inspection to enforce the provisions of this code, or whenever the Administrative Authority or his authorized representative has reasonable cause to believe that there exists in any building or upon any premises, any condition or violation of this Code which make the building or premises unsafe, insanitary, dangerous or hazardous, the Administrative Authority or his or her authorized representative may enter the building or premises at all reasonable times to inspect or to perform the duties imposed upon the Administrative Authority by this Code, provided that if such building or premises is occupied, Administrative Authority shall present credentials to the occupant and request entry. If such building or premises is unoccupied, reasonable effort shall first be made to locate the owner or the other person having charge or control of the building or premises and request entry. If entry is refused, the Administrative Authority or his or her authorized representative has recourse to every remedy provided by law to secure entry.

When the Administrative Authority or his or her authorized representative shall have first obtained a proper inspection warrant or other remedy provided by law to secure entry, no owner, occupant, or person having charge, care, or control of any building or premises shall fail or neglect, after proper request is made as herein provided, to promptly permit entry herein by the Administrative Authority or his or her authorized representative for the purpose of inspection and examination pursuant to this code.

(c) Stop Orders. Whenever any work being done contrary to the provisions of this Code, the Administrative Authority may order the work stopped by notice in writing served on any persons engaged in the doing or causing such work to be done, and any such persons shall forthwith stop work until authorized by the Administrative Authority to proceed with the work.

(d) Authority to Disconnect Utilities in Emergencies. The Administrative Authority and his or her authorized representative shall have the authority to disconnect a plumbing system to a building, structure or equipment regulated by this Code in case of emergency where necessary to eliminate an immediate hazard to life or property.

(e) Authority to Condemn. Whenever the Administrative Authority ascertains that any plumbing system or portion thereof, regulated by this Code, has become hazardous to life, health, property, or has become insanitary, the Administrative Authority shall order in writing that such plumbing either be removed or placed in a safe or sanitary condition, as appropriate. The order shall fix a reasonable time limit for compliance. No person shall use or maintain defective plumbing after receiving such notice. When such plumbing system is to be disconnected, written notice shall be given. In cases of immediate danger to life or property, such disconnection may be made immediately without such notice.

(f) Liability. The Administrative Authority or his or her authorized representative, charged with the enforcement of this Code, acting in good faith and without malice in the discharge of duties, shall not thereby render himself personally liable for any damage that may accrue to the persons or property as a result of any act or by reason of any act or omission in the discharge of his duties. A suit brought against the Administrative Authority or employee because of such act or omission performed by him in the enforcement of any provision of this Code shall be defended by legal counsel provided by this jurisdiction until final termination of such proceedings.

### 20.3 Violation and Penalties.

(a) Any person, firm or corporation violating any provision of this Code shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be punishable by a fine not to exceed \$250.00, or by imprisonment in the jail facility for the City of Yakima not to exceed 90 days, or by both such fine and imprisonment. Each separate day or any portion thereof, during which any violation of this Code occurs or continues, shall be deemed to constitute a separate offense and, upon conviction thereof, shall be punishable as herein provided. The issuance or granting of a permit or approval of plans and specifications shall not be deemed or construed to be a permit for, or an approval of, any violation of any of the provisions of this Code. No permit presuming to give authority to violate or cancel the provisions of this Code shall be valid, except insofar as the work or use which it authorized is lawful.

(b) The issuance or granting of a permit or approval of plans shall not prevent the Administrative Authority from thereafter requiring the correction of errors in said plans and specifications or from preventing construction operations being carried on thereunder when in violation of this Code or any other ordinance or from revoking any Certificate of Approval when issued in error.

(c) Every permit issued by the Administrative Authority under the provisions of this Code shall expire by limitation and become null and void if the work authorized by

such permit is not commenced within 180 days from the date of issuance of such permit, or if the work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days. Before such work can be recommenced, a new permit shall first be obtained to do so.

(d) The City Council shall adopt by resolution a schedule of fees for plumbing permits and plan review.

#### **11.44.120 Board of appeals.**

In order to determine the suitability of alternate materials and methods of construction and to provide reasonable interpretations of the provisions of this code, the hearing examiner as set forth in YMC [11.04.113](#) shall also serve as the board of appeals for this code.

**Section 7.** The following sections are hereby repealed:

11.04.040  
11.04.111.5  
11.04.903.2  
11.04.1608.1.1  
11.04.1802.3  
11.04.3303.1

**Section 8.** Severability. If any section, subsection, paragraph, sentence, clause or phrase of this ordinance is declared invalid or unconstitutional for any reason, such decision shall not affect the validity of the remaining portions of this ordinance.

**Section 9.** This ordinance shall be in full force and effect 30 days after its passage, approval, and publication as provided by law and by the City Charter.

**PASSED BY THE CITY COUNCIL**, signed and approved this 5th day of March, 2024.

ATTEST:

\_\_\_\_\_  
Patricia Byers, Mayor

\_\_\_\_\_  
Rosalinda Ibarra, City Clerk

Publication Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 15.A.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Council General Information

**SUBMITTED BY:** Rosalinda Ibarra, City Clerk

**SUMMARY EXPLANATION:**

1. Preliminary Council Agenda

**ITEM BUDGETED:**

**STRATEGIC PRIORITY:**

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

**ATTACHMENTS:**

Description	Upload Date	Type
📎 3-12 draft agenda	2/29/2024	Backup Material
📎 3-19 draft agenda	2/29/2024	Backup Material



**AGENDA  
YAKIMA CITY COUNCIL  
STUDY SESSION  
March 12, 2024**

**City Hall -- Council Chambers - 129 N 2nd Street, Yakima, WA**

**5:00 p.m. Study Session --- This meeting will be conducted in person, live streamed at [www.yakimawa.gov/council/live-stream/](http://www.yakimawa.gov/council/live-stream/) and telecast live on Y-PAC, Spectrum Cable**

**Channel 194. You may also participate via Zoom:**

**<https://cityofyakima.zoom.us/j/95021319829> or call in by dialing 1-253-215-8782 | Webinar**

**ID: 950 2131 9829 | Passcode: 652488 ----- Individuals who wish to provide public comment remotely are encouraged to submit a Public Comment Request Form online at: [www.yakimawa.gov/council/public-comment](http://www.yakimawa.gov/council/public-comment) no later than 3:00 p.m. on the day of the meeting. If you wish to provide public comment in-person, please fill out a "Request for Appearance" form and hand it to the City Clerk before you address City Council.**

1. Roll Call
2. Public comment (allow 15 minutes)
3. Review of Property Codes
4. Downtown Parking in CBD Zone
5. Adjournment

The next meeting is a City Council regular meeting on March 19, 2024, at 5:30 p.m. in the City Hall Council Chambers

*Any invocation that may be offered before the official start of the Council meeting shall be the voluntary offering of a private citizen, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the Council, and the Council does not endorse the religious beliefs or views of this, or any other speaker.*

*A Council packet is available for review at the City Clerk's Office and on-line at [www.yakimawa.gov](http://www.yakimawa.gov). The City provides special accommodations, such as hearing devices, wheelchair space or language interpreters, for City meetings. Anyone needing special assistance please contact the City Clerk's office at (509) 575-6037 at least two business days prior to the meeting. All meetings are live streamed on the City of Yakima website at [www.yakimawa.gov](http://www.yakimawa.gov) and telecast live on Y-PAC, Spectrum Cable Channel 194.*



## **AGENDA YAKIMA CITY COUNCIL**

**March 19, 2024**

**City Hall -- Council Chambers - 129 N 2nd Street, Yakima, WA**

**5:30 p.m. Regular Meeting | 6:00 p.m. Public Hearings --- This meeting will be conducted in person, live streamed at [www.yakimawa.gov/council/live-stream/](http://www.yakimawa.gov/council/live-stream/) and telecast live on Y-PAC, Spectrum Cable Channel 194. You may also participate via <https://cityofyakima.zoom.us/j/95412132171> or call in by dialing 1-253-215-8782 | Webinar ID: 954 1213 2171 | Passcode: 968560 ----- Individuals who wish to provide public comment remotely are encouraged to submit a Public Comment Request Form online at: [www.yakimawa.gov/council/public-comment](http://www.yakimawa.gov/council/public-comment) no later than 3 p.m. on the day of the meeting. If you wish to provide public comment in-person, please fill out a "Request for Appearance" form and hand it to the City Clerk before you address City Council.**

- 1. Roll Call**
- 2. Pledge of Allegiance**
- 3. Interpreter Services**
- 4. Public Comment**

There will be 35 minutes allotted for public comment with two and a half (2 1/2) minutes per speaker in order to allow as much opportunity as possible for audience participation. Written communication and e-mail messages are strongly encouraged.

**5. Open Discussion for the Good of the Order**

- A. Proclamations
  - i. Welcome Home Vietnam Veterans proclamation
- B. Presentations / Recognitions / Introductions
  - i. Administration of Oath of Office to Municipal Court Judge Troy Clements

**6. Council Reports**

**7. Consent Agenda**

Items listed are considered routine by the City Council and will be enacted by one motion without discussion. A Council member may request to remove an item from the Consent Agenda and, if approved, it will be placed on the regular agenda for discussion and consideration.

- A. Approval of minutes from the March 5, 2024 City Council regular meeting and March 12, 2024 study session
- B. February 2024 Investment Transaction Report

- C. Approve payment of disbursements for the period February 1-29, 2024
- D. Resolution authorizing the write-off of certain uncollectable parking citations
- E. Resolution authorizing the write-off of certain uncollectable central accounts receivables
- F. Resolution authorizing the write-off of certain uncollectable delinquent utility accounts receivable funds
- G. Resolution setting date of April 2, 2024 to amend the Six-year Transportation Improvement Program and amend the Capital Facilities Element of the Yakima Urban Area Comprehensive Plan for the period of 2024 - 2029
- H. Resolution authorizing Supplemental to the Professional Services Agreement with NAC Architecture for MLK Jr. Park Eastside Pool Project 2745
- I. Resolution authorizing a contract with Knobel's Electric Inc for the Russell Lane Improvements Project 2650
- J. Resolution authorizing a lease agreement with the City of Tieton and Yakima-Tieton Irrigation District
- K. Resolution authorizing the Parks and Recreation Division Manager to execute Personal Services Agreements with Contractors that perform Specialized Parks and Recreation Services, Volleyball Officials, Musicians, Exercise Instructors, etc.

### **PUBLIC HEARINGS**

- 8. Closed record public hearing and Resolution to consider the Hearing Examiner's recommendation regarding the preliminary plat of Marylyn Place submitted by WM Real Property Holdings
- 9. Closed record public hearing and Resolution to consider the Hearing Examiner's recommendation regarding the preliminary plat of Champions Park Phase 1 submitted by Prickly Pear Holdings, LLC

### **DEPARTMENT ITEMS**

- 10. 2023 Update on Capital Improvement Projects Report
- 11. Resolution authorizing a contract with Justice Housing Yakima for system development charges and utility infrastructure improvements through CHIP grant
- 12. Resolution authorizing the Interim City Manager to execute an interagency agreement with the Washington State Department of Commerce through the Law Enforcement Vehicle Pursuit Technology Grant Program
- 13. Ordinance to amend Chapter 7.50.040 of the Yakima Municipal Code, Utility Accounting

### **14. Other Business**

### **15. Adjournment**

The next meeting is a City Council study session on March 26, 2024, at 5:00 p.m. in the City Hall Council Chambers

### **16. Council General Information**

- A. Council General Information
- B. Distribution of the Complete Record for the closed hearing of a rezone request for William F. Almon (RZ#002-23)

*Any invocation that may be offered before the official start of the Council meeting shall be the voluntary offering of a private citizen, to and for the benefit of the Council. The views or beliefs*



**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 15.B.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Distribution of the Complete Record for the closed hearing of Plat of Marylyn Place (PLP#001-23)

**SUBMITTED BY:** Joan Davenport, AICP, Community Development Director  
Eric Crowell, Senior Planner

**SUMMARY EXPLANATION:**

The complete record for the closed hearing of the preliminary long plat of Marylyn Place is being distributed to City Council members in this agenda packet. Please bring these materials to the public hearing which will take place on March 19, 2024.

**ITEM BUDGETED:** NA

**STRATEGIC PRIORITY:** Neighborhood and Community Building

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

**ATTACHMENTS:**

Description	Upload Date	Type
Complete Record_PLP#001-23	2/26/2024	Backup Material





**WM REAL PROPERTY HOLDINGS LLC - "PLAT OF  
MARYLYN PLACE"  
PLP#001-23, SEPA#009-23, CAO#021-23**

**Yakima City Council  
Closed Record Public Hearing  
March 19, 2024**

**EXHIBIT LIST**

Applicant: HLA Engineering & Land Surveying Inc. on behalf of WM  
Real Property Holdings LLC  
File Numbers: PLP#001-23, SEPA#009-23, CAO#021-23  
Site Address: Vicinity of Ahtanum Rd. & S. 58th Ave.  
Staff Contact: Eric Crowell, Senior Planner

**Table of Contents**

CHAPTER AA	Hearing Examiner's Recommendation
CHAPTER A	Staff Report
CHAPTER B	Maps
CHAPTER C	Site Plan
CHAPTER D	DST Review & Agency Comments
CHAPTER E	Applications
CHAPTER F	Public Notices
CHAPTER G	Public/Agency Comments

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**CITY OF YAKIMA, WASHINGTON  
HEARING EXAMINER'S RECOMMENDATION**

**January 25, 2024**

<b>In the Matter of a Preliminary Long Plat</b>	)	
<b>Application Submitted by:</b>	)	
	)	<b>PLP#001-23</b>
<b>WM Real Property Holdings, LLC</b>	)	<b>CAO#021-23</b>
	)	<b>SEPA#009-23</b>
<b>For an 83-Lot Single-Family Residential</b>	)	
<b>Preliminary Long Plat on 22.19 Acres in</b>	)	
<b>The Vicinity of South 58<sup>th</sup> Avenue and</b>	)	
<b>Ahtanum Road in the R-2 Zone to be</b>	)	
<b>Known as the "Plat of Marylyn Place"</b>	)	

**A. Introduction.** The preliminary findings relative to the hearing process for this matter are as follows:

(1) The Hearing Examiner conducted an open record public hearing for this application on January 11, 2024.

(2) The Planning Division staff report which recommended approval of this preliminary long plat subject to enumerated conditions was presented by Senior Planner Eric Crowell. The applicant's representatives for this application, Colleda Monick and Michael Heit, P.E., of HLA Engineering and Land Surveying, Inc., presented testimony in favor of approval of the proposed preliminary plat.

(3) Written comments were submitted prior to the hearing by the City's Development Services Team, the Nob Hill Water Association, the Ahtanum Irrigation District, the Yakima County Flood Control Zone District, the Washington State Department of Ecology and the Washington State Department of Archaeological & Historic Preservation,

WM Real Property Holdings, LLC  
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(4) No other testimony or written comments were submitted at or before the open record public hearing. This Recommendation has been submitted to the Planning Division within 10 business days of the public hearing.

**B. Summary of Recommendation.** The Hearing Examiner recommends approval of this proposed Preliminary “Plat of Marylyn Place” with the requested Critical Area Standard Development Permit, subject to conditions.

**C. Basis for Recommendation.** Based on a view of the site with no one else present on January 10, 2024; the staff report, exhibits, testimony and other evidence presented at the open record public hearing conducted on January 11, 2024; and a consideration of the applicable subdivision requirements, development standards, critical areas ordinance provisions and consistency criteria; the Hearing Examiner makes the following:

## **FINDINGS**

**I. Applicant, Property Owner and Representative.** The applicant/property owner is WM Real Property Holdings, LLC, 2550 Borton Road, Yakima, WA 98903. The representatives of the applicant/property owner for this proposal who testified at the hearing are Colleda Monick and Michael Heit, P.E., of HLA Engineering and Land Surveying, Inc., 2803 River Road, Yakima, WA 98902.

**II. Location.** The location of the proposed preliminary plat is north of Ahtanum Road in the vicinity of South 58<sup>th</sup> Avenue and Ahtanum Road south of the Plat of Anderson

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Park Phase 4. The Yakima County Assessor's Parcel Numbers of the site are 181204-23005 and 181205-14402.

**III. Applications.** The application for a 22.19-acre 83-lot Preliminary Long Plat (PLP) was received on September 21, 2023, and deemed complete for processing on November 16, 2023. The Preliminary Long Plat application and related applications for Critical Areas Ordinance (CAO) Review and State Environmental Policy Act (SEPA) Review are being processed under Yakima Municipal Code (YMC) Chapter 14.20 for Subdivisions, Chapter 15.27 for Critical Areas and Chapter 6.88 for SEPA Review.

**IV. Jurisdiction.** YMC §14.3.080 and §14.20.100 provide that the Hearing Examiner shall hold a public hearing and submit a recommendation to the City Council regarding preliminary long plats which shall include findings and conclusions based on the record relative to the subdivision criteria listed in YMC §14.20.100(A) and in RCW Chapter 58.17. YMC §1.43.100, YMC 16.03.010(B-D) and YMC 15.04.020(E) provide that applications such as for a Critical Areas Standard Development Permit may be consolidated with related applications to be considered under the highest level of review of the applications. In this case the highest level of review requires a recommendation to the Yakima City Council regarding both the proposed preliminary plat and the requested Critical Areas Standard Development Permit so that the City Council can make the final decision relative to both of the applications.

**V. Notices.** A Notice of Public Hearing for a Preliminary Long Plat (PLP#001-23), Critical Areas Ordinance Review (CAO#021-23) and State Environmental Policy Act

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Review (SEPA#009-23) was provided by posting a Land Use Action Sign on the property on October 11, 2023; by mailing said Notice to the applicant, SEPA agencies and adjoining property owners within 300 feet of the subject parcel on December 13, 2023; and by publishing said Notice in the Yakima Herald-Republic also on December 13, 2023. No comments from neighbors or other members of the general public were received prior to or during the hearing.

**VI. Comprehensive Plan.** The site of the proposed Preliminary “Plat of Marylyn Place” is located within the Mixed Residential Comprehensive Plan designation which provides for areas with a mixture of housing types and densities. The following goals and policies apply to this proposal:

Goal 2.3: Preserve and enhance the quality, character, and function of Yakima’s residential neighborhoods.

Policy 2.3.1: Provide for a wide variety of housing types within the city to meet the full range of housing needs for Yakima’s evolving population.

Policy 2.3.2: Preserve and enhance established residential neighborhoods. Specifically: (A) Ensure that new development is compatible in scale, density, and aesthetic quality to an established neighborhood.

**VII. Zoning and Land Use.** The 22.19-acre site is located within the Two-Family Residential (R-2) zoning district and is currently vacant. The main purpose of the Yakima Urban Area Zoning Ordinance (UAZO) in Title 15 of the Yakima Municipal Code (YMC) is to implement the Yakima Urban Area Comprehensive Plan and promote the general health, safety and welfare of the present and future inhabitants of the Yakima Urban Area. YMC §15.03.020(C) states that the purpose and intent of the R-2 zoning district is to:

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(1) Establish and preserve residential neighborhoods for detached single-family dwellings, duplexes and other uses compatible with the intent of this district; and

(2) Locate residential development with densities up to twelve dwelling units per net residential acre in areas receiving a full range of public services including public water and sewer service, and police and fire protection.

(3) The district is characterized by up to sixty percent lot coverage, access via local access streets and collectors, one- and two-story buildings, some clustering of units, and required front, rear and side yard setbacks. Typical uses in this district are single-family dwellings and duplexes. The density in this district generally ranges from seven to twelve dwelling units per net residential acre. However, development up to eighteen dwelling units per net residential acre may be allowed in accordance with YMC Chapter 15.04, Table 4-1.

(4) The zoning and the land uses of the surrounding properties may be described as follows:

<i>Direction</i>	<i>Zoning</i>	<i>Land Use</i>
North	R-2 and R-3	Residential
South	R-1 (County), R-2	Residential
East	R-2 (County)	Agriculture, Residential
West	R-1 (County), R-2	Residential

**VIII. Environmental Review.** This application was required to undergo SEPA State Environmental Policy Act review because it proposes to subdivide a parcel of land into more than 30 single-family lots in the R-2 zoning district and because of the requirement that the application undergo a Critical Areas Review. Notice was mailed on November 16, 2023, and the public comment period ended on November 30, 2023. No comments from neighbors or the general public were received, but the comments from several public agencies will be set forth in this Recommendation. A SEPA Determination of Nonsignificance (DNS) was issued for this proposal by the City's SEPA Responsible Official on December 13, 2023, which was not appealed.

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**IX. Transportation Concurrency Ordinance.** The applicant applied for Transportation Concurrency (TCO#007-23) on September 21, 2023, and this proposal was approved for Concurrency on January 5, 2024, after Engineering coordinated with Yakima County regarding traffic data for County arterial streets. The development will not exceed the PM peak hour capacity of the City arterial system, and reserve capacity exists on all impacted arterial streets.

**X. Development Services Team.** The following comments were submitted by the Development Services Team which met on October 10, 2023, and by public agencies:

**(1) Code Administration:** The City of Yakima Code Administration comments were as follows:

(a) Pursuant to the Chapter 5 of the Washington State Fire Code (WSFC), publicly available fire hydrants will be required along streets spaced at intervals that will provide required fire flow coverage for proposed structures pursuant to WSFC Appendix C. Installation of approved hydrants must be completed prior to final plat approval.

(b) These findings are not intended to be an exhaustive review of this proposal.

(c) All addresses shall be clearly shown on the face of the Final Plat (RCW 58.17.280). Additionally, a note shall be shown on the face of the Final Plat stating: "The addresses shown on this plat are accurate as of the date of recording, but may be subject to change. The City of Yakima Code Administration Division is responsible for the confirmation or reassignment of addresses at the time of building permit issuance." The following addresses shall be utilized for the created lots:

Lot 1	2315 S. 58th Ave. / 5705 W. Larch Ave.	Lot 29	5702 W. Oak Ave.	Lot 57	5807 Woolsey Rd.
Lot 2	5703 W. Larch Ave.	Lot 30	5704 W. Oak Ave.	Lot 58	5809 Woolsey Rd.

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Lot 3	2316 S. 57th Ave. / 5701 W. Larch Ave.	Lot 31	5706 W. Oak Ave.	Lot 59	5811 Woolsey Rd.
Lot 4	2315 S. 57th Ave. / 5609 W. Larch Ave.	Lot 32	5708 W. Oak Ave.	Lot 60	5813 Woolsey Rd.
Lot 5	5607 W. Larch Ave.	Lot 33	5710 W. Oak Ave.	Lot 61	2403 S. 60th Ave. / 5815 Woolsey Rd.
Lot 6	5605 W. Larch Ave.	Lot 34	2501 S. 58th Ave./ 5712 W. Oak Ave.	Lot 62	2401 S. 60th Ave. / 5814 W. Larch Ave.
Lot 7	5606 W. Larch Ave.	Lot 35	2503 S. 58th Ave.	Lot 63	5812 W. Larch Ave.
Lot 8	5608 W. Larch Ave.	Lot 36	2406 S. 58th Ave. / 5801 W. Oak Ave.	Lot 64	5810 W. Larch Ave.
Lot 9	2401 S. 57th Ave. / 5610 W. Larch Ave.	Lot 37	5803 W. Oak Ave.	Lot 65	5808 W. Larch Ave.
Lot 10	2403 S. 57th Ave. / 5609 Woolsey Rd.	Lot 38	5805 W. Oak Ave.	Lot 66	5806 W. Larch Ave.
Lot 11	5607 Woolsey Rd.	Lot 39	5807 W. Oak Ave.	Lot 67	5804 W. Larch Ave.
Lot 12	5605 Woolsey Rd.	Lot 40	5809 W. Oak Ave.	Lot 68	5802 W. Larch Ave.
Lot 13	5604 Woolsey Rd.	Lot 41	5811 W. Oak Ave.	Lot 69	2400 S. 58th Ave. / 5800 W. Larch Ave.
Lot 14	5608 Woolsey Rd.	Lot 42	2407 S. 60th Ave. / 5813 W. Oak Ave.	Lot 70	2401 S. 58th Ave. / 5704 W. Larch Ave.
Lot 15	5610 Woolsey Rd.	Lot 43	2405 S. 60th Ave. / 5812 Woolsey Rd.	Lot 71	5702 W. Larch Ave.
Lot 16	5700 Woolsey Rd.	Lot 44	5810 Woolsey Rd.	Lot 72	2400 S. 57th Ave. / 5700 W. Larch Ave.
Lot 17	5702 Woolsey Rd.	Lot 45	5808 Woolsey Rd.	Lot 73	2316 S. 58th Ave. / 5801 W. Larch Ave.
Lot 18	5704 Woolsey Rd.	Lot 46	5806 Woolsey Rd.	Lot 74	5803 W. Larch Ave.
Lot 19	5706 Woolsey Rd.	Lot 47	5804 Woolsey Rd.	Lot 75	5805 W. Larch Ave.
Lot 20	2405 S. 58th Ave. / 5708 Woolsey Rd.	Lot 48	5802 Woolsey Rd.	Lot 76	5807 W. Larch Ave.
Lot 21	2407 S. 58th Ave. / 5709 W. Oak Ave.	Lot 49	2404 S. 58th Ave. / 5800 Woolsey Rd.	Lot 77	5809 W. Larch Ave.
Lot 22	5707 W. Oak Ave.	Lot 50	2402 S. 57th Ave. / 5701 Woolsey Rd.	Lot 78	2400 S. 60th Ave. / 5811 W. Larch Ave.
Lot 23	5705 W. Oak Ave.	Lot 51	5703 Woolsey Rd.	Lot 79	2406 S. 60th Ave.
Lot 24	5703 W. Oak Ave.	Lot 52	5705 Woolsey Rd.	Lot 80	2408 S. 60th Ave.

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Lot 25	5701 W. Oak Ave.	Lot 53	2403 S. 58th Ave. / 5707 Woolsey Rd.	Lot 81	2410 S. 60th Ave.
Lot 26	5609 W. Oak Ave.	Lot 54	2402 S. 58th Ave. / 5801 Woolsey Rd.	Lot 82	2412 S. 60th Ave.
Lot 27	5610 W. Oak Ave.	Lot 55	5803 Woolsey Rd.	Lot 83	2414 S. 60th Ave.
Lot 28	5700 W. Oak Ave.	Lot 56	5805 Woolsey Rd.		

**(2) Engineering:** This project proposes that 22.1 acres be developed into 83 new single-family lots at Lower Ahtanum/58th, also known as “Plat of Marylyn Place.” The property currently is two vacant parcels. The proposed development will cause increased pedestrian and vehicle traffic without adequate safety precautions for pedestrians. The proposed development has the potential for more frequent trips in and out of the property. Current frontage infrastructure is not adequate enough to handle the new proposed 83 single-family lots. In order to alleviate the resulting impacts from the change in use proposal, the City is requiring the following improvements:

(a) YMC 8.60 and 12.05 – New curb, gutter, ADA ramps and 5-foot sidewalk, including associated storm drainage, shall be installed. Street improvements shall conform to standard detail R3. New sidewalks shall be constructed per standard detail R5.

(b) YMC 8.64 and 15.06.065 – Residential driveway approaches are required which meet the requirements of this chapter and standard detail R4. Driveway width shall be a maximum of 20 feet.

(c) YMC 12.06.020 – Right-of-way – Applicant shall determine adequate dedication of right-of-way for all new/proposed roads.

(d) YMC 15.05.040 – Clear vision triangle shall be maintained per this chapter.

(e) YMC 12.06.080 – Street lighting – Street lights shall be installed per this chapter.

(f) YMC 12.02 – Easements shall be established and maintained per this chapter.

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(g) YMC 8.72 – An excavation and street break permit shall be obtained for all work within the public right-of-way.

(h) Acknowledge that the parcels to the north are prohibiting the floodway and currently are undergoing mitigation measures to correct.

An ENG permit is required for all civil work to be performed on site. Professional engineered civil plans with PE stamp shall be submitted for review and approval. All improvements shall be completed prior to Certificate of Occupancy. Traffic generated from development enters and exits on a County road, Ahtanum. I understand the County was notified. Will notify the County to get arterial traffic data to complete the TCO.

**(3) Surface Water:** Surface water comments relative to this proposed preliminary plat are as follows:

(a) This very large development will easily pass the one-acre threshold for ground disturbance. Before any ground clearing activities take place, the applicant shall get a Large Project Stormwater Permit. The requirements of a Large Project Stormwater Permit are: (i) Drainage plan(s) and calculations; (ii) Stormwater maintenance agreement and plan; (iii) Proof that the maintenance agreement was recorded in the Yakima County Auditor's Office; (iv) Construction Stormwater Pollution Prevention Plan (SWPPP) which shall be reviewed and approved by the Surface Water Engineer prior to any grading or construction and a Temporary Erosion and Sediment Control (TESC) plan shall be submitted for approval; (v) In lieu of turning in a Construction Stormwater Pollution Prevention Plan, the applicant can satisfy this requirement by obtaining a Construction Stormwater General Permit through the Washington State Department of Ecology and by providing a copy of the signed General Permit to the Surface Water Engineer. (Go to: <https://ecology.wa.gov/regulations-permits/permits-certifications/stormwater-general-permits/construction-stormwater-permit> for more information on how to apply for the General Permit); (vi) A narrative explaining how Core Elements 1-8 are being satisfied; and (vii) an operation and maintenance plan for the perpetual maintenance of the facilities is now required.

(b) Grading and/or building permits shall not be issued without the project site first passing an erosion control inspection. The erosion control measures shown on the TESC plan must be in place prior to any grading.

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(c) Complete stormwater design plans, specifications and runoff/storage calculations supporting the stormwater design are required pursuant to the Eastern Washington Stormwater Manual and City of Yakima standards. These plans and control measures must be completed by a licensed Professional Engineer and then be reviewed and approved by the City of Yakima Surface Water Engineer prior to construction.

(d) UIC Registration – Stormwater: In accordance with the August 2019 edition of the Department of Ecology’s Stormwater Management Manual for Eastern Washington (SMMEW), Underground Injection Control (UIC) wells constructed on or after February 3, 2006 are considered new and must be registered with the Department of Ecology (DOE) 60 days prior to construction. To register your UIC wells, you must go through the Secure Access Washington website. Go to <https://secureaccess.wa.gov/ecy/wqwebportal/> to create an account and register your wells. UIC wells that receive polluted runoff shall retain the larger of the 100-year 3-hour and 100-year 24-hour storms and shall be designed for treatment using Table 5.23 of the SMMEW.

(e) More information on the Industrial Stormwater General Permit Notice of Intent can be found at <https://ecology.wa.gov/Regulations-Permits/Guidance-technical-assistance/Water-quality-permits-guidance/WQWebPortal-guidance>.

**(4) Wastewater:** Sewer is to be extended to site per YMC Title 12 requirements and City of Yakima Engineering Standard Details. Proposed sewer plans will be reviewed per ENG permit requirements.

**(5) Nob Hill Water Association:** Nob Hill Water Association has the capacity to serve a long plat in this area. Engineered drawings will need to be submitted to Nob Hill Water in order for the new water infrastructure to be designed and installed by Nob Hill Water.

**(6) Ahtanum Irrigation District:** Our Board must sign off on the plat for this subdivision. The surveyor will need to provide us with the original Mylar, as well as one copy [emphasis that of the agency], for District signature. As our Board meets once per month, please telephone in advance for meeting dates to avoid delays.

**(7) Yakima County Flood Control Zone District:** The Yakima County Flood Control Zone District comments are as follows:

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(a) The Yakima County Flood Control Zone District (FCZD) attended a meeting with the City of Yakima Planning Division on October 10, 2023. At this meeting, the FCZD raised flood risk related concerns regarding the subject line applications (Marylyn Place). Please find the below comments related to Marylyn Place.

(b) 44 CFR 60.3(d)(3) states that communities must prohibit encroachments and other development in the floodway, unless certified by an engineer via no-rise certification per YCC 16C.05.36.020. The FCZD recommends a mechanism to inspect and ensure that no unpermitted encroachments or development occurs in the floodway on the north side of the parcel to comply with YCC and FEMA regulations. Encroachments and other development would include structures such as homes, sheds, fences, etc. We also recommend targeted outreach to the existing landowner(s) as well as potential developers and/or buyers next to the floodway of those development restrictions.

(c) This development proposal is subject to the September 2021 LOMR which was approved by both the City of Yakima and Yakima County. We encourage the City and County to continue to cooperatively maintain those LOMR requirements.

(d) In the Marylyn Place site plans, there are two roadways leading north that cross generally perpendicular to the floodway. During the 100-year flood event and potentially smaller events, the floodway may become activated causing water over the roadway, which at times would be impassable. FCZD recommends the placement of permanent signage indicating that the roadway may be under water during flooding events.

**(8) Washington State Department of Ecology:** If you plan to use water for dust suppression at your project site, be sure that you have a legal right. In Washington State, prospective water users must obtain authorization from the Department of Ecology before diverting surface water or withdrawing ground water, with one exception. Ground water withdrawals of up to 5,000 gallons per day used for single or group domestic supply, up to 5,000 gallons per day used for industrial purposes, stock watering, and for the irrigation of up to one-half acre of non-commercial lawn and garden are exempt from the permitting process. Water use under the RCW 90.44.050 exemption establishes a water right that is subject to the same privileges, restrictions, laws and regulations as a water right permit or certificate obtained directly from Ecology. Temporary permits may be

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obtainable in a short time-period. The concern of Water Resources is for existing water rights. In some instances water may need to be obtained from a different area and hauled in or from an existing water right holder. If you have any questions or would like to respond to these Water Resources comments, please contact Christopher Kossik at 509-379-1826 or email at [christopher.kossik@ecy.wa.gov](mailto:christopher.kossik@ecy.wa.gov).

**(9) Washington State Department of Archaeology & Historic Preservation:**  
The Department of Archaeology & Historic Preservation comments for its Project Tracking Code 2023-11-07771 are as follows:

(a) Our statewide predictive model indicates that there is a high probability of encountering cultural resources within the proposed project area. Further, the scale of the proposed ground disturbing actions would destroy any archaeological resources present. Identification during construction is not a recommended detection method because inadvertent discoveries often result in costly construction delays and damage to the resource. Therefore, we recommend a professional archaeological survey of the project area be conducted and a report be produced prior to ground disturbing activities. This report should meet DAHP's Standards for Cultural Resource Reporting.

(b) We also recommend that any historic buildings or structures (45 years in age or older) located within the project area are evaluated for eligibility for listing in the National Register of Historic Places on Historic Property Inventory (HPI) forms. We highly encourage the SEPA lead agency to ensure that these evaluations are written by a cultural resource professional meeting the SOI Professional Qualification Standards in Architectural History.

(c) Please note that the recommendations provided in this letter reflect only the opinions of DAHP. Any interested Tribes may have different recommendations. We appreciate receiving any correspondence or comments from Tribes or other parties concerning cultural resource issues that you receive.

(d) Thank you for the opportunity to comment on this project. Please ensure that the DAHP Project Tracking Number is shared with any hired cultural resource consultants and is attached to any communications or submitted reports. Please also ensure that any reports, site forms, and/or historic property inventory (HPI) forms are uploaded to WISAARD by the consultant(s).

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**XI. Applicable Subdivision Ordinance and Statutory Provisions.** Applicable subdivision ordinance and statutory provisions are as follows:

(1) YMC §15.03.020(C): R-2 Zoning District Defined: The purposes of the R-2 zoning district are first to establish and preserve residential neighborhoods for detached single-family dwellings, duplexes and other uses compatible with the intent of this district and also to locate residential development with densities up to twelve dwelling units per net residential acre in areas receiving a full range of public services including public water and sewer service, and police and fire protection. The district is characterized by up to sixty percent lot coverage, access via local access streets and collectors, one- and two-story buildings, some clustering of units, and required front, rear and side yard setbacks. Typical uses in this district are single-family dwellings and duplexes. The density in this district generally ranges from seven to twelve dwelling units per net residential acre. However, development up to eighteen dwelling units per net residential acre may be allowed in accordance with YMC Chapter 15.04, Table 4-1.

(2) YMC §15.05.030(A): Creation of new lots – Subdivision requirements: Table of Subdivision Requirements: The YMC §15.05.030(A) Table establishes basic development criteria for lot size and width that must be met when reviewing an application for a new subdivision. For detached single-family dwelling construction in the R-2 zoning district, the required minimum lot size is 6,000 square feet.

(3) YMC §15.30.040: Airport Safety Overlay Zones: The subject property is located in Zone 6 of the Airport Safety Overlay, and per YMC §15.30.060, detached single-family dwellings are Class (1) uses.

(4) YMC §15.30.050: Height Limitation: Height Limitation 2 (AOD Zone 6): No building within this zone shall exceed thirty-five feet above the ground. Any building proposed to exceed this height must undergo further review by the airport manager and the FAA. The administrative official may require lights or markers as a warning to aircraft on any buildings, structures, communication towers, uses, or trees, or the topping of any trees to reduce their height, when recommended by the FAA, WSDOT Aviation Division or the airport manager. Lights and markers shall meet FAA specifications. Whenever the height limitations of this section differ from those of any other section of this chapter, or that adopted by another local ordinance or regulation, the more restrictive limitation shall apply.

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(5) YMC §15.05.055(1): New development improvement standards: Fire apparatus access roads for one-, two- or multi-family residential developments shall be subject to the provisions of Sections D106 and D107, respectively, of Appendix D of the applicable International Fire Code. Additionally, such residential developments shall be subject to the requirements of Section D105 of Appendix D of the applicable International Fire Code pertaining to aerial fire apparatus roads, as applicable. All other applicable provisions of the International Fire Code, as now existing or as hereafter amended and adopted by the City, are required. Minimum requirements for the primary and secondary access will be at least twenty feet wide, unobstructed, paved lanes.

(6) YMC §12.02.010: Establishment of easements: Public utility easements shall be established for the location of new and proposed public utility lines serving new land divisions and land development. Public utility easements shall also be established across the front of new lots and redeveloped lots to provide future utility access as determined necessary by the City Engineer. Public utility easements shall be dedicated (granted) at the time that subdivision and/or land use approval is granted.

(7) YMC §12.02.020: Easement location and width: Eight-foot-wide utility easements shall be dedicated along the front of each lot in subdivisions and short subdivisions. Easements for new and/or future utility lines shall be a minimum of eight feet in width, or twice the buried depth of the utility, whichever is greater.

(8) YMC §12.03.010: Sewer service required: Pursuant to YMC §12.03.010, all new lots and development shall be served by a sanitary sewer line located adjacent to the lot or development site.

(9) YMC §12.03.040: Minimum sewer size: The minimum size for public sewer lines is eight inches in diameter.

(10) YMC §12.03.070: Side sewer service: Each building containing sanitary facilities shall be served by a separate private side sewer line from a public main. Branched side sewers serving multiple buildings and properties shall not be permitted. Single side sewers serving multi-unit buildings are permitted.

(11) YMC §12.03.090: Gravity flow required: Sewer lines shall be designed for gravity flow operation. Lift stations and force mains (pressurized lines) shall be limited to those locations and circumstances where they are consistent with the comprehensive sewer plan and are the preferable short-term solution to service the development site and other properties in the vicinity.



(12) YMC §12.04.010: Water service required: All new lots and development shall be served by a public water supply line maintained by the City of Yakima, Nob Hill Water Company [Association], or other water purveyor, and located adjacent to the lot or development site. The water line shall be capable of providing sufficient flow and pressure to satisfy the fire flow and domestic service requirements of the proposed lots and development as approved by the City Engineer in cooperation with the Code Administration Manager and Water Irrigation Division Manager.

(13) YMC §12.04.020: Water line extension required: Water lines shall be extended to the point where the adjoining property owner's responsibility for further extension begins. This typically requires extension across the street or easement frontage of the developing property. In some cases it will require dedication of an easement and a line extension across the property or extension along two or more sides of the developing property. Extensions will be consistent with and implement the City's adopted water comprehensive plan.

(14) YMC §12.04.040: Minimum size and material standards: New water lines in the City of Yakima water system shall be constructed of Class 52 ductile iron and shall be a minimum of eight inches in diameter. Improvements and additions to the Nob Hill Water Company [Association] system shall conform to the requirements of Nob Hill Water Company [Association].

(15) YMC §12.05.010: Sidewalk installation required: Sidewalks shall be installed along both sides of all new, improved and reconstructed streets. Projects which repair small portions of or maintain existing street shall not be considered "improvement" for the purpose of this section and shall not trigger the requirements of this section. Sidewalks shall also be installed across the frontage of all newly developed or redeveloped lots where feasible.

(16) YMC §12.06.010: Street types, functional classification: The Yakima Urban Area Comprehensive Plan, and/or the West Valley Neighborhood Plan, designates the functional classification of the principal arterial, minor arterial and collector streets and establishes their functional classification. All other streets are classified as local residential access.

(17) YMC §12.06.030: Design standards, adjustment of standards: Final design of street improvements is subject to approval by the City Engineer. The City Engineer, at his discretion, is authorized to adjust these standards as necessary to facilitate the construction of new streets and improvement of existing streets. Projects which repair

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small portions of or maintain existing streets shall not be considered “improvements” for the purposes of this section.

(18) YMC §12.06.070: Provision of street curbing: Barrier curbs shall be installed along all public streets. Rolled mountable curbs may be permitted along residential access streets. Curb design shall be consistent with the standards of the City Engineer.

(19) YMC §12.06.080: Street lighting: A street light shall be installed at each street intersection and at midblock if the block exceeds five hundred feet in length. Street lights shall meet the design and placement standards of the City Engineer. Lighting improvements shall become the property of the City of Yakima upon installation and will thereafter be maintained by the City.

(20) YMC §14.05.200(A-B): Allowance of bond in lieu of actual construction of improvements prior to approval of short plat or final plat: The subdivision or short subdivision applicant may, as an alternative to actual construction of any required improvements, provide a surety bond or other secure method providing for and securing to the City the actual construction of required improvements within a specified period of time and expressed in a bond or other appropriate instrument establishing such security. Any bond or other method of securing actual construction of required improvements shall specify the improvements covered and the schedule for completion. In cases of subdivision, the bond or other method of securing actual construction of required improvements shall be subject to approval by the City Engineer and City Attorney prior to approval of the final plat by the City Council. In cases of short subdivisions, the bond or other method of securing actual construction of required improvements shall be subject to approval by the City Engineer and City Attorney prior to approval of the final short plat by the Administrator. In no case shall the amount of the bond or other method of securing actual construction of required improvements be less than one hundred ten percent of the estimated actual cost of the improvements based upon the approved civil engineering design of the required improvements.

(21) RCW 58.17.110(1), YMC §14.20.100(A) and YMC §14.20.120(A): The city, town, or county legislative body shall inquire into the public use and interest proposed to be served by the establishment of the subdivision and dedication. It shall determine (a) if appropriate provisions are made for, but not limited to, the public health, safety and general welfare and for open spaces, drainage ways, streets or roads, alleys, other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and schoolgrounds, sidewalks, and other planning features that assure

safe walking conditions for students who walk to and from school; and (b) whether the public interest will be served by the subdivision and dedication.

**XII. Applicable Critical Areas Ordinance Provisions.** Applicable Critical Areas Ordinance regulatory provisions are as follows:

(1) Critical Area Development Authorization Required: Pursuant to YMC §15.27.300(A), no new development, construction or use shall occur within a designated critical area without obtaining a development authorization in accordance with the provisions of this chapter, except for those provided for in YMC §15.27.303.

(2) General Critical Areas Protective Measures—Subdivision Standards: Pursuant to YMC §15.27.321(B)(2)(a-d), critical areas shall be actively protected through the following:

(a) Roads and utilities for the subdivision shall avoid critical areas and their buffers, as much as possible.

(b) When geologically hazardous areas (excluding erosion, oversteepened slopes of intermediate risk, stream undercutting, and earthquake hazards), FEMA floodways, channel migration zones (CMZs), streams, wetlands and/or vegetative buffers fall within the boundary of a subdivision:

(i) Said critical areas shall be protected by placing them entirely within a separate critical area tract or by including them entirely within one of the developable parcels. Other options, such as conservation easements and building envelopes, may be deemed appropriate by the administrative official as meeting this provision when special circumstances obstruct the viability of this provision;

(ii) For those new lots that do contain said critical areas, usable building envelopes (five thousand square feet or more for residential uses) shall be provided on the plat that lies outside said critical areas.

(c) New lots partially within the floodplain shall provide a usable building envelope (five thousand square feet or more for residential uses) outside the floodplain.

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(d) Floodplains and critical areas shall be depicted on preliminary subdivision plats and relevant information about them disclosed on the final plat.

(3) Permitted Uses – Floodway Fringe: Pursuant to YMC §15.27.409(A), Detached Single-Family Dwellings is a permitted use within the floodway fringe (floodplain) as long as the proposal complies with the flood hazard protection standards of YMC §15.27.407 and YMC §15.27.408.

(4) Permitted Uses – Floodway: Pursuant to YMC §15.27.411(A), Detached Single-Family Dwellings is a permitted use within the floodway as long as the proposal complies with the flood hazard protection standards of YMC §15.27.407 and YMC §15.27.408. Pursuant to YMC §15.27.411(H), roads and bridges are permitted uses within the floodway as long as they comply with the regulations that are set forth in YMC §15.27.411(D).

(5) Subdivision Proposals: YMC §15.27.407(F) requires that all subdivision proposals shall:

- (a) Be consistent with the need to minimize flood damage;
- (b) Have roadways, public utilities, and other facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage;
- (c) Have adequate drainage provided to reduce exposure to flood damage;
- (d) Include base flood elevation data; and
- (e) In the cases where base flood elevation is not available and the subdivision is greater than five acres or fifty lots, a step-back water analysis shall be required to generate the base flood elevation data.

**XIII. Preliminary Plat Findings.** YMC §14.20.100(A) provides that the Hearing Examiner shall consider a proposed preliminary plat during an open record public hearing in order to inquire into and determine whether the following standards and criteria are satisfied:

**(1) Subsection 14.20.100(A)(1) – Consistency with the City’s Urban Area Zoning Ordinance Intent, Design, Improvement and Development Provisions Applicable to the R-2 Zoning District.** A determination of consistency with the City’s

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Urban Area Zoning Ordinance intent, design, improvement and development provisions applicable to the R-2 zoning district involves a consideration of the following provisions of Title 15 and Title 12 of the Yakima Municipal Code (YMC):

(a) Consistency with the Intent of the Two-Family Residential (R-2) Zoning District: YMC §15.03.020(C) indicates that the intent of the R-2 zoning district is in part to establish and preserve residential neighborhoods for detached single-family dwellings, duplexes and other uses that are compatible with the intent of the district.

(b) Consistency with Design, Improvement and Development Provisions Applicable to the Two-Family Residential (R-2) Zoning District: YMC Chapter 15.05 establishes certain basic development requirements. These are the minimum criteria that must be met to assure land use compatibility and promote the public health, safety and welfare. The proposed development meets the requirements applicable in the R-2 zoning district as follows:

(i) *Minimum Lot Size*: The lots ranging in size from 6,318 square feet to 47,895 square feet will meet the minimum 6,000-square-foot lot size requirement for single-family residences that will be located in the R-2 zoning district.

(ii) *Building Envelopes*: The preliminary plat indicates that building envelopes on the lots partially within the floodplain will range from approximately 6,745 to 12,660 square feet in size, which is consistent with the minimum 5,000-square-foot standard in YMC §15.27.321(B)(2)(c) of the CAO for residential uses.

(iii) *Minimum Lot Width*: The lots will all meet or exceed the minimum lot width of 50 feet prescribed for the R-2 zoning district by Table 5-2 of YMC Chapter 15.05.

(iv) *Maximum Lot Coverage*: The maximum lot coverage is the percentage of net land area of a site that can be covered with structures and other impervious surfaces. In the R-2 zoning district, the maximum lot coverage is 60%. All lots within the proposed preliminary plat have sufficient lot area to comply with this development standard.

(v) *Structure Setbacks*: In the residential zoning districts, structure setbacks are intended to provide light, air and emergency access. All lots in

the proposed preliminary plat have sufficient area to meet the setback requirements specified for the R-2 zoning district by YMC Table 5-1 in YMC Chapter 15.05 which are as follows:

Location	From Centerline Of Right-of-Way	From Property Line
Front	45 feet	20 feet
Rear	N/A	15 feet
Side (internal)	N/A	5 feet
Side (street)	40 feet	10 feet

(vi) *Maximum Building Height*: The maximum building height in the R-2 zoning district is 35 feet (YMC Chapter 15.05, Table 5-1). The property is entirely within Zone 6 of the Airport Safety Overlay (ASO) which also limits the building height to 35 feet. The applicant's SEPA Environmental Policy Act Checklist states that the tallest structure will be no more than 35 feet in height so as to comply with both standards.

(vii) *Access*: All lots will have at least 20 feet of frontage upon a public street or be accessed by a minimum 20-foot-wide access easement in accordance with YMC §15.05.020(H).

(viii) *Sidewalk*: Curb, gutter and sidewalk will be constructed along all interior street frontages within the proposed preliminary plat as required by YMC §15.05.020(J).

(ix) *Density*: The proposed preliminary plat which divides 15.62 net residential acres not including streets into 83 residential lots will have a density of 5.31 dwelling units per net residential acre with streets excluded ( $680,381 \text{ square feet} \div 43,560 \text{ square feet} = 15.62 \text{ acres}$ ;  $83 \text{ dwelling units} \div 15.62 \text{ acres} = 5.31 \text{ dwelling units per net residential acre}$ ). This density complies with YMC §15.05.030(B) and YMC Table 4-1 of YMC Chapter 15.04 which allow up to 7 dwelling units per net residential acre in the R-2 zoning district as Class (1) permitted uses.

(x) *Street Right-of-Way/Dedication of Right-of-Way*: The internal local access streets connecting to the existing Occidental Road by way of South 57<sup>th</sup> Avenue and South 58<sup>th</sup> Avenue on the north and connecting to

Ahtanum Road on the south all require the dedication of 50-foot-wide rights-of-way for the streets within the subdivision which shall be improved with curb, gutter and a five-foot-wide sidewalk on both sides of the streets.

(xi) *Frontage Improvements*: Curb, gutter and sidewalk shall be installed along the lot frontages of internal streets in accordance with YMC 12.05.010. The street section shall conform to standard detail R3 and the new sidewalks shall be constructed per standard detail R5, in accordance with YMC Chapters 8.67 and 12.05. At a minimum, one street light shall be installed midblock on the westernmost section of the loop since the street exceeds 500 feet in total length. Street lighting shall meet the design and placement standards of the City Engineer. Lighting improvements shall become the property of the City of Yakima upon installation and will thereafter be maintained by the City. Pursuant to YCC Chapter 8.72, an excavation and street break permit shall be obtained for all work within the public right-of-way. Roads less than five years old can be cut, but will cost 150 percent of the restoration fee with no PCI discount.

(xii) *Wastewater*: Sewer and a lift station have been extended across Occidental Road to the subject site. A minimum sixteen foot easement shall be maintained over all public utility lines in accordance with YMC §12.02.010 and YMC §12.02.020. All lots within the subject plat shall be served by a separate side sewer line from a public main in accordance with YMC §12.03.070. Sewer is to be installed per the Yakima Municipal Code.

(xiii) *Water*: The applicant shall extend potable water to the lots of the plat in accordance with YMC §12.04.010. Water is provided by the Nob Hill Water Association, and the preliminary plat displays water service across all street frontages to serve all lots.

(xiv) *Irrigation*: The subject parcel is located within the Ahtanum Irrigation District and therefore irrigation district approval is required upon the final plat.

(xv) *Easements*: Easements are to be established in accordance with YMC §12.02.010 and YCC §12.02.020.

**(2) Subsection 14.20.100(A)(2) – Consistency with the provisions of the Comprehensive Plan.** The Future Land Use Map III-3 of the 2040 Yakima Urban Area

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Comprehensive Plan designates the property within the proposed preliminary plat as suitable for Mixed Residential development which provides for a mixture of housing types and densities. As noted above, the proposed preliminary plat is consistent with the following Goal and Policies of the City's Comprehensive Plan:

(a) Goal 2.3 which is to preserve and enhance the quality, character and function of Yakima's residential neighborhoods.

(b) Policy 2.3.1 which is to provide for a wide variety of housing types within the City to meet the full range of housing needs for Yakima's evolving population.

(c) Policy 2.3.2 which is to preserve and enhance established residential neighborhoods. Specifically: (A) Ensure that new development is compatible in scale, density and aesthetic quality to an established neighborhood.

**(3) Subsection 14.20.100(A)(3) – Consistency with the provisions of this title, Title 14 entitled “Subdivision Ordinance.”** As proposed and with the recommended conditions, this preliminary plat will meet all the design requirements in YMC Chapter 14.20 of the City's subdivision ordinance and in the City's Title 12 development standards. This review and the recommended conditions are intended to ensure consistency with the provisions of the City's subdivision ordinance as well as other applicable City ordinances.

**(4) Subsection 14.20.100(A)(4) – Appropriate provisions for enumerated features.** As proposed and with the recommended conditions, this 83-lot Preliminary “Plat of Marylyn Place” will make appropriate provisions for the following features required by YMC 14.20.100(A)(4) and RCW 58.17.110:

(a) *Public health, safety, welfare:* The construction of new detached single-family dwellings will complement the existing adjacent single-family development to the north. It will promote the public health, safety and general welfare insofar as there is a need in this community for additional housing and insofar as this proposed preliminary plat will be required to comply with all applicable City development standards, and all conditions of approval that will be specified by the City Council.

(b) *Open spaces:* The proposed lots are larger than the minimum lot size required in the R-2 zoning district for single-family dwellings. The lot coverage limitation of not more than 60% in the R-2 zoning district will provide adequate



light and air for future residents in accordance with the standards in the zoning ordinance without additional open spaces.

(c) *Drainage systems*: Drainage system facilities must be provided in accordance with state and local regulations, including the City of Yakima Municipal Code and the Eastern Washington Storm Water Manual.

(d) *Streets, alleys, and other public ways*: The subject property will have access from the north by way of South 57<sup>th</sup> Avenue and South 58<sup>th</sup> Avenue which extend southerly from Occidental Road and also will have access from the south off of Ahtanum Road by way of South 58<sup>th</sup> Avenue. Those streets and the additional interior streets to be named South 60<sup>th</sup> Avenue, West Larch Avenue, West Oak Avenue and Woolsey Road will provide access to all of the lots.

(e) *Water supplies*: Public water is required to be used for domestic and fire flow purposes. Nob Hill Water Association water is available to the site from Nob Hill Water Association by way of South 58<sup>th</sup> Avenue.

(f) *Sanitary waste disposal*: Public sewer is required to service all lots within the subject development. A City of Yakima sewer main capable of serving the development which has been extended along Occidental Road runs southerly to the northern boundary of the proposed preliminary plat.

(g) *Parks and playgrounds*: Open space, parks, recreation and playgrounds are located about 2.5 miles away from this subdivision at West Valley Park. The lot coverage limitation also provides open space on the lots for recreation and play areas.

(h) *Sites for schools*: West Valley Middle Level Campus is located about 1.9 miles from this proposed subdivision, while Wide Hollow Elementary School is located about 2.4 miles from this proposed subdivision and West Valley High School is located approximately 2.9 miles from this proposed subdivision. No comments were submitted by the West Valley School District.

(i) *Sidewalks*: Sidewalks are required and shall be provided along this development's internal streets (South 57<sup>th</sup> Avenue, South 58<sup>th</sup> Avenue, South 60<sup>th</sup> Avenue, West Larch Avenue, West Oak Avenue and Woolsey Road).

(j) *Public Transit*: Yakima Transit Routes 2 and 5 pass the intersection of South 64<sup>th</sup> Avenue and West Washington Avenue approximately 0.9 of a mile north of the subdivision.

(k) *Serves the public use and interest:* This proposed 83-lot residential subdivision is consistent with neighboring residential land uses, better serves the needs of the City than the present undeveloped status of the property and helps satisfy the need for additional housing within the City.

(l) *Time Limitation:* Upon preliminary plat approval, the applicant has five years from the date of preliminary plat approval to submit the final plat. If more time is needed, at least 30 days prior to the expiration of preliminary approval, the applicant must submit to the City Council a written request to extend the approval period for a maximum period of one additional year (YMC §14.20.160). Before the final plat can be recorded, all required infrastructure must either be engineered, completed and inspected or be engineered and financially secured, and approval of the final plat must be obtained from the City of Yakima Community Development Department.

**XIV. Critical Areas Ordinance Findings.** Critical Areas Ordinance Findings are as follows:

(1) This application was subject to Environmental Review which resulted in the issuance of a Determination of Nonsignificance (DNS) on December 13, 2023.

(2) Consistent with YMC §15.27.031(C)(2), the Administrative Official reviewed the available information pertaining to the proposal and made a determination that Critical Areas were present, but there is no impact.

(3) Per YMC §15.27.309, it has been determined that a Standard Development Permit is required.

(4) Consistent with YMC §15.27.311 relative to Authorization Decisions – Basis for Action, the applicant meets the following criteria:

(a) *Impact of the project to critical area features on the property and abutting property:* The impact to critical area features will be minimal as long as the subdivision provides adequate building envelopes of at least 5,000 square feet outside the floodplain that crosses a northerly and westerly portion of Lot 78 and a northerly portion of lots 73 to 77 and of Lot 79. The floodplain does not cross any of the interior streets within the proposed preliminary plat.

(b) *Danger to life or property that would likely occur as a result of the project:* The floodplain of Spring Creek – Tributary 1 is located on a portion of Lots 73 to 79, but adequate building envelopes are provided on those lots.

(c) *Compatibility of the project to critical area features:* Each lot encumbered by the floodplain will have a building envelope located outside of the floodplain. Since those lots are larger than the average size of the lots in the subdivision, floodwaters will be able to flow across them in a manner that will avoid the building envelopes where the homes will be located.

(d) *Conformance with applicable development standards:* All applicable standards of YMC Chapter 15.27 will be met.

(e) *Compliance with the flood hazard mitigation requirements of YMC §15.27.400 through §15.27.436:* The existing FEMA FIRM Panels 53077C1029F and 53077C1037E were revised in 2020 (Case No. 20-10-0066R) which on the site channelized the floodplain through Cottonwood Place on the subdivision to the north which allowed the building envelopes for the affected lots in this subdivision to be located outside of the floodplain.

(f) *Adequacy of the information provided by the applicant or available to the division:* The application that was submitted is adequate for review.

(g) *Alternative Courses of Action:* Based upon the project evaluation, the decision maker shall take one of the following actions:

- (i) Grant the development authorization;
- (ii) Grant the development authorization with conditions as allowed by YMC §15.27.312 in order to mitigate impacts to the critical area feature(s); or
- (iii) Deny the development authorization.

(5) Since the consideration of the Critical Areas Standard Development Permit has been consolidated for review with the Preliminary Long Plat application, the Hearing Examiner recommends that the City Council grant the Critical Areas Standard Development Permit development authorization in conjunction with approval of the Preliminary “Plat of Marylyn Place.”

WM Real Property Holdings, LLC  
Preliminary “Plat of Marylyn Place”  
Ahtanum Road & South 58<sup>th</sup> Avenue  
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**XV. Consistency Analysis Conducted Pursuant to Subsection 16.06.020(B) of the Yakima Municipal Code.** The consistency analysis for this proposed Preliminary

“Plat of Marylyn Place” is as follows:

(1) **The type of land use contemplated by the proposal** (a single-family residential development) is permitted on this site so long as it complies with the conditions imposed by the Yakima City Council, as well as the regulations of the zoning ordinance, subdivision ordinance, building codes and other applicable regulations. The proposed single-family dwellings are Class (1) permitted uses in the R-2 zoning district.

(2) **The level of development** with the maximum lot coverage density of 60% and with lots that are larger than the minimum lot size requirements will not exceed the allowable level of development in the Two-Family Residential (R-2) zoning district.

(3) **The availability and adequacy of infrastructure and public facilities** is not an issue because the additional infrastructure that will be provided at the applicant’s expense will ensure that adequate infrastructure and public facilities are available for the proposed preliminary long plat.

(4) **The character of the proposal, such as the proposal’s consistency with applicable development standards of the City’s Urban Area Zoning Ordinance,** primarily involves consideration of specific development standards relating to lot size, access, potable water, sewage disposal and other features of the proposed preliminary plat which have been discussed in detail above. With the recommended conditions, the proposed Preliminary “Plat of Marylyn Place” with the requisite Standard Critical Areas Standard Development Permit will be consistent with the development standards of applicable City ordinances.

**CONCLUSIONS**

Based on the foregoing Findings, the Hearing Examiner concludes as follows:

(1) The Hearing Examiner has jurisdiction to recommend to the Yakima City Council the approval of the proposed Preliminary “Plat of Marylyn Place” with a Critical Areas Standard Development Permit pursuant to YMC §1.43.080, YMC §14.20.100 and YMC Chapter 15.27.

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(2) A SEPA Determination of Nonsignificance (DNS) was issued for this proposed preliminary plat on December 13, 2023, which became final without any appeal.

(3) Notices for the public hearing were given in accordance with applicable ordinance requirements.

(4) The proposed Preliminary “Plat of Marylyn Place,” with the requested Critical Areas Standard Development Permit and subject to all of the conditions detailed below, is in compliance with the applicable provisions of the City’s 2040 Comprehensive Plan, zoning ordinance and subdivision ordinance; makes appropriate provisions for the public health, safety and general welfare and for open spaces, drainage ways, streets, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds and sidewalks; and, according to the weight of the evidence presented at the hearing, does not require that specific provisions be made for the other requisite plat considerations such as additional schools, additional schoolgrounds or additional planning features that assure safe walking conditions for students who walk to and from school; and said plat will serve the public use and interest.

(5) This proposed Preliminary “Plat of Marylyn Place” with the requested Critical Area Standard Development Permit is in compliance with all of the consistency requirements of Subsection 16.06.020(B) of the Yakima Municipal Code.

### **RECOMMENDATION**

The Hearing Examiner recommends to the Yakima City Council that the proposed 83-lot Preliminary “Plat of Marylyn Place” dated September 20, 2023, and the requested Critical Areas Standard Development Permit which are described in the application, staff report, this Recommendation and the other related documents assigned the file numbers PLP#001-23, CAO#021-23 and SEPA#009-23 be **APPROVED**, subject to compliance with the following conditions:

(A) Prior to approval of the final plat, all required improvements shall be constructed or financially secured according to the standards and requirements of the City Engineer and YMC Title 12;

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(B) All lots shall be served with public water from the Nob Hill Water Association. No individual domestic or irrigation wells shall be permitted for any of the lots. Prior to final plat approval, written verification from the Nob Hill Water Association must be submitted to the Planning Division indicating that each lot within the plat has been served with domestic water and applicable fees have been paid;

(C) All lots shall be provided with public sewer service according to YMC Title 12 standards. Prior to final plat approval, written verification from the City of Yakima Engineering Department must be provided to the Planning Division indicating that all sewer extensions have been completed and inspected or financially secured;

(D) Eight-foot-wide utility easements shall be dedicated along the front of each lot in subdivisions and short subdivisions. Easements for new and/or future utility lines shall be a minimum eight feet in width or twice the buried depth of the utility, whichever is greater;

(E) All public and private utilities shall be located underground, with the exception of telephone boxes and such similar structures;

(F) All public and private utilities to be located within public road rights-of-way must be constructed prior to the start of road construction;

(G) All interior roads shown on the preliminary plat shall be constructed with curb, gutter and five-foot-wide sidewalks on both sides of the street, and street lighting in accordance with YMC Chapter 12.06, Standard Detail R5, and WSDOT Curb and Sidewalk Plans F-10.12-03;

(H) An excavation and street break permit shall be obtained for all work within the public right-of-way. Roads less than five years old can be cut, but will cost 150 percent of the restoration fee with no PCI discount;

(I) All frontage improvements shall be completed or bonded for prior to long plat approval. Civil engineering plans for public improvements shall be approved prior to bonding for public improvements;

(J) At the discretion of the City Engineer, the owner may bond for required frontage improvements or enter into a deferral agreement for future participation in the cost of any frontage and/or roadway improvement by means of a Local Improvement District (LID) which is constructed abutting the owner's property. The bond or deferral agreement shall be executed and recorded prior to or as part of approval of the plat;

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(K) Roadway sections within the floodplain/floodway shall be constructed in accordance with applicable regulations of YMC Chapter 15.27, Part Four;

(L) Fire hydrants shall be placed at the locations specified by Code Administration and the Washington State Fire Code. All lots must be provided with adequate fire flow;

(M) All permits required by the Department of Ecology shall be obtained;

(N) A Large Project Stormwater Permit shall be obtained;

(O) Streetlights shall be installed per the direction of the Engineering Division;

(P) This plat shall be subject to the following notes, which must be placed on the face of the plat:

(1) The addresses shown on this plat are accurate as of the date of recording, but may be subject to change. The City of Yakima Code Administration is responsible for the confirmation or reassignment of addresses at the time of building permit issuance.

(2) The owners shown hereon, their grantees and assignees in interest hereby covenant and agree to retain all surface water generated within the plat on-site.

(3) Portions of the Plat of Marylyn Place shown hereon may fall within the 1% annual chance (100-year) floodplain and floodway limits shown on current Flood Insurance Rate Maps. Floodplain and floodway information is subject to change as a result of future FEMA Map revisions and/or amendments.

(4) No structure, fences, walls, or other obstructions that impede drainage shall be placed within the limits of the (100-year) floodplain or floodway established by the Federal Emergency Management Agency (FEMA) without the approval of the City of Yakima Community Development Director and in accordance with the City of Yakima Municipal code critical areas ordinance. The property owner shall keep the 100-year floodplain and floodway traversing his/her property free of debris which would impede the function of the floodplain or floodway.

(Q) Irrigation approval is required, and shall be shown on the face of the final plat;

(R) A current title report covering the subject property must accompany the final long plat;

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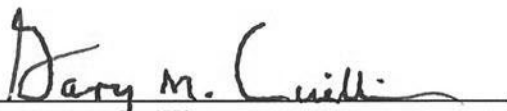
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(S) Upon preliminary plat approval, the applicant has five years to submit the final plat. If additional time is needed, 30 days prior to the expiration of said approval the applicant must submit to the City Council a written request asking to extend the approval period for a maximum period of one year;

(T) All other requirements of the zoning and subdivision ordinance, although not specifically set forth herein, shall be complied with in their entirety;

(U) Prior to the issuance of any permits, it is recommended that a professional archaeological survey of the project area be conducted, with copies of the survey provided to DAHP and the Planning Division.

**DATED** this 25<sup>th</sup> day of January, 2024.

  
 Gary M. Cuillier, Hearing Examiner

WM Real Property Holdings, LLC  
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DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

January 5, 2024

Re: Transportation Concurrency Results and Revised DST Comments for PLP#001-23

A staff report was finalized on January 4, 2024 for a public hearing on January 11, 2024 for a Preliminary Long Plat, located in the vicinity of Ahtanum Rd. and S. 58th Ave., however at the time the Transportation Concurrency application (TCO#007-23) had not yet been completed.

Based upon the results of TCO#007-23, Section III (B) of the staff report should be replaced with the following:

*The applicant applied for Transportation Concurrency (TCO#007-23) on September 21, 2023, and was approved for Concurrency on January 5, 2023, after Engineering coordinated with Yakima County regarding traffic data for county arterial streets. The development will not exceed the PM peak hour capacity of the city arterial system and reserve capacity exists on all impacted arterial streets.*

The following Traffic Engineering comment should be added to Section III (D)(2) in the staff report:

*Traffic generated from development enters and exits on a county road, Ahtanum. I understand the county was notified. Will notify the county to get arterial traffic data to complete the TCO.*

*Eric M. Crowell.*

Eric Crowell  
Senior Planner

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# DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

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Joseph Calhoun, Manager

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## **CITY OF YAKIMA PLANNING DIVISION'S FINDINGS of FACT, CONCLUSIONS, & RECOMMENDATION for REQUEST FOR PRELIMINARY LONG PLAT**

**File Numbers: PLP#001-23, SEPA#009-23, & CAO#021-23**

**APPLICANT:** HLA Engineering & Surveying on behalf of WM Real Property Holdings LLC  
**APPLICANT ADDRESS:** 2803 River Rd., Yakima, WA 98902  
**PROJECT LOCATION:** Vicinity of Ahtanum Rd. & S. 58th Ave.  
**TAX PARCEL NUMBER:** 181204-23005 & 181205-14402  
**DATE OF REQUEST:** September 21, 2023  
**DATE OF RECOMMENDATION:** January 11, 2024  
**STAFF CONTACT:** Eric Crowell, Senior Planner

### **I. DESCRIPTION OF REQUEST:**

Preliminary long plat to subdivide approximately 22.1 acres in 83 single-family residential lots, located in the R-2 zoning district and partially within the floodplain.

### **II. SUMMARY OF DECISION:**

The Administrative Official recommends **approval** of the Preliminary Plat, subject to conditions.

### **III. FACTS:**

#### **A. Processing**

1. The application for a Preliminary Long Plat was received on September 21, 2023.
2. The application was deemed complete for processing on November 16, 2023.
3. The applications are being processed under YMC Ch. 14.20 for Subdivision, YMC Ch. 15.27 for Critical Areas, and YMC Ch. 6.88 for SEPA Environmental Review.
4. Pursuant to YMC Ch. 1.43, the Hearing Examiner has the authority to make a decision on matters prescribed by YMC Title 15.
5. **Public Notice:** In accordance with YMC Title 14, Subdivision Ordinance; YMC Title 15, Urban Area Zoning Ordinance; and YMC Title 16, Development Permit Regulations, notice was provided for this application as follows:

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*[Handwritten signature]*

- a. The subject property was posted with a land use action sign on October 11, 2023.
- b. A Notice of Application and Environmental Review was sent to the applicant, SEPA agencies, and adjoining property owners within 300 feet of the subject property on November 16, 2023.
- c. A Notice of Public Hearing and Determination of Nonsignificance (DNS) was sent to the applicant, SEPA agencies, and adjoining property owners within 300 feet of the subject property on December 13, 2023.

6. **Environmental Review:** This application was required to undergo State Environmental Policy Act (SEPA) review because it proposed to subdivide a parcel of land into more than 30 single-family lots, and due to the requirement that the application undergo a Critical Areas Review. Notice was mailed on November 16, 2023, and the public comment period ended on November 30, 2023. Three comments were received from SEPA Agencies which are outlined in Section III.D.

**B. Transportation Concurrency:** The applicant applied for Transportation Concurrency (TCO#007-23) on September 21, 2023, but has not been finalized. The Supervising Traffic Engineer does not have traffic data for the county roads, of which Ahtanum Rd. is the southern access for the plat. A Traffic Impact Analysis will need to be provided to determine impacts to the county road. It is recommended that the Hearing Examiner keep the record open a Traffic Impact Analysis has been received and a final determination has been made by the Engineering Division.

**C. Current Zoning and Land Use:**

1. The subject property is approximately 22.19 acres, is zoned Two-Family Residential (R-2), and is current vacant.
2. The main purpose of the Yakima Urban Area Zoning Ordinance (UAZO) is to implement the Yakima Urban Area Comprehensive Plan and promote the general health, safety and welfare of the present and future inhabitants of the Yakima Urban Area. YMC § 15.03.020 (C) provides that the purpose of the Two-Family Residential District is intended to:
  - a. Establish and preserve residential neighborhoods for detached single-family dwellings, duplexes and other uses compatible with the intent of this district; and
  - b. Locate residential development with densities up to twelve dwelling units per net residential acre in areas receiving a full range of public services including public water and sewer service, and police and fire protection.

The district is characterized by up to sixty percent lot coverage, access via local access streets and collectors, one- and two-story buildings, some clustering of

units, and required front, rear and side yard setbacks. Typical uses in this district are single-family dwellings and duplexes. The density in this district generally ranges from seven to twelve dwelling units per net residential acre. However, development up to eighteen dwelling units per net residential acre may be allowed in accordance with YMC Chapter 15.04, Table 4-1.

3. The surrounding properties contain uses and zoning as follows:

Direction	Zoning	Land Use
North	R-2, R-3	Residential
South	R-1 (County), R-2	Residential
East	R-2 (County)	Agriculture, Residential
West	R-1 (County), R-2	Residential

- D. Development Services Team Review:** A Development Services Team (DST) Review was conducted on October 10, 2023, for technical review of this project, and the following comments were received:

1. Code Administration:
  - a. Pursuant to the Chapter 5 of the Washington State Fire Code (WSFC), publicly available fire hydrants will be required along streets spaced at intervals that will provide required fire flow coverage for proposed structures in accordance with WSFC Appendix C. Installation of approved hydrants must be completed prior to final plat approval.
  - b. These findings are not intended to be an exhaustive review of this proposal.
  - c. All addresses shall be clearly shown on the face of the Final Plat (RCW 58.17.280). Additionally, a note shall be shown on the face of the Final Plat stating: "The addresses shown on this plat are accurate as of the date of recording, but may be subject to change. The City of Yakima Code Administration Division is responsible for the confirmation or reassignment of addresses at the time of building permit issuance." The following addresses shall be utilized for the created lots:

Lot 1	2315 S. 58th Ave. / 5705 W. Larch Ave.	Lot 29	5702 W. Oak Ave.	Lot 57	5807 Woolsey Rd.
Lot 2	5703 W. Larch Ave.	Lot 30	5704 W. Oak Ave.	Lot 58	5809 Woolsey Rd.
Lot 3	2316 S. 57th Ave. / 5701 W. Larch Ave.	Lot 31	5706 W. Oak Ave.	Lot 59	5811 Woolsey Rd.
Lot 4	2315 S. 57th Ave. / 5609 W. Larch Ave.	Lot 32	5708 W. Oak Ave.	Lot 60	5813 Woolsey Rd.
Lot 5	5607 W. Larch Ave.	Lot 33	5710 W. Oak Ave.	Lot 61	2403 S. 60th Ave. / 5815 Woolsey Rd.
Lot 6	5605 W. Larch Ave.	Lot 34	2501 S. 58th Ave. / 5712 W. Oak Ave.	Lot 62	2401 S. 60th Ave. / 5814 W. Larch Ave.

Lot 7	5606 W. Larch Ave.	Lot 35	2503 S. 58th Ave.	Lot 63	5812 W. Larch Ave.
Lot 8	5608 W. Larch Ave.	Lot 36	2406 S. 58th Ave. / 5801 W. Oak Ave.	Lot 64	5810 W. Larch Ave.
Lot 9	2401 S. 57th Ave. / 5610 W. Larch Ave.	Lot 37	5803 W. Oak Ave.	Lot 65	5808 W. Larch Ave.
Lot 10	2403 S. 57th Ave. / 5609 Woolsey Rd.	Lot 38	5805 W. Oak Ave.	Lot 66	5806 W. Larch Ave.
Lot 11	5607 Woolsey Rd.	Lot 39	5807 W. Oak Ave.	Lot 67	5804 W. Larch Ave.
Lot 12	5605 Woolsey Rd.	Lot 40	5809 W. Oak Ave.	Lot 68	5802 W. Larch Ave.
Lot 13	5604 Woolsey Rd.	Lot 41	5811 W. Oak Ave.	Lot 69	2400 S. 58th Ave. / 5800 W. Larch Ave.
Lot 14	5608 Woolsey Rd.	Lot 42	2407 S. 60th Ave. / 5813 W. Oak Ave.	Lot 70	2401 S. 58th Ave. / 5704 W. Larch Ave.
Lot 15	5610 Woolsey Rd.	Lot 43	2405 S. 60th Ave. / 5812 Woolsey Rd.	Lot 71	5702 W. Larch Ave.
Lot 16	5700 Woolsey Rd.	Lot 44	5810 Woolsey Rd.	Lot 72	2400 S. 57th Ave. / 5700 W. Larch Ave.
Lot 17	5702 Woolsey Rd.	Lot 45	5808 Woolsey Rd.	Lot 73	2316 S. 58th Ave. / 5801 W. Larch Ave.
Lot 18	5704 Woolsey Rd.	Lot 46	5806 Woolsey Rd.	Lot 74	5803 W. Larch Ave.
Lot 19	5706 Woolsey Rd.	Lot 47	5804 Woolsey Rd.	Lot 75	5805 W. Larch Ave.
Lot 20	2405 S. 58th Ave. / 5708 Woolsey Rd.	Lot 48	5802 Woolsey Rd.	Lot 76	5807 W. Larch Ave.
Lot 21	2407 S. 58th Ave. / 5709 W. Oak Ave.	Lot 49	2404 S. 58th Ave. / 5800 Woolsey Rd.	Lot 77	5809 W. Larch Ave.
Lot 22	5707 W. Oak Ave.	Lot 50	2402 S. 57th Ave. / 5701 Woolsey Rd.	Lot 78	2400 S. 60th Ave. / 5811 W. Larch Ave.
Lot 23	5705 W. Oak Ave.	Lot 51	5703 Woolsey Rd.	Lot 79	2406 S. 60th Ave.
Lot 24	5703 W. Oak Ave.	Lot 52	5705 Woolsey Rd.	Lot 80	2408 S. 60th Ave.
Lot 25	5701 W. Oak Ave.	Lot 53	2403 S. 58th Ave. / 5707 Woolsey Rd.	Lot 81	2410 S. 60th Ave.
Lot 26	5609 W. Oak Ave.	Lot 54	2402 S. 58th Ave. / 5801 Woolsey Rd.	Lot 82	2412 S. 60th Ave.
Lot 27	5610 W. Oak Ave.	Lot 55	5803 Woolsey Rd.	Lot 83	2414 S. 60th Ave.
Lot 28	5700 W. Oak Ave.	Lot 56	5805 Woolsey Rd.		

## 2. Engineering

- a. This project proposes that 22.1 acres be developed into 83 new single-family lots at Lower Ahtanum/53rd, also known as "Plat of Marylyn Place." The property currently is two vacant parcels. The proposed development will cause increased pedestrian and vehicle traffic without adequate safety precautions for pedestrians. The proposed development has the potential for more frequent trips in and out of the property. Current frontage infrastructure is not adequate enough to handle the new proposed 83 single-family lots.

- b. In order to alleviate the resulting impacts from the change in use proposal, the City is requiring the following improvements:
  - i. YMC 8.60 and 12.05 – New curb, gutter, ADA ramps and 5-foot sidewalk, including associated storm drainage, shall be installed. Street improvements shall conform to standard detail R3. New sidewalks shall be constructed per standard detail R5.
  - ii. YMC 8.64 and 15.06.065 – Residential driveway approaches are required which meets the requirements of this chapter and standard detail R4. Driveway width shall be a maximum of 20 feet.
  - iii. YMC 12.06.020 – Right-of-way – Applicant shall determine adequate dedication of right-of-way for all new/proposed roads.
  - iv. YMC 15.05.040 – Clear vision triangle shall be maintained per this chapter.
  - v. YMC 12.06.080 – Street lighting – Street lights shall be installed per this chapter.
  - vi. YMC 12.02 – Easements shall be established and maintained per this chapter.
  - vii. YMC 8.72 – An excavation and street break permit shall be obtained for all work within the public right-of-way.
  - viii. Acknowledge that the parcels to the north are prohibiting the floodway and currently are undergoing mitigation measures to correct.
- c. An ENG permit is required for all civil work to be performed on site. Professional engineered civil plans with PE stamp shall be submitted for review and approval. All improvements shall be completed prior to Certificate of Occupancy.

3. Nob Hill Water Association

- a. Nob Hill Water has the capacity to serve a long plat in this area. Engineered drawings will need to be submitted to Nob Hill Water in order for the new water infrastructure to be designed and installed by Nob Hill Water.

4. Surface Water

- a. This very large development will easily pass the one-acre threshold for ground disturbance. Before any ground clearing activities take place, the applicant shall get a Large Project Stormwater Permit. The requirements of a Large Project Stormwater Permit are:
  - Drainage plan(s) and calculations
  - Stormwater maintenance agreement and plan

- Proof that the maintenance agreement was recorded in the Yakima County Auditor's Office.
- Construction Stormwater Pollution Prevention Plan (SWPPP). The Construction SWPPP shall be reviewed and approved by the Surface Water Engineer prior to any grading or construction. A Temporary Erosion and Sediment Control (TESC) plan shall be submitted for approval.
- In lieu of turning in a Construction Stormwater Pollution Prevention Plan, the applicant can satisfy this requirement by obtaining a Construction Stormwater General Permit through the Washington State Department of Ecology. A copy of the signed General Permit shall be delivered to the Surface Water Engineer. Go to <https://ecology.wa.gov/regulations-permits/permits-certifications/stormwater-general-permits/construction-stormwater-permit> for more information on how to apply for the General Permit.
- A narrative explaining how Core Elements 1-8 are being satisfied.
- An operation and maintenance plan for the perpetual maintenance of the facilities is now required.

Grading and/or building permits shall not be issued without the project site first passing an erosion control inspection. The erosion control measures shown on the TESC plan must be in place prior to any grading.

Complete stormwater design plans, specifications and runoff/storage calculations supporting the stormwater design are required pursuant to the Eastern Washington Stormwater Manual and City of Yakima standards. These plans and control measures must be completed by a licensed Professional Engineer and then be reviewed and approved by the City of Yakima Surface Water Engineer prior to construction.

#### UIC Registration - Stormwater

In accordance with the August 2019 edition of the Department of Ecology's Stormwater Management Manual for Eastern Washington (SMMEW), Underground Injection Control (UIC) wells constructed on or after February 3, 2006 are considered new and must be registered with the Department of Ecology (DOE) 60 days prior to construction. To register your UIC wells, you must go through the Secure Access Washington website. Go to <https://secureaccess.wa.gov/ecy/wqwebportal/> to create an account and register your wells. UIC wells that receive polluted runoff shall retain the larger of the 100-year 3-hour and 100-year 24-hour storms and shall be designed for treatment using Table 5.23 of the SMMEW.

More information on the Industrial Stormwater General Permit Notice of Intent can be found at <https://ecology.wa.gov/Regulations-Permits/Guidance-technical-assistance/Water-quality-permits-guidance/WQWebPortal-guidance>.



5. Wastewater

- a. Sewer to be extended to site per YMC Title 12 requirements and City of Yakima Engineering Standard Details. Proposed sewer plans will be reviewed per ENG permit requirements.

6. Department of Archaeology & Historic Preservation

(Project Tracking Code: 2023-11-07771)

- a. Our statewide predictive model indicates that there is a high probability of encountering cultural resources within the proposed project area. Further, the scale of the proposed ground disturbing actions would destroy any archaeological resources present. Identification during construction is not a recommended detection method because inadvertent discoveries often result in costly construction delays and damage to the resource. Therefore, we recommend a professional archaeological survey of the project area be conducted and a report be produced prior to ground disturbing activities. This report should meet DAHP's Standards for Cultural Resource Reporting.
- b. We also recommend that any historic buildings or structures (45 years in age or older) located within the project area are evaluated for eligibility for listing in the National Register of Historic Places on Historic Property Inventory (HPI) forms. We highly encourage the SEPA lead agency to ensure that these evaluations are written by a cultural resource professional meeting the SOI Professional Qualification Standards in Architectural History.
- c. Please note that the recommendations provided in this letter reflect only the opinions of DAHP. Any interested Tribes may have different recommendations. We appreciate receiving any correspondence or comments from Tribes or other parties concerning cultural resource issues that you receive.
- d. Thank you for the opportunity to comment on this project. Please ensure that the DAHP Project Tracking Number is shared with any hired cultural resource consultants and is attached to any communications or submitted reports. Please also ensure that any reports, site forms, and/or historic property inventory (HPI) forms are uploaded to WISAARD by the consultant(s).

7. Department of Ecology

If you plan to use water for dust suppression at your project site, be sure that you have a legal right. In Washington State, prospective water users must obtain authorization from the Department of Ecology before diverting surface water or withdrawing ground water, with one exception. Ground water withdrawals of up to 5,000 gallons per day used for single or group domestic supply, up to 5,000 gallons per day used for industrial purposes, stock watering, and for the irrigation of up to one-half acre of non-commercial lawn and garden are exempt from the permitting process. Water use under the RCW 90.44.050 exemption establishes a water right that is subject to the same privileges, restrictions, laws and regulations as a water right permit or

certificate obtained directly from Ecology. Temporary permits may be obtainable in a short time-period. The concern of Water Resources is for existing water rights. In some instances water may need to be obtained from a different area and hauled in or from an existing water right holder.

If you have any questions or would like to respond to these Water Resources comments, please contact Christopher Kossik at 509-379-1826 or email at [christopher.kossik@ecy.wa.gov](mailto:christopher.kossik@ecy.wa.gov).

8. Ahtanum Irrigation District

- a. Our Board must sign off on the plat for this subdivision. The surveyor will need to provide us with the original Mylar, as well as one copy [emphasis that of the agency], for District signature. As our Board meets once per month, please telephone in advance for meeting dates to avoid delays.

**E. Applicable Law—Subdivision**

1. YMC § 15.03.020 (C): R-2 Zoning District Defined: The purpose of the two-family residential district is to establish and preserve residential neighborhoods for detached single-family dwellings, duplexes and other uses compatible with the intent of this district and locate residential development with densities up to twelve dwelling units per net residential acre in areas receiving a full range of public services including public water and sewer service, and police and fire protection.

The district is characterized by up to sixty percent lot coverage, access via local access streets and collectors, one- and two-story buildings, some clustering of units, and required front, rear and side yard setbacks. Typical uses in this district are single-family dwellings and duplexes. The density in this district generally ranges from seven to twelve dwelling units per net residential acre. However, development up to eighteen dwelling units per net residential acre may be allowed in accordance with YMC Chapter 15.04, Table 4-1.

2. YMC § 15.05.030 (A): Creation of new lots—Subdivision requirements: Table of Subdivision Requirements: This table establishes basic development criteria for lot size and width that must be met when reviewing an application for a new subdivision. For detached single-family dwelling construction in the R-2 zoning district, the required minimum lot size is 6,000 square feet.
3. YMC § 15.30.040: Airport Safety Overlay Zones: The subject property is located in Zone 6, and per YMC § 15.30.060, detached single-family dwellings are Class (1) uses.
4. YMC § 15.30.050: Height Limitation: Height Limitation 2 (Zone 6). No building within this zone shall exceed thirty-five feet above the ground. Any building proposed to exceed this height must undergo further review by the airport manager and the FAA.

The administrative official may require lights or markers as a warning to aircraft on any building, structure, communication tower, use, or tree(s) or to top the tree

to reduce its height when recommended by the FAA, WSDOT Aviation Division or the airport manager. Lights and markers shall meet FAA specifications.

Whenever the height limitations of this section differ from those of any other section of this chapter, or that adopted by another local ordinance or regulation, the more restrictive limitation shall apply.

5. YMC § 15.05.055 (1): New development improvement standards: Fire apparatus access roads for multiple-family residential developments and one- or two-family residential developments shall be subject to the provisions of Sections D106 and D107, respectively, of Appendix D of the International Fire Code (2009 Edition). Additionally, such residential developments shall be subject to the requirements of Section D105 of Appendix D, International Fire Code (2009 Edition), pertaining to aerial fire apparatus roads, as applicable. All provisions of the International Fire Code referenced above are hereby adopted and incorporated herein by this reference, as now existing or as hereafter amended and adopted by the city. Minimum requirements for the primary and secondary access will be at least twenty feet wide, unobstructed, paved lanes.
6. YMC § 12.02.010: Establishment of easements: Public utility easements shall be established for the location of new and proposed public utility lines serving new land divisions and land development. Public utility easements shall also be established across the front of new lots and redeveloped lots to provide future utility access as determined necessary by the city engineer. Public utility easements shall be dedicated (granted) at the time that subdivision and/or land use approval is granted.
7. YMC § 12.02.020: Easement location and width: Eight-foot-wide utility easements shall be dedicated along the front of each lot in subdivisions and short subdivisions. Easements for new and/or future utility lines shall be a minimum of eight feet in width, or twice the buried depth of the utility, whichever is greater.
8. YMC § 12.03.010: Sewer service required: Pursuant to YMC § 12.03.010, all new lots and development shall be served by a sanitary sewer line located adjacent to the lot or development site.
9. YMC § 12.03.040: Minimum sewer size: The minimum size for public sewer lines is eight inches in diameter.
10. YMC § 12.03.070: Side sewer service: Each building containing sanitary facilities shall be served by a separate private side sewer line from a public main. Branched side sewers serving multiple buildings and properties shall not be permitted. Single side sewers serving multi-unit buildings are permitted.
11. YMC § 12.03.090: Gravity flow required: Sewer lines shall be designed for gravity flow operation. Lift stations and force mains (pressurized lines) shall be limited to those locations and circumstances where they are consistent with the comprehensive sewer plan and are the preferable short-term solution to service of the development site and other properties in the vicinity.

12. YMC § 12.04.010: Water service required: All new lots and development shall be served by a public water supply line maintained by the city of Yakima, Nob Hill Water Company, or other water purveyor, and located adjacent to the lot or development site. The water line shall be capable of providing sufficient flow and pressure to satisfy the fire flow and domestic service requirements of the proposed lots and development as approved by the city engineer in cooperation with the code administration manager and water irrigation division manager.
13. YMC § 12.04.020: Water line extension required: Water lines shall be extended to the point where the adjoining property owner's responsibility for further extension begins. This typically requires extension across the street or easement frontage of the developing property. In some cases it will require dedication of an easement and a line extension across the property or extension along two or more sides of the developing property. Extensions will be consistent with and implement the city's adopted water comprehensive plan.
14. YMC § 12.04.040: Minimum size and material standards: New water lines in the city of Yakima water system shall be constructed of Class 52 ductile iron and shall be a minimum of eight inches in diameter. Improvements and additions to the Nob Hill Water Company system shall conform to the requirements of Nob Hill Water Company.
15. YMC § 12.05.010: Sidewalk installation required: Sidewalks shall be installed along both sides of all new, improved, and reconstructed streets. Projects which repair small portions of or maintain existing street shall not be considered "improvement" for the purpose of this section and shall not trigger the requirements of this section. Sidewalks shall also be installed across the frontage of all newly developed or redeveloped lots where feasible.
16. YMC § 12.06.010: Street types, functional classification: The Yakima urban area comprehensive plan, and/or the West Valley neighborhood plan, designates the functional classification of the principal arterial, minor arterial and collector streets and establishes their functional classification. All other streets are classified as local residential access.
17. YMC § 12.06.030: Design standards, adjustment of standards: ... Final design of street improvements is subject to approval by the city engineer. The city engineer, at his discretion, is authorized to adjust these standards as necessary to facilitate the construction of new streets and improvement of existing streets. Projects which repair small portions of or maintain existing streets shall not be considered "improvements" for the purposes of this section.
18. YMC § 12.06.070: Provision of street curbing: Barrier curbs shall be installed along all public streets. Rolled mountable curbs may be permitted along residential access streets. Curb design shall be consistent with the standards of the city engineer.
19. YMC § 12.06.080: Street lighting: A street light shall be installed at each street intersection and at mid block if the block exceeds five hundred feet in length. Street lights shall meet the design and placement standards of the city engineer.

Lighting improvements shall become the property of the city of Yakima upon installation and will thereafter be maintained by the city.

20. YMC § 14.05.200 (A-B): Allowance of bond in lieu of actual construction of improvements prior to approval or short plat or final plat: The subdivision or short subdivision applicant may, as an alternative to actual construction of any required improvements, provide a surety bond or other secure method providing for and securing to the city the actual construction of required improvements within a specified period of time and expressed in a bond or other appropriate instrument establishing such security. Any bond or other method of securing actual construction of required improvements shall specify the improvements covered and the schedule for completion.

In cases of subdivision, the bond or other method of securing actual construction of required improvements shall be subject to approval by the city engineer and city attorney prior to approval of the final plat by the city council. In cases of short subdivisions, the bond or other method of securing actual construction of required improvements shall be subject to approval by the city engineer and city attorney prior to approval of the final short plat by the administrator. In no case shall the amount of the bond or other method of securing actual construction of required improvements be less than one hundred ten percent of the estimated actual cost of the improvements based upon the approved civil engineering design of the required improvements.

21. RCW 58.17.110 (1) and YMC § 14.20.120: The city, town, or county legislative body shall inquire into the public use and interest proposed to be served by the establishment of the subdivision and dedication. It shall determine: (a) If appropriate provisions are made for, but not limited to, the public health, safety, and general welfare, for open spaces, drainage ways, streets or roads, alleys, other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and school grounds, and shall consider all other relevant facts, including sidewalks and other planning features that assure safe walking conditions for students who only walk to and from school; and (b) whether the public interest will be served by the subdivision and dedication.

#### **F. Applicable Law—Critical Areas**

1. Critical Area Development Authorization Required: Pursuant to YMC § 15.27.300 (A), no new development, construction, or use shall occur within a designated critical area without obtaining a development authorization in accordance with the provisions of this chapter, except for those provided for in YMC § 15.27.303.
2. General Critical Areas Protective Measures—Subdivision Standards: Pursuant to YMC §§ 15.27.321 (B)(2)(a-c, g), critical areas shall be actively protected through the following:
  - a. Roads and utilities for the subdivision shall avoid critical areas and their buffers, as much as possible.
  - b. When geologically hazardous areas (excluding erosion, oversteepened slopes of intermediate risk, stream undercutting, and earthquake hazards),

FEMA floodways, channel migration zones (CMZs), streams, wetlands and/or vegetative buffers fall within the boundary of a subdivision:

- i. Said critical areas shall be protected by placing them entirely within a separate critical area tract or by including them entirely within one of the developable parcels. Other options, such as conservation easements and building envelopes, may be deemed appropriate by the administrative official as meeting this provision when special circumstances obstruct the viability of this provision;
  - ii. For those new lots that do contain said critical areas, usable building envelopes (five thousand square feet or more for residential uses) shall be provided on the plat that lies outside said critical areas.
  - c. New lots partially within the floodplain shall provide a usable building envelope (five thousand square feet or more for residential uses) outside the floodplain.
  - d. Floodplains and critical areas shall be depicted on preliminary subdivision plats and relevant information about them disclosed on the final plat.
3. Permitted Uses—Floodway Fringe: Pursuant to YMC § 15.27.409 (A), Detached Single-Family Dwellings is a permitted use within the floodway fringe (floodplain) as long as the proposal complies with the flood hazard protection standards of YMC §§ 15.27.407 and 15.27.408.
  4. Permitted Uses—Floodway:
    - a. Pursuant to YMC § 15.27.411 (A), Detached Single-Family Dwellings is a permitted use within the floodway as long as the proposal complies with the flood hazard protection standards of YMC §§ 15.27.407 and 15.27.408.
    - b. Pursuant to YMC § 15.27.411 (H), roads and bridges are permitted uses within the floodway as long as they comply with the regulations of YMC § 15.27.411 (D).
  5. Subdivision Proposals: Pursuant to YMC § 15.27.407 (F), subdivision proposals shall:
    - i. Be consistent with the need to minimize flood damage;
    - ii. Have roadways, public utilities, and other facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage;
    - iii. Have adequate drainage provided to reduce exposure to flood damage;
    - iv. Include base flood elevation data; and
    - v. In the cases where base flood elevation is not available and the subdivision is greater than five acres or fifty lots, a step-back water analysis shall be required to generate the base flood elevation data.

#### **G. Yakima Comprehensive Plan 2040**

1. Defined: Mixed Residential provides for areas with a mixture of housing types and densities.

2. The following goals and policies apply to this proposal:
  - a. Goal 2.3: Preserve and enhance the quality, character, and function of Yakima's residential neighborhoods.
    - i. Policy 2.3.1: Provide for a wide variety of housing types within the city to meet the full range of housing needs for Yakima's evolving population.
    - ii. Policy 2.3.2: Preserve and enhance established residential neighborhoods. Specifically:
      - (A.) Ensure that new development is compatible in scale, density, and aesthetic quality to an established neighborhood.

#### IV. SUBDIVISION FINDINGS:

##### A. Background and Processing:

1. The subject property is currently vacant, is approximately 22.19 acres in size, has a Future Land Use designation of Mixed Residential, and is zoned Two-Family Residential (R-2).
2. Pursuant to RCW Ch. 58.17, YMC § 1.43.080 and YMC § 14.20.100, the City of Yakima Hearing Examiner is authorized to make a recommendation for approval or disapproval, with written findings of fact and conclusions to support the recommendation to the City Council on preliminary plats due to land use review (Critical Areas) being part of the application. Within ten working days of the conclusion of a hearing, unless the applicant agrees to a longer period in writing, the Commission shall render a written recommendation, which shall include findings and conclusions based on the record.
3. Public notice for this public hearing was provided in accordance with the Yakima Municipal Code.

##### B. Site Design and Improvement Standards:

1. All proposed lots are at least 6,000 square feet in area and have at least the minimum of 20 feet of lot frontage upon a public road in accordance with YMC §15.05.020 (H), and at least the minimum standard lot width of 50 feet in accordance with YMC § 15.05.030 (A) and Table 5-2.
2. Lot Size: The preliminary plat indicates that lot sizes will range from 6,318 square feet to 47,895 square feet, which is consistent with Table 5-1 of Ch. 15.05 of the UAZO for single-family construction.
3. Building Envelope: The preliminary plat indicates that building envelopes on lots within the floodplain will range from approximately 6,745 to 12,660 square feet, which is consistent with YMC § 15.27.321 (B)(2)(c) of the CAO for residential uses.
4. Lot Width: Table 5-2 of Ch. 15.05 requires a minimum lot width for the R-2 zoning district of 50 feet. All proposed lots meet or exceed the minimum requirement.

5. Lot Coverage: Table 5-1 of Ch. 15.05 limits lot coverage in the R-2 zoning district to 60 percent and all lots have sufficient area to comply with this development standard.
6. Setbacks: Table 5-1 of Ch. 15.05 identifies the required setbacks for development within the R-2 zoning district. All lots within the proposed plat shall meet the required setbacks as follows:

Location	From Centerline of Right-of-Way	From Property Line
Front	45 feet	20 feet
Rear	N/A	15 feet
Side (internal)	N/A	5 feet
Side (street)	40 feet	10 feet

7. Maximum Building Height: Table 5-1 of Ch. 15.05 identifies that the maximum building height for development within the R-2 zoning district is 35 feet. The subject parcel is entirely encumbered by Airport Safety Overlay (ASO) Zone 6, which also limits building height to 35 feet. As identified in the applicant's State Environmental Policy Act Checklist, the tallest structure will be no more than 35 feet in height, complying with these standards.
8. Access: In accordance with YMC §15.05.020 (H), all lots have 20 feet of frontage upon a public street, or are accessed by a 20-foot access easement.
9. Sidewalk: In accordance with YMC § 15.05.020 (J), the subject plat identifies that curb, gutter, and sidewalk is proposed to be constructed along all interior street frontages.
10. Density: With a density of approximately 5.51 dwellings per net residential acre, the proposed preliminary plat complies with YMC § 15.05.030 (B) and Table 4-1 of Ch. 15.04 which allows up to 7 dwelling units per net residential acre or greater in the R-2 zone as Class (1) uses.
- The Preliminary Long Plat is occurring as a single action and thus the density calculation is based upon a single action of dividing 22.19 acres into 83 residential lots.
  - Net residential density excluding streets calculated per YMC § 15.05.030:
    - Total lot area: 680,381 square feet
    - $680,381 / 43,560 \text{ (acre)} = 15.62 \text{ acres}$
    - $83 \text{ dwelling units} / 15.62 = 5.31 \text{ dwelling units per net residential acre}$
11. Streets/Dedication of Right-of-Way: Connected to the existing Occidental Rd. access south to Ahtanum Rd., minimum 50-foot-wide rights-of-way shall be



dedicated for local access streets within the subdivision. Curb, gutter, and a five-foot-wide sidewalk shall be installed.

**C. Development Standards:**

1. Frontage Improvements

- a. The applicant will be required to install curb, gutter, and sidewalk along parcel frontages in accordance with YMC § 12.05.010. The street section shall conform to standard detail R3 and the new sidewalks shall be constructed per standard detail R5, in accordance with YMC Ch. 8.67 and 12.05.
- b. At minimum, one street light shall be installed midblock on the westernmost section of the loop as the street exceeds 500 feet in total length. Street lighting shall meet the design and placement standards of the city engineer. Lighting improvements shall become the property of the City of Yakima upon installation and will thereafter be maintained by the city.
- c. Pursuant to Ch. 8.72, an excavation and street break permit shall be obtained for all work within the public right-of-way. Roads less than five years old can be cut, but will cost 150 percent of the restoration fee with no PCI discount.

2. Wastewater

- a. Sewer and a lift station have been extended across Occidental Rd. to the subject parcel.
- b. A minimum sixteen foot easement shall be maintained over all public utility lines in accordance with YMC §§ 12.02.010 and 12.02.020.
- c. All lots with the subject plat shall be served by a separate side sewer line from a public main in accordance with YMC § 12.03.070.
- d. Sewer is to be installed per the Yakima Municipal Code.

3. Water

- a. The applicant shall extend potable water to the subject plat in accordance with YMC § 12.04.10.
- b. Water is served by the Nob Hill Water Association, and the preliminary plat displays water service across all street frontages to serve all lots.

4. Irrigation

- a. The subject parcel is located within the Ahtanum Irrigation District and therefore irrigation district approval is required upon the final plat.

**D. Easements:** Easements are to be established in accordance with YMC §§ 12.02.010 and 12.02.020.

## E. Subdivision Ordinance

As proposed, and with the recommended conditions, this preliminary plat meets all the design requirements of YMC Title 14, the City's subdivision ordinance and the development standards of YMC Title 12. The recommended conditions are intended to ensure consistency with the provisions of the City's subdivision ordinance and that appropriate provisions are provided for the following:

1. Public health, safety, welfare: The construction of new single-family and/or two-family dwellings will complement adjacent uses and will promote the public health, safety and general welfare insofar as there is a need in this community for additional housing and insofar as this proposed preliminary plat would be required to comply with all applicable City development standards, and all conditions of approval specified by the City of Yakima Hearing Examiner.
2. Open spaces: The proposed lots are larger than the minimum lot size required in the R-2 zoning district for single-family dwellings. Lot coverage of 60 percent or less in the R-2 zoning district will provide adequate light and air for future residents in accordance with the standards in the zoning ordinance without additional open spaces.
3. Drainage systems: Drainage system facilities will be provided in accordance with state and local regulations including the City of Yakima Municipal Code and the Eastern Washington Storm Water Manual.
4. Streets, alleys, and other public ways: The subject property will have frontage upon the extension of S. 58th Ave., and proposes new public streets (S. 57th Ave., S. 60th Ave., W. Larch Ave., W. Oak Ave., and Woolsey Rd.) to provide adequate access to all internal lots.
5. Water supplies: Public water is required to be used for domestic and fire flow purposes. Water is available to the site from Nob Hill Water Association via S. 58th Ave.
6. Sanitary waste disposal: Public sewer is required to service all lots within the subject development. A City of Yakima sewer main capable of serving the development has been extended east via Occidental Rd.
7. Parks and playgrounds: Open space, parks, recreation, and playgrounds are located approximately within 2.5 miles of this subdivision due to the proximity of West Valley Park.
8. Sites for schools: Wide Hollow Elementary School is located approximately 2.4 miles away from this subdivision, West Valley Middle Level Campus is located approximately 1.9 miles away, and West Valley High School is located approximately 2.9 miles away.
9. Sidewalks: Sidewalks are required and shall be provided along this development's internal streets (S. 57th Ave., S. 58th Ave., S. 60th Ave., W. Larch Ave., W. Oak Ave., and Woolsey Rd.).

10. Public Transit: Yakima Transit Routes 2 and 5 pass the intersection of S. 64th Ave. and W. Washington Ave. approximately 0.9 miles north of the subdivision.
11. Serves the public interest and use: This proposed 83-lot residential subdivision is consistent with neighboring land uses and better serves the needs of the City of Yakima than the undeveloped status of the property. However, it is recommended that a professional archaeological survey of the project area shall be conducted due to comments received from DAHP.

#### F. Time Limitation

1. Upon preliminary plat approval, the applicant has five years from the date of preliminary approval to submit the final plat. Thereafter, 30 days prior to the expiration of preliminary approval the applicant must submit to the City Council a written request asking to extend the approval period for a maximum period of one year (YMC § 14.20.160). Before the final plat can be recorded, all required infrastructure must be engineered, completed and inspected or engineered and financially secured and receive final plat approval from the Community Development Department.

### V. CRITICAL AREAS FINDINGS

- A. The application was subject to Environmental Review, which resulted in a Determination of Non-Significance (DNS) on December 13, 2023.
- B. Consistent with YMC § 15.27.031 (C) (2), the Administrative Official reviewed the available information pertaining to the proposal and made a determination that a "Critical Areas are present, but there is no impact."
- C. Per YMC § 15.27.309, it has been determined that a Standard Development Permit is required.
- D. YMC § 15.27.311: Authorization Decisions—Basis for Action  
The applicant meets the following criteria:
  1. Impact of the project to critical area features on and abutting property: The impact to critical area features will be minimal as long as the subdivision provides usable building envelopes of at least 5,000 square feet outside the floodplain that crosses Lots 73 – 79.
  2. Danger to life or property that would likely occur as a result of the project: The floodplain of Spring Creek—Tributary 1 is located on the parcel, which will be contained on Lots 73 – 79.
  3. Compatibility of the project to critical area features: Each lot encumbered by the floodplain will have a building envelope located outside of the floodplain, and are larger than the average lot in the subdivision, and will allow floodwaters to flow across them in a manner that will avoid the building envelopes where the homes will be located.
  4. Conformance with applicable development standards: All applicable standards of YMC Ch. 15.27 will be met.

5. Compliance with flood hazard mitigation requirements of YMC 15.27.400 through 15.27.436: The existing FEMA FIRM Panels 53077C1029F and 53077C1037E were revised in 2020 (Case No. 20-10-0066R) which on the subject property channelized the floodplain through Cottonwood Pl. that result in building envelopes for the subdivision located outside of the floodplain and floodway.
6. Adequacy of the information provided by the applicant or available to the division: The application submitted is adequate for review.
7. Based upon the project evaluation, the administrative official shall take one of the following actions:
  - a. Grant the development authorization
  - b. Grant the development authorization with conditions, as provided in YMC 15.27.312, to mitigate impacts to the critical area feature(s)
  - c. Deny the development authorization

**VI. CONCLUSIONS:**

- A. The Hearing Examiner has jurisdiction (RCW Ch. 58.17, YMC §§ 1.43.080, and 14.20.100).
- B. This Preliminary Long Plat complies with the general requirements for subdivision approval as specified by YMC Ch. 14.20 and 15.05.
- C. During project review it has been found that this request is in compliance with YMC § 16.06.020 (B) for making a Determination of Consistency as follows:
  1. The use is permitted within the R-2 zoning district.
  2. All necessary public facilities are available to serve the site.
  3. This proposal is consistent with existing development regulations for this location.
- D. The Determination of Nonsignificance (DNS) was not appealed.
- E. This proposed subdivision serves the public use and interest and provides for the possibility of creating new additional housing within the City of Yakima.
- F. This preliminary subdivision complies with the goals and objectives of the Urban Area Comprehensive Plan, the intent and purpose of the R-2 zoning district, the provisions of the Urban Area Zoning Ordinance, Subdivision Ordinance, Title 12 Development Standards, and Chapter 12.08 the Traffic Concurrency Ordinance.
- G. The proposed plat complies with the provisions of RCW 58.17.110 and YMC § 14.20.100, providing appropriately for: the public health, safety, and general welfare, open spaces, drainage ways, streets or roads, alleys, other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and school grounds, sidewalks, and other planning features that assure safe walking conditions for residents of the neighborhood.

## VII. **RECOMMENDATION:**

The Planning Division recommends that this 83-lot subdivision known as "Marylyn Place," file number PLP#001-23, be approved based upon the above findings and conclusions and subject to the conditions of approval as follows:

- A. Prior to approval of the final plat, all required improvements shall be constructed or financially secured according to the standards and requirements of the City Engineer and YMC Title 12;
- B. All lots shall be served with public water from the Nob Hill Water Association. No individual domestic or irrigation wells shall be permitted for any of the lots. Prior to final plat approval, written verification from Nob Hill Water Association must be submitted to the Planning Division indicating that each lot with the plat has been served with domestic and applicable fees paid;
- C. All lots shall be provided with public sewer service according to YMC Title 12 standards. Prior to final plat approval written verification from the City of Yakima Engineering Department must be provided to the Planning Division indicating that all sewer extensions have been completed and inspected or financially secured;
- D. Eight-foot-wide utility easements shall be dedicated along the front of each lot in subdivisions and short subdivisions. Easements for new and/or future utility lines shall be a minimum of eight feet in width, or twice the buried depth of the utility, whichever is greater;
- E. All public and private utilities to be located within public road rights-of-way must be constructed prior to the start of road construction;
- F. All interior roads on the preliminary plat shall be constructed with curb, gutter, five-foot sidewalks on both sides of the street, and street lighting in accordance with YMC Ch. 12.06, Standard Detail R5, and WSDOT Curb and Sidewalk Plans F-10.12-03;
- G. An excavation and street break permit shall be obtained for all work within the public right-of-way. Roads less than five years old can be cut, but will cost 150 percent of the restoration fee with no PCI discount;
- H. All frontage improvements shall be completed or bonded for prior to long plat approval. Civil engineering plans for public improvements shall be approved prior to bonding for public improvements;
- I. At the discretion of the City Engineer, the owner may bond for required frontage improvements or enter into a deferral agreement for future participation in the cost of any frontage and/or roadway improvement of Local Improvement District (LID) which is constructed abutting the owner's property. The bond or deferral agreement shall be executed and recorded prior to or as part of approval of the plat;
- J. Roadway sections within the floodplain/floodway shall be constructed in accordance with applicable regulations of YMC Ch. 15.27, Part Four.
- K. Fire hydrants shall be placed at the locations specified by Code Administration and the Washington State Fire Code. All lots must be provided with adequate fire flow;

- L. Roadway sections within the floodplain/floodway shall be constructed in accordance with applicable regulations of YMC Ch. 15.27, Part Four.
- M. Fire hydrants shall be placed at the locations specified by Code Administration and the Washington State Fire Code. All lots must be provided with adequate fire flow;
- N. All permits required by the Department of Ecology shall be obtained;
- O. A Large Project Stormwater Permit shall be obtained;
- P. Streetlights shall be installed per the direction of the Engineering Division;
- Q. This plat shall be subject to the following notes, which must be placed on the face of the plat:
  - 1. The addresses shown on this plat are accurate as of the date of recording, but may be subject to change. The City of Yakima Code Administration is responsible for the confirmation or reassignment of addresses at the time of building permit issuance.
  - 2. The owners shown hereon, their grantees and assignees in interest hereby covenant and agree to retain all surface water generated within the plat on-site;
  - 3. Portions of the Plat of Marylyn Place shown hereon may fall within the 1% annual chance (100-year) floodplain and floodway limits shown on current Flood Insurance Rate Maps. Floodplain and floodway information is subject to change as a result of future FEMA Map revisions and/or amendments.
  - 4. No structure, fences, walls, or other obstructions that impede drainage shall be placed within the limits of the (100-year) floodplain or floodway established by the Federal Emergency Management Agency (FEMA) without the approval of the City of Yakima Community Development Director and in accordance with the City of Yakima Municipal code critical areas ordinance. The property owner shall keep the 100-year floodplain and floodway traversing his/her property free of debris which would impede the function of the floodplain or floodway.
- R. Irrigation approval is required, and shall be shown on the face of the final plat;
- S. A current title report covering the subject property must accompany the final long plat;
- T. Upon preliminary plat approval, the applicant has five years to submit the final plat. Thereafter, 30 days prior to the expiration of said approval the applicant must submit to the City Council a written request asking to extend the approval period for a maximum period of one year;
- U. All other requirements of the zoning and subdivision ordinance, although not specifically set forth herein, shall be complied with in their entirety; and

- V. Prior to the issuance of any permits, it is recommended that a professional archaeological survey of the project area be conducted, with copies of the survey provided to DAHP and the Planning Division.

## CHAPTER B

### Maps

[illegible]



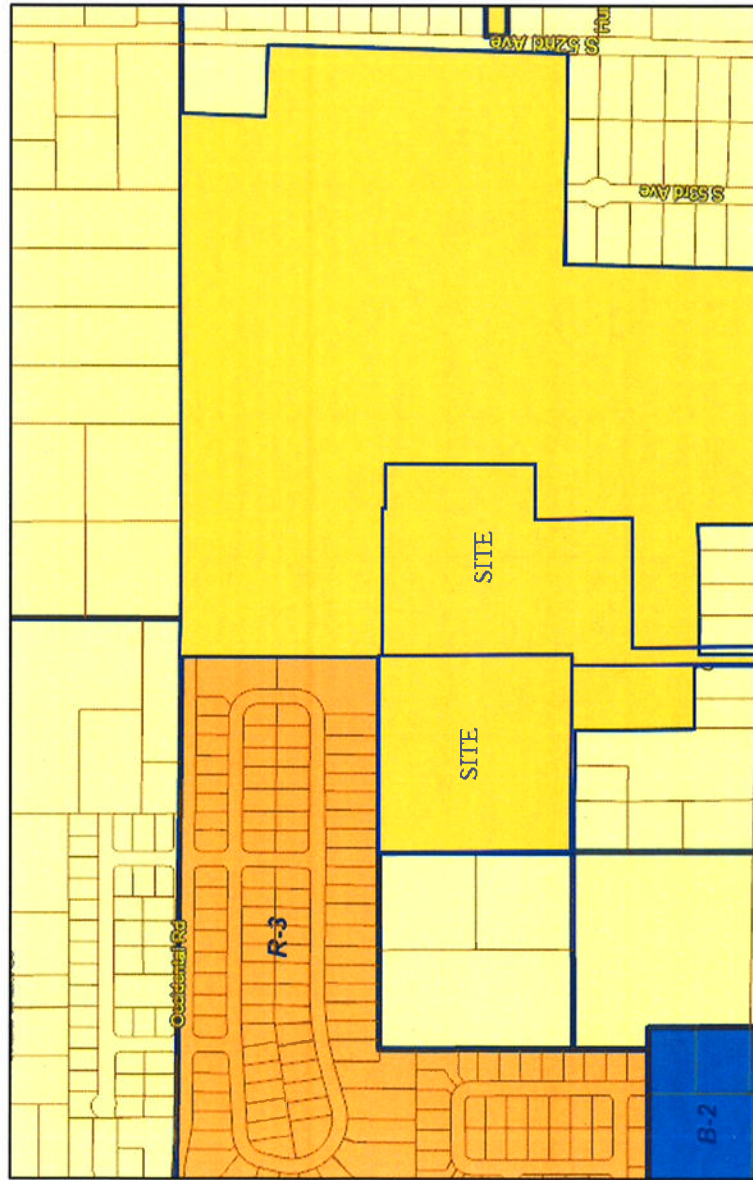
**Project Name:** NOVOBIELSKI SURVIVORS TRUST - "PLAT OF MARYLYN PLACE"

**Site Address:** LOWER AHTANUM/53RD

**File Number(s):** PLP#001-23, SEPA#009-23, CAO#021-23



## ZONING MAP



Yakima Urban Area Zoning	
	SR Suburban Residential
	R-1 Single Family
	R-2 Two Family
	R-3 Multi-Family
	B-1 Professional Business
	B-2 Local Business
	HB Historical Business
	SOC Small Convenience Center
	LOC Large Convenience Center
	CBD Central Business District
	GC General Commercial
	M-1 Light Industrial
	M-2 Heavy Industrial
	RD Regional Development
	A3 Airport Support

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Map Disclaimer: Information shown on this map is for planning and illustration purposes only. The City of Yakima assumes no liability for any errors, omissions, or inaccuracies in the information provided or for any action taken, or action not taken by the user in reliance upon any maps or information provided herein.

Date Created: 9/28/2023

**Project Name:** NOVOBELSKI SURVIVORS TRUST - "PLAT OF MARYLYN PLACE"

**Site Address:** LOWER AHTANUM/53RD

**File Number(s):** PLP#001-23, SEPA#009-23, CAO#021-23

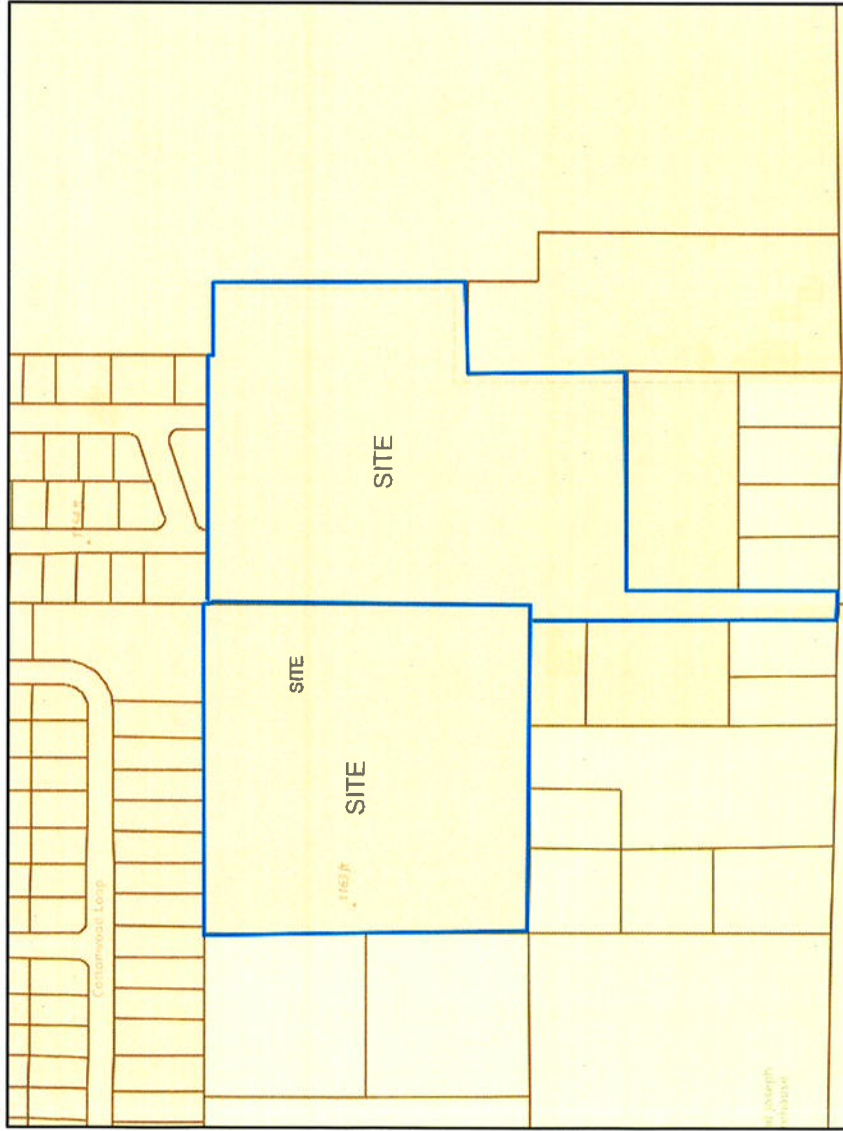


## FUTURE LAND USE MAP



**Yakima Future Land Use Designations**

[Light Yellow Box]	Low Density Residential
[Yellow Box]	Mixed Residential
[Red Box]	Central Business Core Commercial
[Pink Box]	Commercial Mixed Use
[Brown Box]	Regional Commercial
[Blue Box]	Community Mixed Use
[Purple Box]	Industrial



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Date Created: 9/28/2023



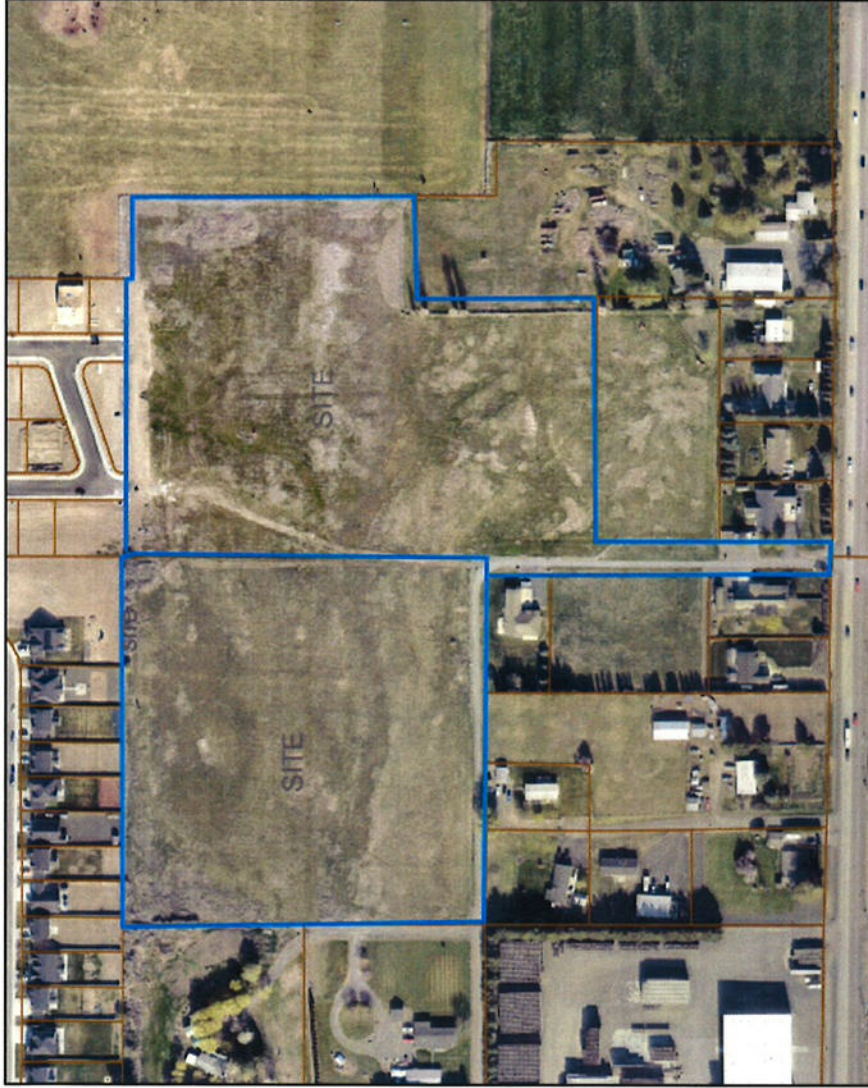
**Project Name:** NOVOBELSKI SURVIVORS TRUST - "PLAT OF MARYLYN PLACE"

**Site Address:** LOWER AHTANUM/53RD

**File Number(s):** PLP#001-23, SEPA#009-23, CAO#021-23



## AERIAL MAP



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Map Disclaimer: Information shown on this map is for planning and illustration purposes only. The City of Yakima assumes no liability for any errors, omissions, or inaccuracies in the information provided or for any action taken, or action not taken by the user in reliance upon any maps or information provided herein.

Date Created: 9/28/2023



**Project Name:** NOVOBIELSKI SURVIVORS TRUST - "PLAT OF MARYLYN PLACE"

**Site Address:** LOWER AHTANUM/53RD

**File Number(s):** PLP#001-23

**Proposal:** Proposed preliminary long plat to subdivide 22.1 acres into 83 lots in the R-2 zoning district.



## VICINITY MAP



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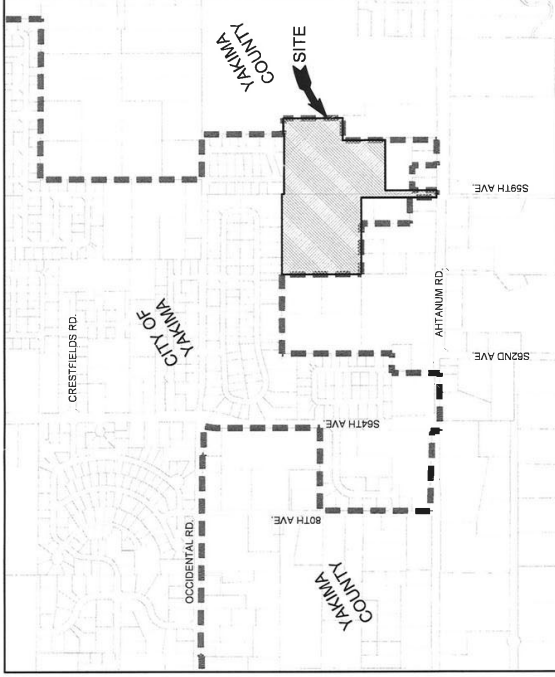
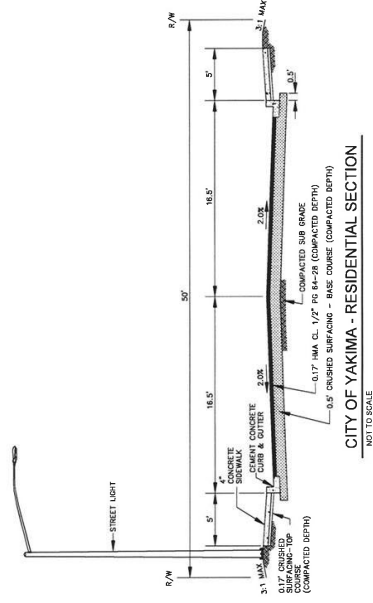
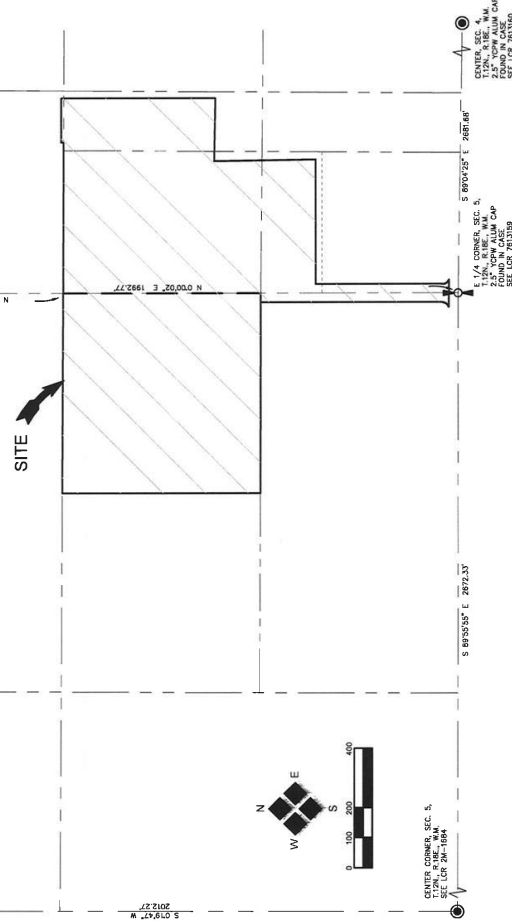
Map Disclaimer: Information shown on this map is for planning and illustration purposes only. The City of Yakima assumes no liability for any errors, omissions, or inaccuracies in the information provided or for any action taken, or action not taken by the user in reliance upon any maps or information provided herein.  
Date Created: 9/27/2023



[illegible]

# PRELIMINARY PLAT OF "MARYLYN PLACE"

(A PORTION OF THE NE 1/4, SECTION 5 AND A  
PORTION OF NW 1/4, SECTION 4 TOWNSHIP 12 NORTH,  
RANGE 18 EAST, W.M.)



VICINITY MAP  
N.T.S.



THE DATUM ELEVATION IS  
BASED ON THE DATUM OF 1985  
AT THE INTERSECTION OF 85TH AVE  
AND OCCIDENTAL RD.

ELEVATION: 1153.95 (NAVD83)

## NOTES

SEE SHEET 2 FOR LEGAL DESCRIPTION,  
CURVE & LINE TABLES, AND ADDITIONAL  
NOTES.

## DEVELOPER

FALCON RIDGE, LLC  
YAKIMA, WA 98908

## ENGINEER/SURVEYOR

HLA ENGINEERING & LAND  
SURVEYING, INC.  
2803 RIVER ROAD  
YAKIMA, WA 98902  
MIKE HEIT, PE  
TIM FRIES, PLS  
(509) 965-7000

DOC.

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#

SHEET 1 OF 2	DATE 9-25-23	FILE NAME 23077.dwg	DRAWING	DESIGNED BY MRH	ENTERED BY AJH	REVISION	DATE	9-26-2023				2803 River Road Yakima, WA 98902 509.965.7000 Fax 509.965.3800 www.hlaenvl.com	<b>FALCON RIDGE, LLC</b> MARYLYN PLACE CITY OF YAKIMA, YAKIMA COUNTY, WASHINGTON PRELIMINARY PLAT

**HLA**  
Engineering and Land Surveying, Inc.

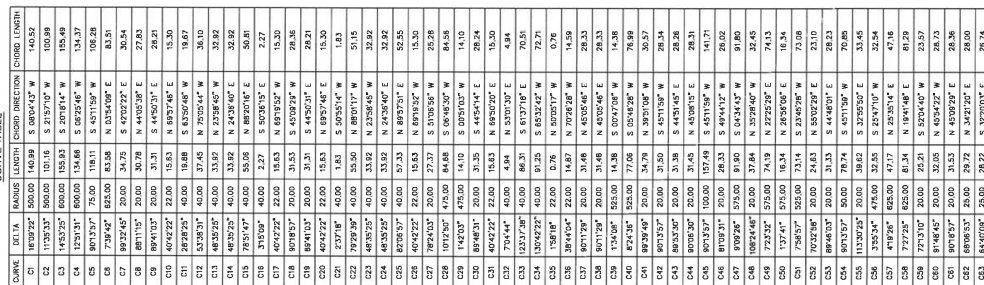


2803 River Road  
Yakima, WA 98902  
509.965.7000  
Fax 509.965.3800  
www.hlaenvl.com

**FALCON RIDGE, LLC**  
MARYLYN PLACE  
CITY OF YAKIMA, YAKIMA COUNTY, WASHINGTON  
PRELIMINARY PLAT

RECEIVED  
SEP 21 2023  
CITY OF YAKIMA  
PLANNING DIV.

PARCEL NOS. 181205-14402, 181204-23005



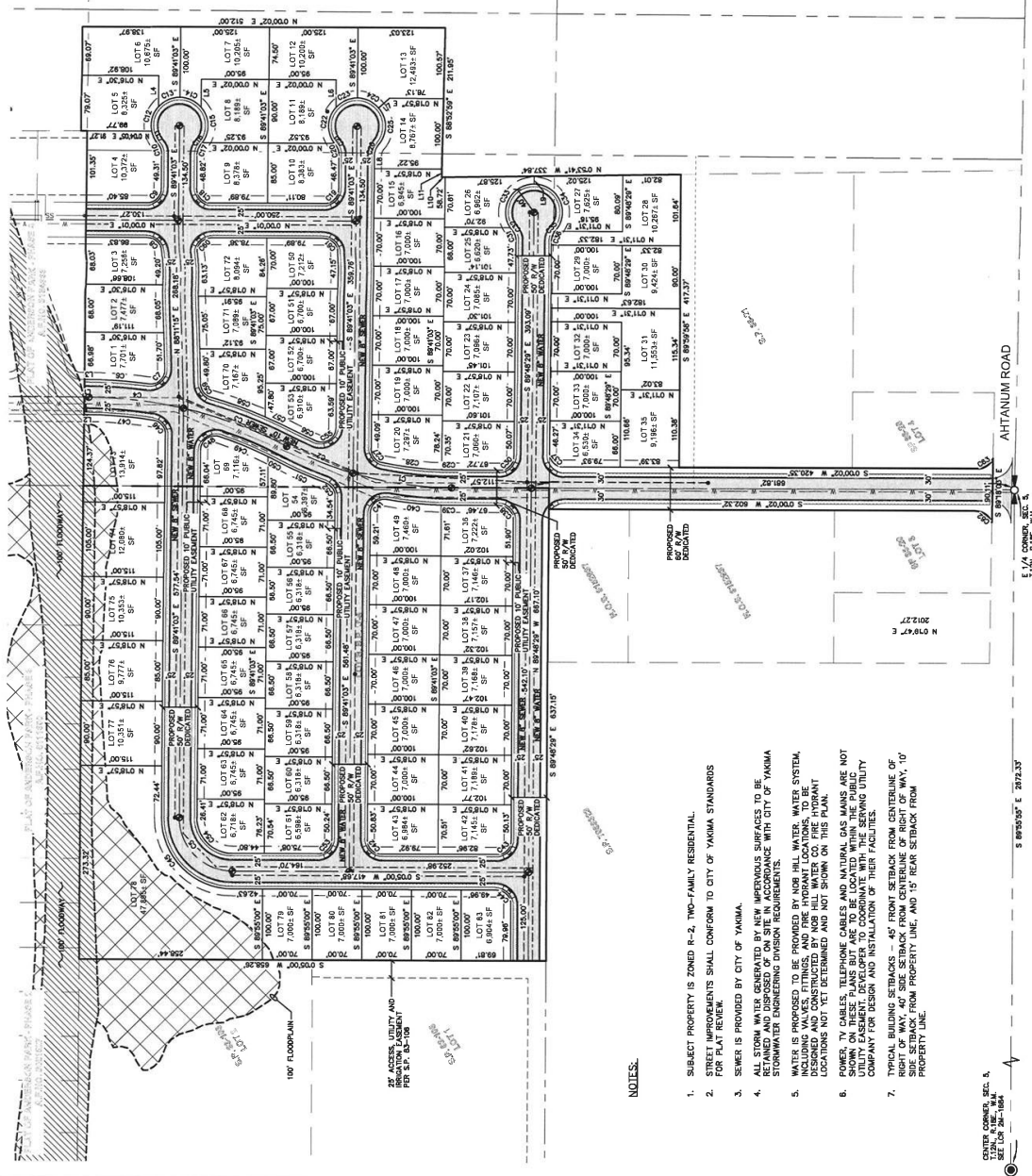
**LEGAL DESCRIPTION**

[illegible]

ARCEL B:  
NOT B, ACCORDING TO THAT CERTAIN SHORT PLAT RECORDED IN BOOK "C" OF SHORT PLATS, PAGE 8, RECORDED UNDER AUDITOR'S FILE NO. 2444366, RECORDS OF AYKAMA COUNTY, WASHINGTON.

LINE	BEARING	LENGTH
L1	S 00°00'01" W	8.48
L2	S 00°00'01" W	6.60
L3	N 00°00'54" E	7.14
L4	S 89°41'03" E	43.78
L5	N 89°41'03" W	39.21
L6	S 89°41'03" E	36.69
L7	N 1°05'37" W	20.66
L8	S 89°41'03" E	19.44
L9	S 89°48'29" E	11.05
L10	N 00°53'41" W	4.94
L11	S 88°52'59" E	4.36

RECEIVED  
SEP 21 2023  
CITY OF YAKIMA  
PLANNING DIV



NOTES:

1. SUBJECT PROPERTY IS ZONED R-2, TWO-FAMILY RESIDENTIAL.
2. STREET IMPROVEMENTS SHALL CONFORM TO CITY OF YAKIMA STANDARDS FOR PLAT REVIEW.
3. SEWER IS PROVIDED BY CITY OF YAKIMA.
4. WATER SUPPLY REQUIRED FOR THIS DEVELOPMENT SHALL BE PROVIDED BY THE CITY OF YAKIMA AND DESIGNED TO MEET CITY STANDARDS WITH CITY OF YAKIMA STORMWATER ENGINEERING DESIGN REQUIREMENTS.
5. WATER IS PROPOSED TO BE PROVIDED BY JOE HALL WATER SYSTEM. LOCATIONS NEEDED FOR WATER MAINS, FIRE HYDRANT LOCATIONS, TO BE DETERMINED BY THE CITY OF YAKIMA. LOCATIONS NOT YET DETERMINED AND NOT SHOWN ON THE PLAN.
6. POWER, TV CABLES, TELEPHONE CABLES AND NATURAL GAS MAINS ARE NOT SHOWN ON THESE PLANS BUT ARE TO BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY BY THE CITY OF YAKIMA. THE CITY OF YAKIMA WILL BE THE UTILITY COMPANY FOR DESIGN AND INSTALLATION OF THEIR FACILITIES.
7. TYPICAL BULKHEAD SETBACKS - 45' FRONT SETBACK FROM CENTERLINE OF RIGHT OF WAY, 40' SIDE SETBACK FROM CENTERLINE OF RIGHT OF WAY, 10' SIDE SETBACK FROM PROPERTY LINE AND 15' REAR SETBACK FROM 10'.

CENTER CORNER, SEC. 5,  
T. 40N. R. 40E. 1411.

1.12N., R.10E., W.M.  
SEE LCR 2M-1684

1



**HLA**  
Engineering and Land Surveying, Inc.

2803 River Road  
Akima, WA 98902  
509.966.7000  
Fax 509.965.3800  
[www.hlacivil.com](http://www.hlacivil.com)

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DE	
DR	
JO	

NUMBER: 77	DATE: 9-20-23
FILE NAMES: 23077.d	
RUN BY: M	

F  
CITY OF

**ALCON**  
MAR  
KIMA, YAH

**BRIDGE**  
LYN PLACE  
MA COUNTY

LLC  
WASHINGTON

64  
SHEET 2 OF 2



[illegible]





CITY OF YAKIMA PLANNING DIVISION  
DST COMMENTS SUBMITTED IN SMARTGOV

Project Name: NOVOBIELSKI SURVIVORS TRUST - "PLAT OF MARYLYN PLACE"

File Number: PLP#001-23, SEPA#009-23, CAO#021-23

DST - WASTEWATER	DST COMMENTS	Sewer to be extended to site per YMC Title 12 requirements and City of Yakima Engineering Standard Details. Proposed sewer plans will be reviewed per ENG permit requirements.	10/16/2023	dana.kallevig@yakimawa.gov
DST - NOB HILL WATER	DST COMMENTS	Nob Hill Water has the capacity to serve a long plat in this area. Engineered drawings will need to be submitted to Nob Hill Water in order for the new water infrastructure to be designed and installed by Nob Hill Water.	09/29/2023	DUSTIN.YATES@YAKIMAWA.GOV
DST - TRAFFIC CONCURRENCY VERIFICATION	GENERAL	Traffic generated from development enters and exits on a county road, Ahtanum. I understand the county was notified. Will notify the county to get arterial traffic data to complete the TCO.	12/07/2023	ROBERT.WASHABAUGH@YAKIMAWA.GOV

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# D-6

**DATE:** January 4, 2024

**TO:** Eric Crowell, Senior Planner

**FROM:** Kirsten McPherson, Development Engineer

**RE:** PLP#001-23, TCO#007-23, CAO#021-23 – LOWER AHTANUM/53RD – “PLAT OF MARYLYN PLACE” - (Parcel # 18120423005) – NOVOBIELSKI SURVIVORS TRUST

---

**Project Description – Proposed preliminary long plat to subdivide 22.1 acres into 83 lots in the R-2 zoning district.**

This project proposes that 22.1 acres be developed into 83 new single-family lots at Lower Ahtanum/53<sup>rd</sup>, also known as “Plat of Marylyn Place”. The property currently is two vacant parcels. The proposed development will cause increased pedestrian and vehicle traffic without adequate safety precautions for pedestrians. The proposed development has the potential for more frequent trips in and out of the property. Current frontage infrastructure is not adequate enough to handle the new proposed 83 single-family lots.

In order to alleviate the resulting impacts from the change in use proposal, the City is requiring the following improvements:

**YMC 8.60 and 12.05 – New curb, gutter, ADA ramps and 5' sidewalk, including associated storm drainage, shall be installed. Street improvements shall conform to standard detail R3. New sidewalks shall be constructed per standard detail R5.**

**YMC 8.64 and 15.06.065 – Residential driveway approaches are required which meets the requirements of this chapter and standard detail R4. Driveway width shall be a max. of 20'.**

**YMC 12.06.020 – Right of way – Applicant shall determine adequate dedication of right of way for all new/proposed roads.**

**YMC 15.05.040 – Clear vision triangle shall be maintained per this chapter.**

**YMC 12.06.080 - Street lighting - Street lights shall be installed per this chapter.**

**YMC 12.02 – Easements shall be established and maintained per this chapter.**

**YMC 8.72 – An excavation and street break permit shall be obtained for all work within the public right of way.**

**Acknowledge that the parcels to the north are prohibiting the floodway and currently are undergoing mitigation measures to correct.**

**An ENG permit is required for all civil work to be performed on site. Professional engineered civil plans with PE stamp shall be submitted for review and approval. All improvements shall be completed prior to Certificate of Occupancy.**

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**COMMUNITY DEVELOPMENT DEPARTMENT**  
*Code Administration Division*  
129 North Second Street, 2nd Floor Yakima, Washington 98901  
Phone (509) 575-6126 • Fax (509) 576-6576  
[codes@yakimawa.gov](mailto:codes@yakimawa.gov) • [www.buildingyakima.com](http://www.buildingyakima.com)

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October 11, 2023

Eric Crowell  
City of Yakima Planning Division  
129 N 2<sup>nd</sup> St.  
Yakima, WA 98901

From: Glenn Denman, City of Yakima Building Official

Re: DST Comment PLP#001-23, LOWER AHTANUM/53RD

Pursuant to the Chapter 5 of the Washington State Fire Code (WSFC), publicly available fire hydrants will be required along streets spaced at intervals that will provide required fire flow coverage for proposed structures in accordance with WSFC Appendix C. Installation of approved hydrants must be completed prior to final plat approval.

These findings are not intended to be an exhaustive review of this proposal.

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# D-4



# City of Yakima Stormwater

## Memorandum

---

Date: October 10, 2023

To: Eric Crowell  
Senior Planner

From: Randy Meloy  
Surface Water Engineer

Subject: PLP#001-23  
Marylyn Place

---

Eric,

This very large development will easily pass the one-acre threshold for ground disturbance. Before any ground clearing activities take place, the applicant shall get a Large Project Stormwater Permit. The requirements of a Large Project Stormwater Permit are:

- **Drainage plan(s) and calculations**
- **Stormwater maintenance agreement and plan**
- Proof that the maintenance agreement was **recorded** in the Yakima County Auditor's Office
- **Construction Stormwater Pollution Prevention Plan (SWPPP)**. The Construction SWPPP shall be reviewed and approved by the Surface Water Engineer prior to any grading or construction. A Temporary Erosion and Sediment Control (TESC) plan shall be submitted for approval.
- In lieu of turning in a Construction Stormwater Pollution Prevention Plan, the applicant can satisfy this requirement by obtaining a Construction Stormwater General Permit through the Washington State Department of Ecology. A copy of the signed General Permit shall be delivered to the Surface Water Engineer. Go to <https://ecology.wa.gov/regulations-permits/permits-certifications/stormwater-general-permits/construction-stormwater-permit> for more information on how to apply for the General Permit.
- A narrative explaining how Core Elements 1-8 are being satisfied.
- An operation and maintenance plan for the perpetual maintenance of the facilities is now required.

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# D-3

**Grading and/or building permits shall not be issued without the project site first passing an erosion control inspection.** The erosion control measures shown on the TESC plan must be in place prior to any grading.

Complete stormwater design plans, specifications and runoff/storage calculations supporting the stormwater design are required pursuant to the Eastern Washington Stormwater Manual and City of Yakima standards. These plans and control measures must be completed by a licensed Professional Engineer and then be reviewed and approved by the City of Yakima Surface Water Engineer prior to construction.

#### UIC Registration - Stormwater

In accordance with the August 2019 edition of the Department of Ecology's Stormwater Management Manual for Eastern Washington (SMMEW), Underground Injection Control (UIC) wells constructed on or after February 3, 2006 are considered new and must be registered with the Department of Ecology (DOE) 60 days prior to construction. To register your UIC wells, you must go through the Secure Access Washington website. Go to <https://secureaccess.wa.gov/ecy/wqwebportal/> to create an account and register your wells. UIC wells that receive polluted runoff shall retain the larger of the 100-year 3-hour and 100-year 24-hour storms and shall be designed for treatment using Table 5.23 of the SMMEW.

More information on the Industrial Stormwater General Permit Notice of Intent can be found at <https://ecology.wa.gov/Regulations-Permits/Guidance-technical-assistance/Water-quality-permits-guidance/WQWebPortal-guidance>.

Randy Meloy  
Surface Water Engineer  
City of Yakima  
(509) 576-6606

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# D-3



# COMMUNITY DEVELOPMENT DEPARTMENT

*Joan Davenport, AICP, Director*

*Glenn Denman, Manager*

*Code Administration Division*

*129 North Second Street, 2nd Floor Yakima, Washington 98901*

*Phone (509) 575-6126 • Fax (509) 576-6576 E-mail: codes@yakimawa.gov*

October 5, 2023

**\*REVISED January 8, 2024\***

To: City of Yakima Planning Division

From: Lisa Maxey, Community Development Administrative Assistant

Re: Preliminary Addressing for PLP#001-23 – Marylyn Place  
Subdivide 2 parcels into 83 single-family lots in the vicinity of S 58<sup>th</sup> Ave & Ahtanum Rd  
181204-23005 & 181205-14402

## **Preliminary Addressing for this Proposal:**

- All addresses shall be clearly shown on the face of the Final Plat (RCW 58.17.280). Additionally, a note shall be shown on the face of the Final Plat stating: "The addresses shown on this plat are accurate as of the date of recording, but may be subject to change. The City of Yakima Code Administration Division is responsible for the confirmation or reassignment of addresses at the time of building permit issuance." The following addresses shall be utilized for the created lots:

Lot 1: 2315 S 58 <sup>th</sup> Ave / 5705 W Larch Ave	Lot 28: 5700 W Oak Ave
Lot 2: 5703 Larch Ave	Lot 29: 5702 W Oak Ave
Lot 3: 2316 S 57 <sup>th</sup> Ave / 5701 W Larch Ave	Lot 30: 5704 W Oak Ave
Lot 4: 2315 S 57 <sup>th</sup> Ave / 5609 W Larch Ave	Lot 31: 5706 W Oak Ave
Lot 5: 5607 W Larch Ave	Lot 32: 5708 W Oak Ave
Lot 6: 5605 W Larch Ave	Lot 33: 5710 W Oak Ave
Lot 7: 5606 W Larch Ave	Lot 34: 2501 S 58 <sup>th</sup> Ave / 5712 W Oak Ave
Lot 8: 5608 W Larch Ave	Lot 35: 2503 S 58 <sup>th</sup> Ave
Lot 9: 2401 S 57 <sup>th</sup> Ave / 5610 W Larch Ave	Lot 36: 2406 S 58 <sup>th</sup> Ave / 5801 W Oak Ave
Lot 10: 2403 S 57 <sup>th</sup> Ave / 5609 Woolsey Rd	Lot 37: 5803 W Oak Ave
Lot 11: 5607 Woolsey Rd	Lot 38: 5805 W Oak Ave
Lot 12: 5605 Woolsey Rd	Lot 39: 5807 W Oak Ave
Lot 13: 5604 Woolsey Rd	Lot 40: 5809 W Oak Ave
Lot 14: 5608 Woolsey Rd	Lot 41: 5811 W Oak Ave
Lot 15: 5610 Woolsey Rd	Lot 42: 2407 S 60 <sup>th</sup> Ave / 5813 W Oak Ave
Lot 16: 5700 Woolsey Rd	Lot 43: 2405 S 60 <sup>th</sup> Ave / 5812 Woolsey Rd
Lot 17: 5702 Woolsey Rd	Lot 44: 5810 Woolsey Rd
Lot 18: 5704 Woolsey Rd	Lot 45: 5808 Woolsey Rd
Lot 19: 5706 Woolsey Rd	Lot 46: 5806 Woolsey Rd
Lot 20: 2405 S 58 <sup>th</sup> Ave / 5708 Woolsey Rd	Lot 47: 5804 Woolsey Rd
Lot 21: 2407 S 58 <sup>th</sup> Ave / 5709 W Oak Ave	Lot 48: 5802 Woolsey Rd
Lot 22: 5707 W Oak Ave	Lot 49: 2404 S 58 <sup>th</sup> Ave / 5800 Woolsey Rd
Lot 23: 5705 W Oak Ave	Lot 50: 2402 S 57 <sup>th</sup> Ave / 5701 Woolsey Rd
Lot 24: 5703 W Oak Ave	Lot 51: 5703 Woolsey Rd
Lot 25: 5701 W Oak Ave	Lot 52: 5705 Woolsey Rd
Lot 26: 5609 W Oak Ave	Lot 53: 2403 S 58 <sup>th</sup> Ave / 5707 Woolsey Rd

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Lot 27: 5610 W Oak Ave  
Lot 55: 5803 Woolsey Rd  
Lot 56: 5805 Woolsey Rd  
Lot 57: 5807 Woolsey Rd  
Lot 58: 5809 Woolsey Rd  
Lot 59: 5811 Woolsey Rd  
Lot 60: 5813 Woolsey Rd  
Lot 61: 2403 S 60<sup>th</sup> Ave / 5815 Woolsey Rd  
Lot 62: 2401 S 60<sup>th</sup> Ave / 5814 W Larch Ave  
Lot 63: 5812 W Larch Ave  
Lot 64: 5810 W Larch Ave  
Lot 65: 5808 W Larch Ave  
Lot 66: 5806 W Larch Ave  
Lot 67: 5804 W Larch Ave  
Lot 68: 5802 W Larch Ave  
Lot 69: 2400 S 58<sup>th</sup> Ave / 5800 W Larch Ave

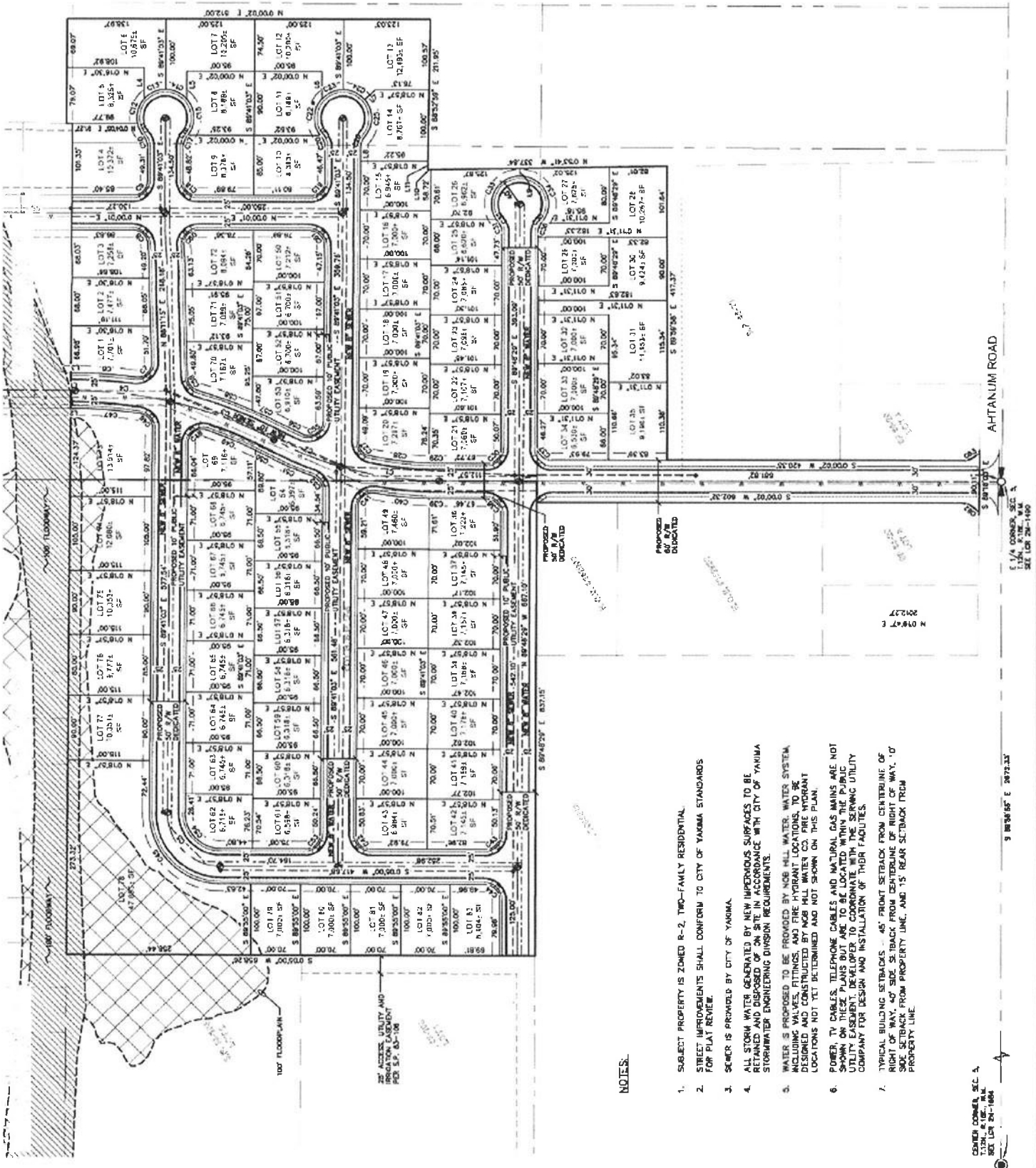
Lot 54: 2402 S 58<sup>th</sup> Ave / 5801 Woolsey Rd  
Lot 70: 2401 S 58<sup>th</sup> Ave / 5704 W Larch Ave  
Lot 71: 5702 W Larch Ave  
Lot 72: 2400 S 57<sup>th</sup> Ave / 5700 W Larch Ave  
Lot 73: 2316 S 58<sup>th</sup> Ave / 5801 W Larch Ave  
Lot 74: 5803 W Larch Ave  
Lot 75: 5805 W Larch Ave  
Lot 76: 5807 W Larch Ave  
Lot 77: 5809 W Larch Ave  
Lot 78: 2400 S 60<sup>th</sup> Ave / 5811 W Larch Ave  
Lot 79: 2406 S 60<sup>th</sup> Ave  
Lot 80: 2408 S 60<sup>th</sup> Ave  
Lot 81: 2410 S 60<sup>th</sup> Ave  
Lot 82: 2412 S 60<sup>th</sup> Ave  
Lot 83: 2414 S 60<sup>th</sup> Ave

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# D-2







NOTES.

1. SUBJECT PROPERTY IS ZONED R-2, TWO-FAMILY RESIDENTIAL.
2. STREET IMPROVEMENTS SHALL CONFORM TO CITY OF YAKIMA STANDARDS FOR PLAT REVIEW.
3. SEWER IS PROVIDED BY CITY OF YAKIMA.
4. ALL STORM WATER GENERATED BY NEW IMPROVED SURFACES TO BE RETAINED AND DISPOSED OF ON SITE IN ACCORDANCE WITH CITY OF YAKIMA STORMWATER ENGINEERING DIVISION REQUIREMENTS.
5. WATER IS PROPOSED TO BE PROVIDED BY NOB HILL WATER. WATER SYSTEM INCLUDING VALVES, FITTINGS, AND FIRE HYDRANT LOCATIONS, TO BE DESIGNED AND CONSTRUCTED BY NOB HILL WATER CO. FIRE HYDRANT LOCATIONS NOT YET DETERMINED AND NOT SHOWN ON THIS PLAN.
6. POWER, TV CABLES, TELEPHONE CABLES AND NATURAL GAS MAINS ARE NOT SHOWN ON THESE PLANS BUT ARE TO BE LOCATED WITHIN THE PUBLIC UTILITY EASEMENT DEVELOPER TO COORDINATE WITH THE SERVING UTILITY COMPANY FOR DESIGN AND INSTALLATION OF THEIR FACILITIES.
7. TYPICAL BUILDING SETBACKS - 45' FRONT SETBACK FROM CENTERLINE OF RIGHT OF WAY, 40' SIDE SETBACK FROM CENTERLINE OF RIGHT OF WAY, 10' SIDE SETBACK FROM PROPERTY LINE, AND 15' REAR SETBACK FROM PROPERTY LINE.

CORNER CORNER, SEC. 4,  
T.13N., R.10E., W.14E.,  
SEE LOT 24-1400

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**City of Yakima Development Services Team  
Request For Comments  
October 4, 2023**

<b>To:</b>	City of Yakima Development Services Team
<b>From:</b>	Eric Crowell, Senior Planner
<b>Subject:</b>	Request for Comments
<b>Applicant:</b>	HLA Engineering & Land Surveying Inc. c/o Mike Heit
<b>File Numbers:</b>	PLP#001-23, SEPA#009-23, CAO#021-23
<b>Location:</b>	Vicinity of Ahtanum Rd. & S. 58th Ave.
<b>Parcel Number(s):</b>	181204-14402 & -23005
<b>DST MEETING DATE:</b>	<b>10/10/2023</b>

**Proposal**

Proposed preliminary long plat to subdivide 22.1 acres into 83 single-family lots located partially within the floodplain, in the R-2 zoning district.

Please review the attached application and site plan and prepare any written comments you might have regarding this proposal. This project will come up for discussion at the weekly DST meeting to be held **October 10, 2023 at 2:00 p.m.** As always, should you have comments, but find you are unable to attend, please submit your comments prior to the meeting. Should you have any questions, or require additional information, please contact me at [eric.crowell@yakimawa.gov](mailto:eric.crowell@yakimawa.gov) or (509) 576-6736.

**Comments:**


\_\_\_\_\_  
Contact Person

\_\_\_\_\_  
Department/Agency

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CITY OF YAKIMA  
PLANNING DIV.

## City of Yakima, Washington TRANSPORTATION CAPACITY ANALYSIS

The Washington State Growth Management Act (RCW 36.70A.70) requires all new development to be consistent with the existing or planned street system capacities. The City of Yakima adopted YMC Ch. 12.08 to implement this local requirement. The information you provide with this application will be used to estimate the impact of your development upon the PM Peak Hour traffic on the City of Yakima arterial streets.

### APPLICATION INFORMATION

**Applicant Name:** HLA Civil Engineering **Project Address:** Lower Ahtanum RD/62 and  
**Contact Person:** Mike Heit Lower Ahtanum/53RD  
**Mailing Address:** 2803 River Road  
Yakima, WA 98902 **Parcel No(s):** 181204-23005 & 1812205-14402

Please fill out the appropriate column for your proposed use:

For RESIDENTIAL Use:	For COMMERCIAL Use:	For INDUSTRIAL Use:
Housing Type* <u>Single Family</u> (Single-Family, Apartments, etc)	Describe Use* _____	Describe Use* _____
Special Population* _____ (Nursing Homes, etc)	Gross Floor Area _____	Gross Floor Area _____
Other* _____ (Group Home, Daycare, Church, etc.)	Parking Spaces _____ (Required/Provided)	Parking Spaces _____ (Required/Provided)
Number of Units <u>83</u>	Number of Employees _____	Number of Employees _____

\*Uses must match up with YMC Ch. 15.04, Table 4-1

**Project Description:** The proposed Marylyn Place subdivision will subdivide approximately 22.1 acres into 83 single family  
lots that will have access to south on Ahtanum and to the north on to Occidental and S. 64th Avenue.

Submit this form with a site plan, the application fee, and any attachments to the City of Yakima, Permit Center, Yakima City Hall, 129 N. 2nd Street, Yakima, WA 98901. You will receive a Notice of Decision explaining the Findings of the resulting analysis. Please review the Decision when it is sent to you, as you only have 14 days to file a Request for Reconsideration or an Appeal.

**Questions?** Contact the City of Yakima, Planning Division, 129 N. 2nd Street, Yakima, WA 98901 - (509) 575-6183

<b>FILE/APPLICATION #:</b> <u>TCO #007-23</u>			
<b>DATE FEE PAID:</b> <u>10/03/2023</u>	<b>RECEIVED BY:</b> <u>Online</u>	<b>AMOUNT PAID:</b> <u>\$375.00</u>	<b>RECEIPT NO:</b> <u>0223003238</u>

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CITY OF YAKIMA  
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## PROJECT DESCRIPTION TRAFFIC CONCURRENCY

The Plat of Marylyn Place will subdivide approximately 22.1 acres into 85 single family lots. The lot sizes vary in size from approximately 6,318 square feet to 46,745 square feet. The lots will have frontage onto a public roadway that will be constructed as part of this project.

Access to the plat will be from extensions off Occidental Avenue and Ahtanum Road. Nob Hill Water will serve the lots with domestic water. City of Yakima sewer will serve the sewerage needs. Storm water will be contained on-site in underground infiltration.

There are no existing surface bodies of water within the development.

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# E-4



## Critical Areas Identification Form

CITY OF YAKIMA, DEPARTMENT OF COMMUNITY DEVELOPMENT

129 NORTH SECOND STREET, 2ND FLOOR, YAKIMA, WA 98901

VOICE: (509) 575-6183 EMAIL: ask.planning@yakimawa.gov

This form is intended to provide a sufficient level of information that, when combined with a site inspection, the Administrative Official can make an informed determination as to whether or not critical areas are present on the site, and whether or not the proposed activity will impact those critical areas. A "yes" response to any single question on the identification form does not necessarily indicate that further critical area review is required. **The Administrative Official will evaluate all the information provided on the form, in conjunction with the information provided with the initial permit application, to determine if further investigation is needed and whether completion of a critical area report is warranted.** In some instances, a preliminary report prepared by an environmental professional may be appropriate. If a buffer reduction is necessary for your project, a separate review will be required and a separate fee will be charged. Some of the questions listed here require locating the project area on reference maps. The City of Yakima has various maps on file, i.e. the FEMA Floodplain Map. Maps from other federal, state, and local agencies may also be used as indicators.

### PART II - APPLICATION INFORMATION

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#### A. Project Information

##### 1. Name of project.

WM Holdings

##### 2. Name and address of applicant.

HLA Engineering & Land Surveying, Inc, 2803 River Road, Yakima, WA 9892

##### 3. Name and address of individual completing the identification form and their environmental/technical expertise/special qualifications.

Michael R Hiet, PE., HLA Engineering and Land Surveying, Inc.  
2803 River Road, Yakima, WA 98902

##### 4. Date the identification form was prepared.

September 13, 2023

##### 5. Location of the proposed activity (street address and legal description).

See attached

##### 6. Give a brief, complete description of the proposed activity, including extent of proposed activities, and impervious surface areas.

The existing site is open land covered with natural occurring pasture grasses. It may have been used in the past for grazing land or growing hay. The land is proposed to be subdivided into 85 single family residential lots that will have single family homes constructed on them. The floodplain was revised through the LOMR process to create building pads outside of the floodplain consistent with CAO#008-19 and approved LOMR. Lots 48 - 56 have floodplain, floodway crossing or touching the property.

##### 7. Describe the limits of the project area in relation to the site (for example, "the project area will extend to within 50 feet of the north property line"), including the limits of proposed clearing and construction activity.

The project area varies across the plat, see attached revised floodplain mapping.

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**B. General Questions That May Be Applicable To All Areas**

**1. What is the U.S. Department of Agriculture soil classification of the soil found on site?**

The primary soil for the site is a Kittitas Silt Loam which is a CL, ML.

**2. What types of soils are found on the site (for example, clay, sand, gravel, peat, muck)?**

Silt Loam

**3. What types of vegetation are found on site? Cattail, buttercup, bulrush, skunk cabbage, water lily, eelgrass, milfoil?**

The primary vegetation on the site is natural occurring pasture grasses.

**4. Describe any vegetation proposed to be planted as part of the project.**

The project is to develop single family residential homes and standard residential type landscaping will be planted consisting of grass, trees and shrubs.

**5. Give a brief, complete description of existing site conditions, including current and past uses of the property as well as adjoining land uses.**

The existing site is open land covered with natural occurring pasture grasses.

**6. Will the project include installation of an on-site septic system?**

No, it will be connected to City sewer.

**7. What is the proposed timing and schedule for all multi-phased projects?**

**8. Do you have any plans for future additions, expansion, or related activity? If yes, explain.**

There are no plans for future additions at this time. The land will be fully developed upon completion of the project.

**9. Have any critical areas or protection easements been recorded on the title of the property or adjacent properties?**

There are none known to exist.

**10. Will your project require review under the State Shoreline Management Act or the State Environmental Policy Act?**

The project will be reviewed under SEPA.

**11. Is the site within the 100-year flood plain on flood insurance maps published by the Federal Emergency Management Agency (FEMA), or on other local flood data maps?**

The site has a portion that is within the 100-year flood plain. See attached map

**12. Describe any surface water and watercourses, including intermittent streams, drainage channels, ditches, and springs, located on site or within one-half mile of the site. If appropriate, provide the names of the water bodies to which the streams flow.**

There are no existing surface bodies of water within the development. There is a piped irrigation ditch that passes across the northern portion of the property and continues just east. Ahtanum Irrigation District considers it a part of Hugh Bowman Ditch.

**13. Indicate the topography of the site (shallow areas often retain water and may be wetlands, although wetlands may also occur on slopes).**

The site slopes gently to the east at approximately 1 1/2 percent.

**14. How will stormwater from the project be managed?**

Runoff will be collected and managed on-site via underground infiltration facilities.

**15. Is development proposed to be clustered to reduce disturbance of critical areas?**

The site 100-year flood plain was previously revised as part of the LOMR process to minimize disturbance to the critical areas. There are no wetlands or bodies of water on the site.

**16. Will this project require other government approvals for environmental impacts?**

- ☐ Hydraulic Project Approval (HPA) (Washington Department of Fish and Wildlife)
- ☐ Water quality certification [(Washington State Department of Ecology (Ecology)).
- ☐ National Pollutant Discharge Elimination System (Ecology).
- ☐ Municipal or health district wastewater/septic approval (Ecology).
- ☐ Water Use Permit; Certificate of Water Right (Ecology).
- ☐ U.S. Army Corps Section 404 or Section 10 Permits.
- ☐ Forest Practices Permit (Washington State Department of Natural Resources (DNR)).
- ☐ Aquatic Lands Lease and/or Authorization (DNR).
- ☐ Shoreline development, conditional use, or variance permit (local jurisdiction).
- ☐ Other \_\_\_\_\_

**C. Available Information**

**1. Has a critical area review, or other environmental review, been conducted for another project located on or adjacent to the site? List any environmental information known to have been prepared, or expected to be prepared, relating to this proposal or project area.**

Adjacent properties to the north have recently gone through CAO and SEPA review and were approved for development.

**D. Wetlands**

**1. Is there any evidence of ponding on or in the vicinity of the site?**

There are no know wetlands on the property.

**2. Does the proposed activity or construction involve any discharge of waste materials or the use of hazardous substances?**

There are no discharges anticipated as part of the construction activity.



**E. Critical Aquifer Recharge Areas**

1. What is the permeability (rate of infiltration) of the soils on the site? (Note: *General information for this question and the following question can be found in the Guidance Document for the Establishment of Critical Aquifer Recharge Area Ordinances, 2000, Ecology Publication #97-30*). Approximately 1 inch per hour.

2. What is the annual average precipitation in the area?

6 to 12 inches per year.

3. Is there any evidence of groundwater contamination on or in the vicinity of the site?

None are known to exist.

4. Is there any groundwater information available from wells that have been dug in the vicinity? If so, describe, including depth of groundwater and groundwater quality.

Groundwater from test holes varies from 10 to 13 feet.

5. Does the proposed activity or construction involve any discharge of waste materials or the use of hazardous substances?

There are no discharges anticipated as part of the construction activity.

**F. Frequently Flooded Areas**

1. Is the site, or a portion of the site, at a lower elevation than surrounding properties?

The flood plain area is at a slightly lower elevation than the adjacent property.

**G. Geological Hazard**

1. Generally describe the site: Flat, rolling, hilly, steep slopes, mountainous, other.

The site is generally flat and slopes gently to the east.

2. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill material.

This proposal does not anticipate moving any material within the critical area. The only material moved would be excavations for the roadway so the road surface can be set at the existing ground elevation, resulting in zero net rise.

3. What is the steepest slope on the property? 1 1/2 percent

4. Is the area mapped by Ecology (Coastal Zone Atlas) or the Department of Natural Resource (slope stability mapping) as unstable ("U" or class 3), unstable old slides ("UOS" or class 4), or unstable recent slides ("URS" or class 5)?

No

5. Is the area designated as quaternary slumps, earthflows, mudflows, lahars, seismic hazard, or landslides on maps published by the U.S. Geological Survey or Dept. of Natural Resources?

No

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**6. Is there any indication of past landslides, erosion, or unstable soils in the vicinity?**

No

**7. Is erosion likely to occur as a result of clearing, construction, or use?**

It is not anticipated and Best Management Practices will be employed to prevent erosion.

**8. Are soils proposed to be compacted?**

Soils under the roadway will be compacted.

**9. Are roads, walkways, and parking areas designed to be parallel to natural contours?**

The roads and walkways slope with natural terrain.

**H. Habitat****1. List any birds, mammals, fish, or other animal species found in the vicinity of the site, including those found during seasonal periods.**

Songbirds

**2. Is the site or areas in the vicinity used for commercial or recreational fishing, including shellfish?**

No

**3. Is the area designated an Area of Special Concern under on-site sewage regulations to protect shellfish or the general aquatic habitat?**

No

**4. Are any natural area preserves or natural resource areas located within 500 feet of the site?**

No

**5. Is the site part of a migration route?**

Most of Washington State is part of the Pacific Flyway migratory route for birds.

**6. Are any priority habitat areas, as shown on maps published by the WA Dept. of Fish & Wildlife, within one-half mile of the site? If so, describe type of habitat and distance from project area.**

No

**7. Are any of the following located on or adjacent to the site?**

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Aspen stands  | <input type="checkbox"/> Estuary and estuary like areas          | <input type="checkbox"/> Juniper savannah          |
| <input type="checkbox"/> Caves         | <input type="checkbox"/> Marine/estuarine shorelines             | <input type="checkbox"/> Prairies and steppe       |
| <input type="checkbox"/> Cliffs        | <input type="checkbox"/> Vegetative marine/estuarine areas       | <input type="checkbox"/> Riparian areas            |
| <input type="checkbox"/> Shrub-steppe  | <input type="checkbox"/> Old-growth/mature forests               | <input type="checkbox"/> Instream habitat areas    |
| <input type="checkbox"/> Snags or logs | <input type="checkbox"/> Oregon white oak woodlands              | <input type="checkbox"/> Rural natural open spaces |
| <input type="checkbox"/> Talus         | <input type="checkbox"/> Freshwater wetlands and fresh deepwater | <input type="checkbox"/> Urban natural open spaces |

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**8. Does the proposal involve any discharge of waste materials or the use of hazardous substances?**

There are no discharges anticipated as part of the construction activity.

**9. What levels of noise will be produced from the proposed activity or construction?**

Normal construction noise and normal residential maintenance noise. i.e. lawn mowers, leaf blowers, power trimmers.

**10. Will light or glare result from the proposed activity or construction?**

No, lights will be directed down or toward the interior.

**III. REQUIRED ATTACHMENTS**

**1. Are there any existing environmental documents for the subject property?**

**2. Provide a detailed site plan which includes all the required items on the Site Plan Checklist, along with the extent and nature of on-site and off-site Critical Areas and the relationship of the project to those Critical Areas.**

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# ENVIRONMENTAL CHECKLIST

STATE ENVIRONMENTAL POLICY ACT (SEPA)

(AS TAKEN FROM WAC 197-11-960)

YAKIMA MUNICIPAL CODE CHAPTER 6.88

## PURPOSE OF CHECKLIST

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

## INSTRUCTIONS FOR APPLICANTS

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to **all parts of your proposal**, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help you describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

## USE OF CHECKLIST FOR NONPROJECT PROPOSALS

For non-project proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D). Please completely answer all questions that apply and note that the words "project", "applicant", and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B – Environmental Elements – that do not contribute meaningfully to the analysis of the proposal.

## A. BACKGROUND INFORMATION (To be completed by the applicant.)

### 1. Name Of Proposed Project (If Applicable):

WM Holdings

### 2. Applicant's Name & Phone:

HLA Engineering & Land Surveying, Inc | Mike Heit | 509-966-7000

### 3. Applicant's Address:

2803 River Road, Yakima, WA 98902

### 4. Contact Person & Phone:

Mike Heit | 509-966-7000

### 5. Agency Requesting Checklist: City of Yakima

### 6. Proposed Timing Or Schedule (Including Phasing, If Applicable):

N/A

### 7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain:

The SEPA is in conjunction with a Preliminary Plat Application for Marylyn Place and proposed construction of residential buildings. Property will be fully developed upon completion of this project.

### 8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal:

N/A

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**A. BACKGROUND INFORMATION (To be completed by the applicant.)**

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain:

N/A

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PLANNING DIV.

10. List any government approvals or permits that will be needed for your proposal, if known:

City of Yakima – Preliminary Plat Approval  
 City of Yakima – CA Approval.  
 City of Yakima - SEPA Determination.  
 City of Yakima - Stormwater Approval.  
 City of Yakima - Building Permit Approval.  
 City of Yakima - Plan review and approval, and construction approval for municipal facilities constructed by private parties

11. Give a brief, but complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.):

The proposed Marylyn Place subdivision will subdivide approximately 22.1 acres into 83 single family lots. The lot sizes will vary in size from approximately 6,318 square feet to 47,895 square feet. The lots will have frontage onto a public roadway which will need to be improved as part of this project.

Access to the plat will be from S 59th Ave to Ahtanum and via 58th Ave and 57th Ave to the north onto Occidental Rd. Nob Hill Water will serve the lots with domestic water. City of Yakima sewer will serve sewage needs. Stormwater will all be contained on-site in underground filtration.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist:

181204-23005:

Section 04 Township 12 Range 18 Quarter NW That portion of the West Half of the Northwest Quarter of Section 4, Township 12 North, Range 18 East, W.M., described as follows Beginning northwest corner of Lot 1 of Short Plat 86-21, records of Yakima County, Washington; thence South 89°59'58" East, 473.39 feet; thence North 0°57'29" West to the south line of the No the Southwest Quarter of the Northwest Quarter of said Section; thence North 0°57'29" West, 150 feet; thence South 89°59'58"

181205-14402:

Section 05 Township 12 Range 18 Quarter NE SHORT PLAT J-006 Lot B

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CITY OF YAKIMA  
PLANNING DIV.**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****EARTH****1. General description of the site (✓ one):**

☒ flat ☐ rolling ☐ hilly ☐ steep slopes ☐ mountainous ☐ other: \_\_\_\_\_

**2. What is the steepest slope on the site (approximate percent slope)?**

The steepest slope is approximately 1 1/2 percent.

**3. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.**

National Resources Conservation Service Soil Mapping was consulted regarding the on-site soils at the plant site. The USDA Soil Conservation Service (SCS) indicated the primary soil for the site is a Kittitas Silt Loam which is a CL, ML or A-4 soil type. The remainder of the site is Naches Loam, which is a CL, SC or A-4 soil type. The Kittitas Silt Loam, and Naches Silt Loam are considered prime farmland if irrigated.

**4. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.**

There are no known indications of unstable soils on site or in the immediate vicinity. The finish elevations of the roadways will be graded to match the existing ground elevations within the floodplain so there will be no net rise. No net increase or decrease in quantity of material is anticipated, so the same floodplain volume is available after the project is completed.

**5. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.**

The project consists of usual and normal embankment construction for new streets and building lots.

**6. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.**

It is possible erosion could occur during the construction phase of the development, but it is not expected. After construction is completed, each individual residential lot will be landscaped, and long-term erosion is unlikely to occur.

**7. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?**

Lot coverage allowances in R-2 is 60%, plus public roads and frontage improvements.

**8. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:**

During the site development and construction activities, the contractor will be required to utilize appropriate erosion control Best Management Practices, and regulatory erosion control stormwater management plans will be implemented. Silt fencing and dust control measures will be implemented. The site will be permanently stabilized post-construction by sodding and landscaping.

**AIR****1. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.**

Typical emissions of dust and automobile odors will be generated during construction. Dust is not expected after construction as the site will be fully landscaped and irrigated, or will be covered with asphalt concrete pavement. After project completion, there will be no adverse effects on the air, the emissions will be from automobiles belonging to local residents and staff. Minimal emissions from commercial heating devices may occur after project completion. Approximate quantities are not known.

**2. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.**

None are known to exist.

**3. Proposed measures to reduce or control emissions or other impacts to air, if any:**

The contractor shall comply with Yakima County Clean Air Authority regulatory requirements. The contractor may be required to use dust control measures such as watering of the construction area to eliminate wind-borne erosion if a problem arises. The contractor will also be required to clean mud and dust from public roadways as necessary. In addition, construction equipment will be well maintained to prevent excessive exhaust emissions.

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PLANNING DIV.**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****SURFACE WATER**

1. Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

There are no existing surface bodies of water within the development.

2. Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

There will be no work over or in any bodies of water.

3. Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

No fill or dredge material will be placed or removed from any surface water or wetlands.

4. Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

The new development will not require any surface water withdrawals or diversions.

5. Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

The proposal is to not alter the floodplain. The adjacent lots will be large enough accommodate the building pad sites outside of the floodplain. The existing and proposed floodplains are shown on the attached mapping.

6. Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

The proposal will not discharge any waste material to surface waters.

**GROUND WATER**

1. Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

The proposal will not withdraw or discharge to ground water. Temporary dewatering during construction of the sewer line is likely to occur, quantities are unknown. Domestic water supply is proposed from the Nob Hill Water which has deep source water wells.

2. Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

Waste materials will not be discharged from any source into the ground. The projects will be connected to City of Yakima public sanitary sewer.

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PLANNING DIV.**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****WATER RUNOFF (INCLUDING STORM WATER)**

1. Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

The sources of water runoff will be primarily from rainfall and snowmelt. The runoff is proposed to be collected and managed on-site via surface retention and infiltration facilities or underground infiltration facilities. Stormwater treatment and disposal facilities will be designed and sized in accordance with the Eastern Washington Storm Water Manual and City of Yakima standards. This project will not result in the discharge of storm water into a surface water body.

2. Could waste materials enter ground or surface waters? If so, generally describe.

No waste materials are anticipated to enter ground or surface waters.

3. Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

The development does not propose to alter or affect drainage patterns.

4. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

Stormwater runoff from the roads will be retained, treated, and disposed of on-site via underground infiltration facilities. Stormwater from homes will be directed onto landscaped areas on each residential lot. Accepted BMP engineering practices for stormwater drainage systems will be implemented to collect and manage the surface and runoff water impacts.

**PLANTS**

1. Check (✓) types of vegetation found on the site:

Deciduous Trees:	Evergreen Trees:	Wet Soil Plants:	Water Plants:	Other:
<input type="checkbox"/> Alder	<input type="checkbox"/> Fir	<input type="checkbox"/> Cattail	<input type="checkbox"/> Milfoil	<input type="checkbox"/> Shrubs
<input type="checkbox"/> Maple	<input type="checkbox"/> Cedar	<input type="checkbox"/> Buttercup	<input type="checkbox"/> Beigrass	<input checked="" type="checkbox"/> Grass
<input type="checkbox"/> Aspen	<input type="checkbox"/> Pine	<input type="checkbox"/> Bullrush	<input type="checkbox"/> Water Lily	<input type="checkbox"/> Pasture
<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> Skunk Cabbage	<input type="checkbox"/> Other	<input type="checkbox"/> Crop Or Grain
		<input type="checkbox"/> Other		<input type="checkbox"/> Orchards, vineyards, or other permanent crops
				<input type="checkbox"/> Other types of vegetation

2. What kind and amount of vegetation will be removed or altered?

The development will be cleared of existing natural occurring pasture grasses and trees where necessary for the construction of the street, utility improvements, and home construction.

3. List threatened or endangered species known to be on or near the site.

There are no listed endangered or threatened plants on the project site or within the general project vicinity.

4. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

The completed residential homesites will be landscaped with typical residential lawns, trees, flowers, and shrubs.

5. List all noxious weeds and invasive species known to be on or near the site.

Invasive grasses.



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**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)**

**ANIMALS**

1. List any birds or other animals which have been observed on or near the site or are known to be on or near the site.

*Examples include:*

*birds: hawk, heron, eagle, songbirds, other:*

*mammals: deer, bear, elk, beaver, other:*

*fish: bass, salmon, trout, herring, shellfish, other:*

Songbirds

2. List any threatened or endangered species known to be on or near the site.

There are no known endangered or threatened species on or near the project site.

3. Is the site part of a migration route? If so, explain.

Most of Washington State is part of the Pacific Flyway migratory route for birds.

4. Proposed measures to preserve or enhance wildlife, if any:

None.

5. List any invasive animal species known to be on or near the site.

None.

**ENERGY AND NATURAL RESOURCES**

1. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

It is anticipated that electricity and/or natural gas will be the primary sources of cooling and heating the residences. Electricity will also be used for normal residential demands of lighting, etc. During construction: equipment fuel.

2. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

The project will not affect the potential use of solar energy by adjacent properties.

3. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

New construction will be built to Washington State Energy Codes and as required by the International Building Code.

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CITY OF YAKIMA  
PLANNING DIV.**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****ENVIRONMENTAL HEALTH**

1. **Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste that could occur as a result of this proposal? If so, describe.**

There are no known environmental health hazards that could occur as a result of proposal. A fuel spill may occur as a result of construction activities.

2. **Describe any known or possible contamination at the site from present or past uses.**

There are no known contamination issues at the site, past or present.

3. **Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.**

There are no known existing hazardous chemicals or conditions on the site or in the vicinity.

4. **Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.**

There are no proposed toxic or hazardous chemicals that will be used in conjunction of this development.

5. **Describe special emergency services that might be required.**

There are no known emergency services that would be needed as a result of this new building. Emergency medical aid may be required should an injury occur during construction.

6. **Proposed measures to reduce or control environmental health hazards, if any:**

There are no known environmental health hazards associated with this proposal, therefore there are no proposed measures. The site is a historic pasture and the land was tested for arsenic during previous development and shown to be below the thresholds of concern.

**NOISE**

1. **What types of noise exist in the area, which may affect your project (for example: traffic, equipment, operation, other)?**

Traffic noise from adjacent public streets.

2. **What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.**

Short-term noise consists of construction activities associated with commercial construction. Construction noise can be expected from approximately 7:00 a.m. to 7:00 p.m.

Long-term noise is expected from the typical residential maintenance equipment, i.e. lawn mowers, leaf blowers, power trimmers, snow blowers, etc. during daylight hours.

3. **Proposed measures to reduce or control noise impacts, if any:**

No adverse noise impacts are anticipated; however, we propose to restrict construction to 7:00 a.m. to 7:00 p.m.. In addition, we will comply with the City of Yakima and Yakima County Noise Ordinance, as it applies to this project.

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CITY OF YAKIMA  
PLANNING DIV.**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****LAND AND SHORELINE USE**

1. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

The project area consists of unused open land. There is a new residential subdivision located immediately to the north and vacant land east of the subject parcel. Residential homes are located to the all sides of the subject property.

2. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

The site has not been used for agriculturally for fruit production. The site has been used to pasture cows or grow alfalfa. The site is a historic pasture and the land was tested for arsenic during previous development and shown to be below the thresholds of concern.

3. Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

This proposed development will not adversely affect the surrounding areas.

4. Describe any structures on the site.

There are currently no existing structures onsite.

5. Will any structures be demolished? If so, what?

N/A

6. What is the current zoning classification of the site?

Two-Family Residential District (R-2)

7. What is the current comprehensive plan designation of the site?

Future Land Use: Mixed Residential

8. If applicable, what is the current shoreline master program designation of the site?

N/A

9. Has any part of the site been classified as a critical area by the city or county? If so, specify.

There a 100 year floodplain across the north of the property.

10. Approximately how many people would reside or work in the completed project?

224 or (2.7 people per home with 83 homes proposed)

11. Approximately how many people would the completed project displace?

None.

<b>B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)</b>		<b>RECEIVED</b>  SEP 21 2023 CITY OF YAKIMA PLANNING DIV.
<b>LAND AND SHORELINE USE</b>		
12. Proposed measures to avoid or reduce displacement impacts, if any. N/A		
13. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: The current zoning for these properties is determined that the properties are suitable for uses permitted in the respective two-family zoning district.		
14. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any: N/A		
<b>HOUSING</b>		
1. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. Approximately 83 single-family dwelling units are proposed.		
2. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. None.		
3. Proposed measures to reduce or control housing impacts, if any: The proposed development increases housing options in the city and helps meet projected housing unit goals as described by the City's 2040 Comprehensive Plan.		
<b>AESTHETICS</b>		
1. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? 35'		
2. What views in the immediate vicinity would be altered or obstructed? None known.		
3. Proposed measures to reduce or control aesthetic impacts, if any: The proposed buildings will be similar in appearance as neighboring buildings to further control aesthetic impacts. Compliance with zoning and building code regulations regarding building height, lot coverage and setbacks will also be in effect.		

**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****LIGHT AND GLARE**

1. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Typical and normal residential security night lighting from dusk until dawn.

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2. Could light or glare from the finished project be a safety hazard or interfere with views?

The light or glare is not expected to pose any safety hazards or interfere with any views.

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PLANNING DIV.

3. What existing off-site sources of light or glare may affect your proposal?

None.

4. Proposed measures to reduce or control light and glare impacts, if any:

Proposed street lighting, security lighting, and possible accent lighting will be directed downward throughout the development. Encourage the use of lowest necessary wattage.

**RECREATION**

1. What designated and informal recreational opportunities are in the immediate vicinity?

There are several recreational opportunities nearby including Randall Park, Sozo Sports Complex, West Valley Community Park, and Apple Tree Golf Course.

2. Would the proposed project displace any existing recreational uses? If so, describe.

No.

3. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

None needed.

**HISTORIC AND CULTURAL PRESERVATION**

1. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe.

No buildings on site.

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PLANNING DIV.

**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)**

**HISTORIC AND CULTURAL PRESERVATION**

2. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

According to the Department of Archaeology & Historic Preservation's (DAHP) Washington Information System for Architectural and Archeological Records Data (WISAARD), there are no registered properties within or adjacent to the project limits.

3. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

There are no known impacts, therefore no measures are proposed. If, during construction, artifacts are found, then work within the area will cease and the proper authority will be notified.

**TRANSPORTATION**

1. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

Current access to the site is through S 59th Ave via Ahtanum Road. The site also has access to Occidental Road via 58th and 57th Ave.

2. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

The nearest bus stop is less than a mile away along Washington Ave and S. 64th Ave.

3. How many parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

This proposal will not eliminate any existing parking spaces. Each residential dwelling unit will meet the 2 car minimum requirement and there will be on-street parallel parking along the public roadway within the development.

4. Will the proposal require any new or improvements to existing roads, streets, pedestrian bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

The project does not have frontage on any major arterials, but does access Occidental and Ahtanum. Recent improvements have occurred on both of these roads, including a recent traffic signal at the intersection of Occidental and South 64th Ave.

5. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No.

6. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?

Single Family Residential homes are estimated to make approximately 9.57 vehicle trips per weekday per residence. This equates to approximately 794 vehicle trips per weekday. The estimated volume during the A.M. peak hour (7:00 a.m. to 9:00 a.m.) of adjacent street traffic is 0.74 trips per residence or 61 trips at full build-out of all homesites (25% entering, 75% exiting). The estimated volume during the P.M. peak hour (4:00 p.m. to 6:00 p.m.) of adjacent street traffic is 1.01 trips per residence or 84 trips at full build-out of all homesites (63% entering, 37% exiting).

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CITY OF YAKIMA  
PLANNING DIV.**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****TRANSPORTATION**

7. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe:

None identified.

8. Proposed measures to reduce or control transportation impacts, if any:

No measures are planned.

**PUBLIC SERVICES**

1. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe:

The project will have probable incremental increased demand for fire and police protection, public safety services and schools could be anticipated, relative to the potential population increase.

2. Proposed measures to reduce or control direct impacts on public services, if any.

None proposed.

**UTILITIES**

1. Check (✓) utilities currently available at the site:

☒ electricity ☒ natural gas ☒ water ☒ refuse service ☒ telephone

☒ sanitary sewer ☐ septic system ☐ other \_\_\_\_\_

2. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Domestic Water: Nob Hill Water Association | Sanitary Sewer: City of Yakima | Refuse: City of Yakima or private company  
Power: Pacific Power | Telephone: Qwest or Charter | Irrigation: Ahtanum | Natural Gas: Cascade Natural Gas

**C. SIGNATURE (To be completed by the applicant.)**

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.



Digitally signed by Michael R Heit  
Date: 2023.09.20 17:24:32-07'00'

Property Owner or Agent Signature

Date Submitted

Name of Signee

Position and Agency/Organization

**PLEASE COMPLETE SECTION "D" ON THE NEXT PAGES  
IF THERE IS NO PROJECT RELATED TO THIS ENVIRONMENTAL REVIEW**

**D. SUPPLEMENTAL SECTION FOR NONPROJECT ACTIONS ONLY (to be completed by the applicant)**

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment. When answering these questions, be aware of the extent the proposal, or the types of activities that would likely result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

Proposed measures to avoid or reduce such increases are:

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2. How would the proposal be likely to affect plants, animals, fish, or marine life?

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

3. How would the proposal be likely to deplete energy or natural resources?

Proposed measures to protect or conserve energy and natural resources are:

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

Proposed measures to protect such resources or to avoid or reduce impacts are:



**D. SUPPLEMENTAL SECTION FOR NONPROJECT ACTIONS ONLY (to be completed by the applicant)**

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

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Proposed measures to avoid or reduce shoreline and land use impacts are:

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

Proposed measures to reduce or respond to such demand(s) are:

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

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PLANNING DIV.

## LAND USE APPLICATION

CITY OF YAKIMA, DEPARTMENT OF COMMUNITY DEVELOPMENT

129 NORTH SECOND STREET, 2ND FLOOR, YAKIMA, WA 98901

PHONE: (509) 575-6183 EMAIL: ask.planning@yakimawa.gov

**INSTRUCTIONS – PLEASE READ FIRST Please type or print your answers clearly.**

Answer all questions completely. If you have any questions about this form or the application process, please ask a Planner. Remember to bring all necessary attachments and the required filing fee when the application is submitted. The Planning Division cannot accept an application unless it is complete and the filing fee paid. Filing fees are not refundable.

This application consists of four parts. PART I - GENERAL INFORMATION AND PART IV – CERTIFICATION are on this page. PART II and III contain additional information specific to your proposal and MUST be attached to this page to complete the application.

**PART I – GENERAL INFORMATION**

1. Applicant's Information:	Name:	HLA Civil Engineering c/o Mike Heit						
	Mailing Address:	2803 River Road						
	City:	Yakima	St:	WA	Zip:	98902	Phone:	( 509 ) 966-7000
	E-Mail:	mheit@hlacivil.com						

2. Applicant's Interest in Property:	Check One:	<input type="checkbox"/> Owner	<input checked="" type="checkbox"/> Agent	<input type="checkbox"/> Purchaser	<input type="checkbox"/> Other _____
--------------------------------------	------------	--------------------------------	---	------------------------------------	--------------------------------------

3. Property Owner's Information (If other than Applicant):	Name:	WM Real Property Holdings, LLC						
	Mailing Address:	2550 Borton Road						
	City:	Yakima	St:	WA	Zip:	98903	Phone:	( )
	E-Mail:							

4. Subject Property's Assessor's Parcel Number(s): 181204-23005 &amp; 1812205-14402

5. Legal Description of Property. (if lengthy, please attach it on a separate document)

See attached

6. Property Address: Lower Ahtanum RD/62 and Lower Ahtanum/53RD

7. Property's Existing Zoning:

☐ SR ☐ R-1 ☒ R-2 ☐ R-3 ☐ B-1 ☐ B-2 ☐ HB ☐ SCC ☐ LCC ☐ CBD ☐ GC ☐ AS ☐ RD ☐ M-1 ☐ M-2

8. Type Of Application: (Check All That Apply)

☒ Preliminary Long Plat ☒ Environmental Checklist (SEPA Review) ☐ Planned Development

☐ Transportation Concurrence ☒ Other: Critical Areas ☐ Other: \_\_\_\_\_
**PART II – SUPPLEMENTAL APPLICATION & PART III – REQUIRED ATTACHMENTS**

SEE ATTACHED SHEETS

**PART IV – CERTIFICATION**

I certify that the information on this application and the required attachments are true and correct to the best of my knowledge.

Property Owner's Signature

Date

Digitally signed by Michael R Heit  
Date: 2023.09.20  
17:23:39-07'00'

Applicant's Signature

Date

FILE/APPLICATION(S)#

PLP #001-23 / SEPA#009-23 / CAD#021-23

DATE FEE PAID:

RECEIVED BY:

AMOUNT PAID:

RECEIPT NO:



Supplemental Application For:  
**PRELIMINARY LONG PLAT**  
 CITY OF YAKIMA, SUBDIVISION ORDINANCE, TITLE 14

**PART II - APPLICATION INFORMATION**

1. PROPERTY OWNERS (attach if long): List all parties and financial institutions having an interest in the property.

WM Real Property Holdings, LLC

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2. SURVEYOR AND/OR CONTACT PERSON WITH THEIR CONTACT INFORMATION:

Tim Fries/Michael R. Helt, HLA Engineering and Land Surveying, Inc., (509)966-7000

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PLANNING DIV.

3. NAME OF SUBDIVISION: Marylyn Place

4. NUMBER OF LOTS AND THE RANGE OF LOT SIZES: 83 lots | 6,318 SF to 47,895 SF

5. SITE FEATURES:

A. General Description: ☒ Flat ☐ Gentle Slopes ☐ Steepened Slopes

B. Describe any indication of hazards associated with unstable soils in the area, i.e. slides or slipping?

N/A

C. Is the property in a 100-Year Floodplain or other critical area as mapped by any local, state, or national maps or as defined by the Washington State Growth Management Act or the Yakima Municipal Code? Yes

6. UTILITY AND SERVICES: (Check all that are available)

☒ Electricity ☒ Telephone ☒ Natural Gas ☒ Sewer ☒ Cable TV ☒ Water Nob Hill ☐ Irrigation \_\_\_\_\_

7. OTHER INFORMATION:

A. Distance to Closest Fire Hydrant: 118.5 ft to the nearest hydrant

B. Distance to Nearest School (and name of school): 2 miles, West Valley Junior High School

C. Distance to Nearest Park (and name of park): 2.2 miles, Randall Park

D. Method of Handling Stormwater Drainage: On site underground infiltration

E. Type of Potential Uses: (check all that apply)

☒ Single-Family Dwellings ☐ Two-Family Dwellings ☐ Multi-Family Dwellings ☐ Commercial ☐ Industrial

**PART III - REQUIRED ATTACHMENTS**

1. PRELIMINARY PLAT REQUIRED: (Please use the attached City of Yakima Preliminary Plat Checklist)

2. TRAFFIC CONCURRENCY: (if required, see YMC Ch. 12.08, Traffic Capacity Test)

3 ENVIRONMENTAL CHECKLIST (required):

I hereby authorize the submittal of the preliminary plat application to the City of Yakima for review. I understand that conditions of approval such as dedication of right-of-way, easements, restrictions on the type of buildings that may be constructed, and access restrictions from public roads may be imposed as a part of preliminary plat approval and that failure to meet these conditions may result in denial of the final plat.

Reg TS  
Property Owner Signature (required)

9-19-23  
Date

**WM REAL PROPERTY HOLDINGS LLC - "PLAT OF  
MARYLYN PLACE"  
PLP#001-23, SEPA#009-23, CAO#021-23**

**EXHIBIT LIST**

**CHAPTER F  
Public Notices**

<b>DOC INDEX #</b>	<b>DOCUMENT</b>	<b>DATE</b>
<b>F-1</b>	<b>Land Use Action Installation Certificate</b>	<b>10/12/2023</b>
<b>F-2</b>	<b>Notice of Complete Application</b>	<b>11/16/2023</b>
<b>F-3</b>	<b>Notice of Application &amp; Environmental Review</b> <b>F-3a:</b> Press Release & Distribution Email <b>F-3b:</b> Parties and Agencies Notified <b>F-3c:</b> Affidavit of Mailing	<b>11/16/2023</b>
<b>F-4</b>	<b>Notice of Public Hearing &amp; DNS</b> <b>F-4a:</b> Legal Ad <b>F-4b:</b> Press Release and Distribution Email <b>F-4c:</b> Parties and Agencies Notified <b>F-4d:</b> Affidavit of Mailing	<b>12/13/2023</b>
<b>F-5</b>	<b>HE Agenda &amp; Packet Distribution Lists</b>	<b>01/04/2024</b>
<b>F-6</b>	<b>HE Agenda &amp; Hearing Sign-in Sheet</b>	<b>01/11/2024</b>
<b>F-7</b>	<b>TCO Decision</b>	<b>01/05/2024</b>
<b>F-8</b>	<b>Notice of Hearing Examiner's Recommendation</b> (See DOC INDEX#AA-1 for HE Recommendation) <b>F-8a:</b> Parties and Agencies Notified <b>F-8b:</b> Affidavit of Mailing	<b>01/29/2024</b>
<b>F-9</b>	<b>Letter of Transmittal to City Clerk: City Council Hearing</b> (Mailing Labels, Plat Map, Vicinity Map)	<b>02/21/2024</b>

## CITY OF YAKIMA, PLANNING DIVISION

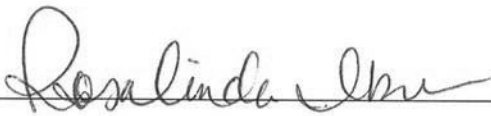
## LETTER OF TRANSMITTAL

I, Eva Rivera, as an employee of the City of Yakima, Planning Division, have transmitted to: Rosalinda Ibarra, City Clerk, by hand delivery, the following documents:

1. Mailing labels for NOVOBIELSKI SURVIVORS TRUST - "PLAT OF MARYLYN PLACE" including labels for SEPA Reviewing Agencies.
2. E-mail distribution lists for In-House, SEPA Reviewing Agencies, Local Media, and Interested Parties and Parties of Record.
3. Site Plan and Vicinity Map

Signed this 21st day of February 2024.

  
\_\_\_\_\_  
Eva Rivera  
Planning Technician

Received By: \_\_\_\_\_  
Date: 2/21/2024\_\_\_\_\_

DOC.  
INDEX  
# F-9

18120511477  
CARR FAMILY TRUST  
6508 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120514004  
CONGDON ORCHARDS INC  
PO BOX 2725  
YAKIMA, WA 98907

18120422404  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422405  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422406  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422412  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422415  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422416  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422417  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422428  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422429  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120423401  
NOVOBIELSKI SURVIVORS TRUST  
5809 AHTANUM RD  
YAKIMA, WA 98903

18120423404  
NOVOBIELSKI SURVIVORS TRUST  
5809 AHTANUM RD  
YAKIMA, WA 98903

18120541405  
THE RICK BRUNDTLAND INTENTIONAL  
GRANTOR IRREVOCABLE TRUST  
231 MACARTHUR ST  
SAINT HELENS, OR 97051

18120421010  
TRAMMELLS BAR 71 RANCH LLC  
205 N 86TH AVE  
YAKIMA, WA 98908

18120423005  
WM REAL PROPERTY HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120514402  
WM REAL PROPERTY HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120511418  
ALICIA & MICHAEL MILLETT  
6605 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120511425  
ALISON SONNTAG  
6505 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120511422  
AMANDA & DANIEL SUTTON  
6511 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120511480  
ANGELA J CARRICK  
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18120514414  
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18120511420  
BENITA M TAPIA  
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18120514411  
CATHRYNE A PATTERSON SHIN  
5805 AHTANUM RD  
YAKIMA, WA 98903

18120514412  
CHARLES P & KATHRYN A RALPH  
5809 AHTANUM RD LOWR  
YAKIMA, WA 98903

18120514413  
CHARLES P & KATHRYN A RALPH  
5809 AHTANUM RD LOWR  
YAKIMA, WA 98903

18120422407  
CLAIRE JULIA & MATTHEW SHUEL  
2314 S 58TH AVE  
YAKIMA, WA 98903

18120511429  
DALJIT & GURPREET PARMAR  
6411 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120511423  
DAVID HAHN  
6509 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120423400  
DAVID & CORINNE AMBROSE  
5709 AHTANUM RD  
YAKIMA, WA 98903

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18120511474  
ED & GAYLE SEIFERT  
6602 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120541403  
ERIC LUNDEN  
5902 AHTANUM RD  
YAKIMA, WA 98903

18120511428  
GAREN ROLAND & JESSICA LYNNE  
BARNETT  
6413 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120423402  
GARRY L & JANICE M BEATY  
5707 AHTANUM RD  
YAKIMA, WA 98903

18120511421  
GATOR NEWELL  
6513 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120423403  
GREG & ALICE PORTER  
5703 AHTANUM  
YAKIMA, WA 98903

18120514410  
GREGORY J & BRINDA P TUCKNIES  
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YAKIMA, WA 98903

18120511476  
HOWARD J & MELANIE J ELLIOTT  
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18120511479 *std 12/26/2023*  
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18120511481  
JAMES & KATHLEEN KRAMER  
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YAKIMA, WA 98903

18120511424  
JAMES & VALENTINA LAIRD  
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18120514416  
JAMES B DEVINE  
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18120511426  
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18120422413  
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18120511482  
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18120511427  
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18120422426  
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18120514415  
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Date of Hearing: 03/19/2024  
PLP#001-23, SEPA#009-23, CAO#021-23

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**SEPA REVIEWING AGENCIES**  
**\_UPDATED 01/24/2024**

Type of Notice: Ntc of CC Hearing  
File Number: DR#00123, SEPA#00923, CA#2123  
Date of Mailing: 03/19/2024  
Hearing

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In-House Distribution E-mail List		Revised 02/26/2024
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Dana Kallevig	Wastewater	Dana.Kallevig@yakimawa.gov
Randy Meloy	Wastewater	Randy.Meloy@yakimawa.gov
Mike Shane	Water/Irrigation	Mike.Shane@yakimawa.gov

Outside Distribution		
Name	Address	Notified?
<i>(Subdivision notices ONLY)</i> Pacific Power Attn: Estimating Department	500 N Keys Rd, Yakima, WA 98901	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<i>(Projects Adjacent to BNSF Right of Way ONLY)</i> Central Washington Railroad	111 University Parkway, Suite 200 Yakima, WA 98901 (509) 453-9166 Tim Marshall, General Manager, tmarshall@cbrr.com Kim Yeager, Real Estate Manager, kyeager@ihdlc.com	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> E-mail
<i>(Shoreline notices ONLY)</i> Department of Ecology	crosepa@ecy.wa.gov	<input type="checkbox"/> E-mail

Additional Parties of Record or Interested Parties Notified		
Name	Address	E-mail
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Sydney Hanson		Sydney.Hanson@dahp.wa.gov
Antanum Irrigation	16705 Gilbert Rd, Suite B Yakima 98903	

Type of Notice: Notice of CC Hearing  
File Number(s): PLP#001-23, SEPA#009-23, CAO#021-23  
Date of Meeting: 03/19/2024  
Hearing

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(A PORTION OF THE NE 1/4, SECTION 5 AND A  
PORTION OF NW 1/4, SECTION 4 TOWNSHIP 12 NORTH,  
RANGE 18 EAST, W.M.)

RECEIVED  
SEP 21 2023  
CITY OF YAKIMA  
PLANNING DIV.

PARCEL NO'S. 181205-14402, 181204-23005

NOTES



**DATUM ELEVATION**  
YAKIMA COUNTY ALUMINUM CAP  
AT THE INTERSECTION OF 66TH AVE.  
AND OCCIDENTAL RD.

ELEVATION: 1183.95 (NAVD83)

**DEVELOPER**  
FALCON RIDGE, LLC  
YAKIMA, WA 98908

**ENGINEER/SURVEYOR**

HILA ENGINEERING & LAND  
SURVEYING, INC.  
2803 RIVER ROAD  
YAKIMA, WA 98902  
MIKE HEIT, PE  
TIM FRIES, PLS  
(509) 966-7000

FALCON RIDGE, LLC

NUMBER: 177	DATE: 9-20-73
FILE NAMES:	

2803 River Road  
Yakima WA 98907

III A

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**Project Name:** NOVOBIELSKI SURVIVORS TRUST - "PLAT OF MARYLYN PLACE"

**Site Address:** LOWER AHTANUM/53RD

**File Number(s):** PLP#001-23, SEPA#009-23, CAO#021-23

**Proposal:** Proposed preliminary long plat to subdivide 22.1 acres into 83 lots in the R-2 zoning district.



## VICINITY MAP



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Map Disclaimer: Information shown on this map is for planning and illustration purposes only. The City of Yakima assumes no liability for any errors, omissions, or inaccuracies in the information provided or for any action taken, or action not taken by the user in reliance upon any maps or information provided herein.  
Date Created: 2/21/2024



**Rivera, Eva**

**From:** Rivera, Eva  
**Sent:** Wednesday, February 21, 2024 9:09 AM  
**To:** Ibarra, Rosalinda  
**Subject:** Mailing for City Council Hearing - Plat of Marylyn Place - PLP#001-23, SEPA#009-23, CAO#021-23  
**Attachments:** In-House Distribution E-mail List\_ updated 02.26.2024; SEPA Reviewing Agencies E-mail Distribution List\_Updated 02.15.2024; Local Media List \_04.14.2023

Hello Rosalinda – on the 20<sup>th</sup> of February City Council set March 19 as the public hearing date for “Plat of Marylyn Place”.

Please provide the City Council public hearing notice to the attached e-mail distribution lists:

- In-house Distribution
- SEPA Reviewing Agencies
- Local Media List

Please also email the notice to the following parties of record/interested parties/project representatives:

Email

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[crosepacoordinator@ecy.wa.gov](mailto:crosepacoordinator@ecy.wa.gov)

[Sydney.hanson@dahp.wa.gov](mailto:Sydney.hanson@dahp.wa.gov)

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Eva Rivera  
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*This email is a public record of the City of Yakima and is subject to public disclosure unless exempt under the Washington Public Records Act. This email is subject to the State Retention Schedule.*

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**AFFIDAVIT OF MAILING**

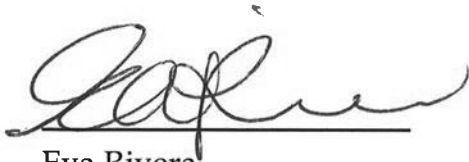
STATE OF WASHINGTON

CITY OF YAKIMA

**RE: PLP#001-23, SEPA#009-23, CAO#021-23****NOVOBIELSKI SURVIVORS TRUST - "PLAT OF MARYLYN PLACE"****LOWER AHTANUM/53RD**

I, Eva Rivera, as an employee of the City of Yakima Planning Division, have dispatched through the United States Mails, a **Notice of Hearing Examiner's Recommendation**; a true and correct copy of which is enclosed herewith; that said notice was addressed to the applicant, parties of record, and all property owners of record within a radius of 300 feet of subject property; that said property owners are individually listed on the mailing list retained by the Planning Division; and that said notices were mailed by me on this 29th day of January 2023.

That I mailed said notices in the manner herein set forth and that all of the statements made herein are just and true.



Eva Rivera

Planning Technician

**DOC.**  
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18120422412  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422415  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422416  
HAYDEN HOMES LLC  
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6601 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120514411  
CATHRYNE A PATTERSON SHIN  
5805 AHTANUM RD  
YAKIMA, WA 98903

18120514412  
CHARLES P & KATHRYN A RALPH  
5809 AHTANUM RD LOWR  
YAKIMA, WA 98903

18120514413  
CHARLES P & KATHRYN A RALPH  
5809 AHTANUM RD LOWR  
YAKIMA, WA 98903

18120422407  
CLAIRE JULIA & MATTHEW SHUEL  
2314 S 58TH AVE  
YAKIMA, WA 98903

18120511429  
DALJIT & GURPREET PARMAR  
6411 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120511423  
DAVID HAHN  
6509 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120423400  
DAVID & CORINNE AMBROSE  
5709 AHTANUM RD  
YAKIMA, WA 98903

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Foa

18120511474  
ED & GAYLE SEIFERT  
6602 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120541403  
ERIC LUNDEN  
5902 AHTANUM RD  
YAKIMA, WA 98903

18120511428  
GAREN ROLAND & JESSICA LYNNE  
BARNETT  
6413 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120423402  
GARRY L & JANICE M BEATY  
5707 AHTANUM RD  
YAKIMA, WA 98903

18120511421  
GATOR NEWELL  
6513 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120423403  
GREG & ALICE PORTER  
5703 AHTANUM  
YAKIMA, WA 98903

18120514410  
GREGORY J & BRINDA P TUCKNIES  
5807 AHTANUM RD  
YAKIMA, WA 98903

18120511476  
HOWARD J & MELANIE J ELLIOTT  
6510 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120511479  
IZMANI ALEXIS MOCTEZUMA  
6504 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120511481  
JAMES & KATHLEEN KRAMER  
6500 COTTONWOOD LP  
YAKIMA, WA 98903

18120511424  
JAMES & VALENTINA LAIRD  
6507 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120514416  
JAMES B DEVINE  
2502 S 59TH AVE  
YAKIMA, WA 98903

18120511426  
JANAE BENSCOTER  
6503 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120422413  
JESUS MARTINEZ GUZMAN  
2311 S 58TH AVE  
YAKIMA, WA 98903

18120511482  
JOHN & DARLENE WOOLLEY  
6412 COTTONWOOD LP  
YAKIMA, WA 98903

18120511427  
JOHN & LAURIE HOOD  
6501 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120422426  
JON & JENNIFER SCHLENSKE  
2309 S 57TH AVE  
YAKIMA, WA 98903

18120422414  
JULIANNE M & BRIAN H VAN DYKE  
2313 S 58TH AVE  
YAKIMA, WA 98903

18120514415  
MARIA PEREZ  
2511 S 59TH AVE  
YAKIMA, WA 98903

18120511475  
MIKE MEAD  
6600 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120422427  
PETER & LORI CHURCHYARD  
2311 S 57TH AVE  
YAKIMA, WA 98903

18120432004  
ROYAL SCHLEPP  
8442 MEADOWBROOK RD  
YAKIMA, WA 98903

18120511430  
STEPHANIE LYNN SCHWARTZ  
6409 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120541401  
STEVEN H SOELBERG  
901 SUMMITVIEW AVE STE 260  
YAKIMA, WA 98902

18120511419  
TONY L & CHRISTINA NGO  
6603 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120511478  
TYLER JOHNSON  
6506 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120423006  
VERNON RANK  
5503 AHTANUM RD  
YAKIMA, WA 98903

18120514409  
VERNON & PAMELA HIBBARD  
5815 AHTANUM RD  
YAKIMA, WA 98903

18120514417  
WILLIAM MALLORY JR  
2500 S 59TH AVE  
YAKIMA, WA 98903

18120514408  
YARITZA J SOLIS GONZALEZ  
5813 AHTANUM RD  
YAKIMA, WA 98903

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HLA ENGINEERING - MIKE HEIT  
2803 RIVER RD,  
YAKIMA, WA 98902

NTC of HE Rec.  
PLP#001-23, SEPA#009-23, CAO#021-23  
Sent 01/29/2024

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In-House Distribution E-mail List		Revised 11/21/2023
Name	Division	E-mail Address
Jaime Vera	Air Terminal	Jaime.Vera@yakimawa.gov
Silvia Corona	Clerk's Office	Silvia.Corona@yakimawa.gov
Glenn Denman	Code Administration	Glenn.Denman@yakimawa.gov
John Zabell	Code Administration	John.Zabell@yakimawa.gov
Pedro Contreras	Code Administration	Pedro.Contreras@yakimawa.gov
Suzanne DeBusschere	Code Administration	Suzanne.DeBusschere@yakimawa.gov
Patty Reynoso	Code Administration	Patty.Reynoso@yakimawa.gov
Joan Davenport	Community Development	Joan.Davenport@yakimawa.gov
Lisa Maxey	Community Development	Lisa.Maxey@yakimawa.gov
Bill Preston	Engineering	Bill.preston@yakimawa.gov
Kirsten McPherson	Engineering	Kirsten.McPherson@yakimawa.gov
Dan Riddle	Engineering	Dan.Riddle@yakimawa.gov
Aaron Markham	Fire	Aaron.markham@yakimawa.gov
Jeremy Rodriguez	Fire	Jeremy.Rodriguez@yakimawa.gov
Sara Watkins	Legal	Sara.Watkins@yakimawa.gov
Joseph Calhoun	Planning	Joseph.Calhoun@yakimawa.gov
Eva Rivera	Planning	Eva.rivera@yakimawa.gov
Matt Murray	Police	Matthew.murray@yakimawa.gov
Scott Schafer	Public Works	Scott.Schafer@yakimawa.gov
Leovardo Cruz	Refuse	Leovardo.Cruz@yakimawa.gov
Randy Layman	Refuse	Randy.Layman@yakimawa.gov
Gregory Story	Transit	Gregory.Story@yakimawa.gov
Anabel Chavez	Utilities	anabel.chavez@yakimawa.gov
Dana Kallevig	Wastewater	Dana.Kallevig@yakimawa.gov
Randy Meloy	Wastewater	Randy.Meloy@yakimawa.gov
Mike Shane	Water/Irrigation	Mike.Shane@yakimawa.gov

Outside Distribution		
Name	Address	Notified?
(Subdivision notices ONLY) Pacific Power Attn: Estimating Department	500 N Keys Rd, Yakima, WA 98901	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
(Projects Adjacent to BNSF Right of Way ONLY) Central Washington Railroad	111 University Parkway, Suite 200 Yakima, WA 98901 (509) 453-9166 Tim Marshall, General Manager, tmarshall@cbr.com Kim Yeager, Real Estate Manager, kyeager@ihdlc.com	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> E-mail
(Shoreline notices ONLY) Department of Ecology	crosepa@ecy.wa.gov	<input type="checkbox"/> E-mail

Additional Parties of Record or Interested Parties Notified		
Name	Address	E-mail
David + Denise Barthel	5905 Lower Antanum Rd	Yakima, WA 98903
Jay Esphoza		crosepa@ecy.wa.gov
Sydney Hanson		sydney.hanson@dahp.wa.gov
Antanum Irrigation	10705 Gilbert Rd. Ste. B, Yakima, WA 98903	

Type of Notice:

File Number(s):

Date of Mailing:

NTC or HE Rec  
 PLP#001-23, SEPA#00903, CROTH#01-23  
 01/29/2024

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**Rivera, Eva**

---

**From:** Rivera, Eva  
**Sent:** Monday, January 29, 2024 11:04 AM  
**To:** Bradburn, Trace; Calhoun, Joseph; Chavez, Anabel; Contreras, Pedro; Corona, Silvia; Cruz, Leovardo; Davenport, Joan; DeBusschere, Suzanne; Denman, Glenn; Kallevig, Dana; Layman, Randy; Markham, Aaron; Maxey, Lisa; McPherson, Kirsten; Meloy, Randy; Murray, Matthew; Preston, Bill; Reynoso, Patty; Riddle, Dan; Rivera, Eva; Schafer, Scott; Shane, Mike; Story, Gregory; Vera, Jaime; Watkins, Sara; Zabell, John  
**Cc:** Crowell, Eric; 'Mike Heit'  
**Subject:** Ntc. of HE Recommendation - Novobielski Survivors Trust Plat of Marylyn Place - PLP# 001-23, SEPA#009-23, CAO#021-23  
**Attachments:** NTC OF HE REC.\_PLP#001-23.pdf

Good morning,

Attached is a Notice of Hearing Examiner's Recommendation regarding the above-entitled project. If you have any questions about this proposal, please contact the assigned planner, Eric Crowell at [eric.crowell@yakimawa.gov](mailto:eric.crowell@yakimawa.gov).

Thank you!



*Eva Rivera*  
**Planning Technician**  
**Phone:** 509-575-6261  
**Email:** [eva.rivera@yakimawa.gov](mailto:eva.rivera@yakimawa.gov)

---

*This email is a public record of the City of Yakima and is subject to public disclosure unless exempt under the Washington Public Records Act. This email is subject to the State Retention Schedule.*

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DEPARTMENT OF COMMUNITY DEVELOPMENT  
Joan Davenport, AICP, Director

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Planning Division  
Joseph Calhoun, Manager  
129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901  
[ask.planning@yakimawa.gov](mailto:ask.planning@yakimawa.gov) · [www.yakimawa.gov/services/planning](http://www.yakimawa.gov/services/planning)

## NOTIFICATION OF HEARING EXAMINER'S RECOMMENDATION TO THE YAKIMA CITY COUNCIL

**DATE:** January 29, 2024  
**TO:** Applicant, Adjoining Property Owners and Parties of Record  
**SUBJECT:** Notice of the Hearing Examiner's Recommendation  
**FILE #(S):** PLP#001-23, SEPA#009-23, & CAO#021-23  
**APPLICANT:** HLA Engineering & Surveying on behalf of WM Real Property Holdings LLC  
**PROJECT LOCATION:** Vicinity of Ahtanum Rd. & S. 58th Ave.

On January 25, 2024, the City of Yakima Hearing Examiner rendered their recommendation on **PLP#001-23, SEPA#009-23, & CAO#021-23**, a preliminary long plat to subdivide approximately 22.1 acres into 83 single-family residential lots, located in the R-2 zoning district and partially within the floodplain. The application was reviewed at an open record public hearing held on January 11, 2024.

Enclosed is a copy of the Hearing Examiner's Recommendation. The Hearing Examiner's Recommendation will be considered by the Yakima City Council in a public hearing to be scheduled. The City Clerk will notify you of the date, time and place of the public hearing.

For further information or assistance, you may contact Senior Planner, Eric Crowell at (509) 575-6736 or email: [eric.crowell@yakimawa.gov](mailto:eric.crowell@yakimawa.gov)

Eva Rivera  
Planning Technician

Date of Mailing: **January 29, 2024**  
Enclosures: Hearing Examiner's Recommendation

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**DEPARTMENT OF UTILITIES AND ENGINEERING** 120

*Engineering Division  
129 North Second Street  
Yakima, Washington 98901  
(509) 575-6111 • Fax (509) 576-6305*

January 5, 2024

Mike Heit  
HLA Engineering & Land Surveying Inc  
2803 River Road  
Yakima, WA 98902

Subject: Notice of Decision for Transportation Concurrency – TCO#007-23  
ITE Trip Generation Code 210 – Single Family Homes

Mike,

Enclosed is the Transportation Concurrency Analysis Decision for the proposed Marylyn Place housing development, in the vicinity of Ahtanum Road and S 58th Avenue, within the City of Yakima, Washington. This development has been APPROVED for Concurrency Analysis. Concurrency review done in coordination with Yakima County determined that reserve capacity is available on all impacted city and county arterial streets. Concurrency review does not evaluate impact to local access streets or street intersections. This review does not include safety or site design issues which will be addressed at the project review level of zoning and SEPA. This review concluded that the proposed development will not exceed the capacity of the arterial street system and reserve capacity exists on all impacted arterial streets.

Please review the enclosed report. You may appeal the Findings of this report or request Administrative Reconsideration within fifteen (15) days from the date of mailing of this Notice. Appeal forms and procedures are available at the Department of Community Development. If you have any questions, please call me at (509) 576-6754.

Sincerely,

Bill Preston, PE  
City Engineer

Enclosure

Cc: Planning  
TC File

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**City of Yakima, Washington**  
**Engineering Division**  
**Transportation Concurrency Analysis**  
**TCO#007-23**

Date of Review: January 4, 2024  
Review Prepared by: Robert Washabaugh, P.E., Supervising Traffic Engineer  
Proposed Development: Marylyn Place  
Subject Address: Vicinity of Ahtanum Road and S 58th Avenue  
ITE Land Use: 210 – Single Family Homes

Expected Net PM Peak Hour Trip Generation: 85 PM Peak Hour Trips  
Average Daily Weekday Trips: 809

**Summary of Impact:**

The applicant, WM Real Property Holdings, LLC, represented by Mike Heit of HLA Engineering & Surveying, Inc., proposes to construct 85 single family homes, in the vicinity of Ahtanum Road and S 58th Avenue, within the City of Yakima, Washington. Traffic from this new development is proposed to enter/exit the Arterial Street system on county road of Ahtanum Road and the city arterial street of S 64<sup>th</sup> Avenue. City of Yakima Administrative procedures for Concurrency Analysis use the PM Peak hour trip of the adjacent street for the selected ITE use code. Based upon local data, City of Yakima Traffic Volumes for PM Peak Hour is assessed as 8.7% of total Average Daily Traffic (ADT). Peak hour reserve capacity includes any vehicle trips previously assigned under the Concurrency Ordinance. City of Yakima Transportation Concurrency assesses arterial street segment capacity only and does not address intersection capacity.

Seg #:	Street Segment	From - To	ADT	Year of Count	Pk Hr Capacity	Pk. Hr Vol. (8.7% ADT)	Pk Hr Reserve Cap.	V/C	LOS	Project Pk Hr Trips	Total Pk Hr Vol. With TCO	Pk Hr Reserve Cap. After TCO	V/C with TCO	LOS with TCO
69	64th Avenue	Washington to Occidental	11,184	2022	1600	973	627	0.61	A	51	1024	576	0.64	B
72	64th Avenue	Occidental to Ahtanum	6,767	2021	1600	589	1011	0.37	A	9	598	1002	0.37	A
104	Ahtanum Rd	16th Ave to CL	11,195	2019	3200	974	2226	0.30	A	20	994	2206	0.31	A

**Summary of Impact to City of Yakima Arterial Streets:**

This application has been reviewed and approved for consistency with YMC 12.08 Transportation Capacity Management Ordinance. This development will not exceed the PM peak hour capacity of the City Arterial street system and reserve capacity exists on all impacted streets. This review does not include any site development or safety issues which may be discussed at the project level or SEPA review. The review does not address intersection level of service.

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# DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

## CITY OF YAKIMA HEARING EXAMINER AGENDA

**Thursday, January 11, 2024**

**Yakima City Hall Council Chambers – 129 N 2<sup>nd</sup> Street, Yakima, WA**

**Beginning at 9:00 a.m.**

### I. CALL TO ORDER

### II. INTRODUCTION

### III. PUBLIC HEARINGS

- A. NOVOBIELSKI SURVIVORS TRUST - "PLAT OF MARYLYN 09/22/2023 PLP#001-23**  
**PLANNER:Eric Crowell SEPA#009-23 CAO#021-23**

**ADDRESS:** Vicinity of Ahtanum Rd. & S. 58th Ave.

**REQUEST:** Proposed preliminary long plat to subdivide approximately 22.1 acres in 83 single-family residential lots, located in the R-2 zoning district and partially within the floodplain.

- B. PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS 10/09/2023 PLP#002-23**  
**PLANNER:Connor Kennedy CL2#038-23 SEPA#011-23**

**ADDRESS:** 4607 & 4701 Lower Ahtanum Rd

**REQUEST:** Proposed preliminary long plat to subdivide approximately 21.06 acres into 93 single-family lots, including 46 common wall dwellings, in the R-1 and R-2 zoning districts.

### IV. ADJOURNMENT

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**#** FL

The staff recommendation report on the listed project(s) is available online at: [www.buildingyakima.com](http://www.buildingyakima.com)

**City of Yakima HEARING EXAMINER**  
**City Hall Council Chambers**  
**Thursday, January 11, 2024**  
**Beginning at 9:00 a.m.**



CASE	FILE #	PROJECT NAME	SITE ADDRESS
A.	PLP#001-23, SEPA#009-23, CAO#021-23	NOVOBIELSKI SURVIVORS TRUST - "PLAT OF MARYLYN PLACE"	Vicinity of Ahtanum Rd. & S. 58th Ave.
B.	PLP#002-23, CL2#038- 23, SEPA#011-23	PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS PARK PHASE 1"	4607 & 4701 Lower Ahtanum Rd

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**Hearing Examiner AGENDA ONLY**  
**Distribution List – 05-17-2023**

*Add Interested – Parties of Record*

Yakima Valley C.O.G.  
 311 N. 4<sup>th</sup> Street #204  
 Yakima, WA 98901

KIT-KATS Radio  
 4010 Summitview, Suite 200  
 Yakima, WA 98908

All YPAC  
[randy.beehler@yakimawa.gov](mailto:randy.beehler@yakimawa.gov)  
[mike.brown@yakimawa.gov](mailto:mike.brown@yakimawa.gov)  
[bonnie.lozano@yakimawa.gov](mailto:bonnie.lozano@yakimawa.gov)  
[john.fannin@yakimawa.gov](mailto:john.fannin@yakimawa.gov)

Yakima Assoc. of Realtors  
 Gov. Affairs Committee  
 2707 River Road  
 Yakima, WA 98902-1165

KIMA TV  
 2801 Terrace Heights Drive  
 Yakima, WA 98901

Police Chief – Matthew Murray  
[Matthew.murray@yakimawa.gov](mailto:Matthew.murray@yakimawa.gov)

KCYU-FOX 68  
 David Okowski  
 1205 West Lincoln Ave.  
 Yakima, WA 98902

KNDO TV  
 216 West Yakima Avenue  
 Yakima, WA 98902

Fire Chief – Aaron Markham  
[Aaron.markham@yakimawa.gov](mailto:Aaron.markham@yakimawa.gov)

Rosalinda Ibarra  
 City Clerk  
[rosalinda.ibarra@yakimwa.gov](mailto:rosalinda.ibarra@yakimwa.gov)

Pacific Power  
 Mike Paulson  
 500 N. Keys Rd.  
 Yakima, WA 98901

Yakima Herald-Republic  
 P.O. Box 9668  
 Yakima, WA 98909

Bob Harrison  
 City Manager  
[bob.harrison@yakimawa.gov](mailto:bob.harrison@yakimawa.gov)  
[cally.price@yakimawa.gov](mailto:cally.price@yakimawa.gov)

Office of Rural FWH  
 Marty Miller  
 1400 Summitview #203  
 Yakima, WA 98902

Patrick D. Spurgin  
 PO Box 1768  
 Yakima, WA 98907

Radio KDNA  
 P.O. Box 800  
 Granger, WA 98932

Yakima School Dist. #7  
 Superintendent  
 104 North 4<sup>th</sup> Street  
 Yakima, WA 98902

Gary Cuillier  
 314 N. 2<sup>nd</sup> Street  
 Yakima, WA 98901

KAPP TV  
 Attn: Newsroom  
 PO Box 1749  
 Yakima, WA 98907-1749

Business Times  
 Bruce Smith  
 P.O. Box 2052  
 Yakima, WA 98907

Maud Scott  
 309 Union Street  
 Yakima, WA 98901

Reed C. Pell  
 31 Chicago Avenue #4  
 Yakima, WA 98902

Department of Ecology  
 Joy Espinoza  
[crosepacoordinator@ecy.wa.gov](mailto:crosepacoordinator@ecy.wa.gov)

Sydney Hanson  
 DAHP  
[Sydney.hanson@dahp.wa.gov](mailto:Sydney.hanson@dahp.wa.gov)

*Ahtanum Irrigation District*  
 10705 Gilbert Rd. Ste B  
 Yakima, WA 98903

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**Hearing Examiner Packet AGENDA,  
STAFF REPORT, SITE PLAN AND  
MAPS...Updated 08/17/2022**

**INCLUDE APPLICANT & PROPERTY  
OWNER(S)**

Sara Watkins  
City Legal Department  
[Sara.watkins@yakimawa.gov](mailto:Sara.watkins@yakimawa.gov)

Archie Matthews  
ONDS  
[Archie.matthews@yakimawa.gov](mailto:Archie.matthews@yakimawa.gov)

Dana Kallevig  
Wastewater Division  
[Dana.kallevig@yakimawa.gov](mailto:Dana.kallevig@yakimawa.gov)

Joan Davenport  
Community Development  
[Joan.davenport@yakimawa.gov](mailto:Joan.davenport@yakimawa.gov)

Bill Preston  
City Engineer  
[Bill.preston@yakimawa.gov](mailto:Bill.preston@yakimawa.gov)

Lisa Maxey  
Community Development  
[Lisa.maxey@yakimawa.gov](mailto:Lisa.maxey@yakimawa.gov)

Joseph Calhoun  
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[Joseph.calhoun@yakimawa.gov](mailto:Joseph.calhoun@yakimawa.gov)

Yakima County Planning Manager  
Thomas Carroll  
[Thomas.Carroll@yakimawa.gov](mailto:Thomas.Carroll@yakimawa.gov)

Yakima County Public Services  
Lisa Freund  
[Lisa.Freund@co.yakima.wa.us](mailto:Lisa.Freund@co.yakima.wa.us)

Yakima County Commissioners  
[Commissioners.web@co.yakima.wa.us](mailto:Commissioners.web@co.yakima.wa.us)

Eva Rivera  
Planning Technician  
[Eva.rivera@yakimawa.gov](mailto:Eva.rivera@yakimawa.gov)

Mike Heit  
HLA Engineering & Surveying  
2803 River Rd.  
Yakima, WA 98902  
[mheit@hlacivil.com](mailto:mheit@hlacivil.com)

WM Real Property Holdings LLC  
2250 Borton Rd.  
Yakima, WA 98903

Binder Copy / For the Record / File

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**AFFIDAVIT OF MAILING**

STATE OF WASHINGTON

CITY OF YAKIMA

RE: PLP#001-23, SEPA#09-23, CAO#021-23  
NOVOBIELSKI SURVIVORS TRUST - "PLAT OF  
MARYLYN PLACE"  
LOWER AHTANUM/53RD

I, Eva Rivera, as an employee of the City of Yakima Planning Division, have dispatched through the United States Mails, a **Notice of Public Hearing & Determination of NonSignificance (DNS)**, true and correct copies of which are enclosed herewith; that said notices were addressed to the applicant, SEPA Reviewing Agencies, all parties of record, and all property owners of record within a radius of 300 feet of subject property; that said property owners are individually listed on the mailing list retained by the Planning Division, and that said notices were mailed by me on this 13<sup>th</sup> day of December, 2023.

That I mailed said notices in the manner herein set forth and that all of the statements made herein are just and true.



Eva Rivera

Planning Technician

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INDEX

# E4d

18120511477  
CARR FAMILY TRUST  
6508 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120514004  
CONGDON ORCHARDS INC  
PO BOX 2725  
YAKIMA, WA 98907

18120422404  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422405  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422406  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422412  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422415  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422416  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422417  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422428  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422429  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120423401  
NOVOBIELSKI SURVIVORS TRUST  
5809 AHTANUM RD  
YAKIMA, WA 98903

18120423404  
NOVOBIELSKI SURVIVORS TRUST  
5809 AHTANUM RD  
YAKIMA, WA 98903

18120541405  
THE RICK BRUNDTLAND INTENTIONAL  
GRANTOR IRREVOCABLE TRUST  
231 MACARTHUR ST  
SAINT HELENS, OR 97051

18120421010  
TRAMMELLS BAR 71 RANCH LLC  
205 N 86TH AVE  
YAKIMA, WA 98908

18120423005  
WM REAL PROPERTY HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120514402  
WM REAL PROPERTY HOLDINGS LLC  
2550 BORTON RD  
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18120511425  
ALISON SONNTAG  
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18120511422  
AMANDA & DANIEL SUTTON  
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18120511480  
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18120514414  
ARMANDO ALEXANDER & YARITSA  
ARROYO  
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18120511420  
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18120514411  
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18120514412  
CHARLES P & KATHRYN A RALPH  
5809 AHTANUM RD LOWR  
YAKIMA, WA 98903

18120514413  
CHARLES P & KATHRYN A RALPH  
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18120422407  
CLAIRE JULIA & MATTHEW SHUEL  
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18120511423  
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18120511428  
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18120423402  
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18120511421  
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18120423403  
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181205114410  
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18120511481  
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Notice of Pub. Hearing + DNS  
PLP#001-23, SEPA#009-23, CAO#021-23  
Sent 12/13/2023

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**SEPA REVIEWING AGENCIES**  
**\_UPDATED 12/07/2022**

Type of Notice: Notice of Pub Hearing + DNS  
File Number: SEPA # 009-23, RP # 001-23, CAO # 021-23  
Date of Mailing: 12/13/2023

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**Rivera, Eva**

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**From:** NoReply@ecy.wa.gov  
**Sent:** Wednesday, December 13, 2023 11:43 AM  
**To:** Ask Planning  
**Subject:** Your SEPA Record Has Been Submitted!

The Department of Ecology has received a new SEPA record from Yakima City at Yakima City of with a File Number of: SEPA#009-23, PLP#001-23, CAO#021-23.

Your record is being reviewed by an administrator.

From: Yakima City  
Email: ask.planning@yakimawa.gov  
Phone number: (509) 575-6261

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In-House Distribution E-mail List		Revised 11/21/2023
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Outside Distribution		
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(Subdivision notices ONLY) Pacific Power Attn: Estimating Department	500 N Keys Rd, Yakima, WA 98901	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
(Projects Adjacent to BNSF Right of Way ONLY) Central Washington Railroad	111 University Parkway, Suite 200 Yakima, WA 98901 (509) 453-9166 Tim Marshall, General Manager, <a href="mailto:tmarshall@cbrr.com">tmarshall@cbrr.com</a> Kim Yeager, Real Estate Manager, <a href="mailto:kyeager@ihdllc.com">kyeager@ihdllc.com</a>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> E-mail
(Shoreline notices ONLY) Department of Ecology	<a href="mailto:crosepa@ecy.wa.gov">crosepa@ecy.wa.gov</a>	<input type="checkbox"/> E-mail

Additional Parties of Record or Interested Parties Notified		
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Type of Notice:

File Number(s):

Date of Mailing:

Ntc of Pub. Hearing + DNS  
 PLP #001-23, SEP A #009-23, CA #001-23  
 12/13/2023

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**Rivera, Eva**

**From:** Rivera, Eva  
**Sent:** Wednesday, December 13, 2023 11:26 AM  
**To:** 'Mike Heit'; Bradburn, Trace; Calhoun, Joseph; Contreras, Pedro; Corona, Silvia; Cruz, Leovardo; Davenport, Joan; DeBusschere, Suzanne; Denman, Glenn; Doan, Tony; Kallevig, Dana; Layman, Randy; Markham, Aaron; Maxey, Lisa; McPherson, Kirsten; Meloy, Randy; Murray, Matthew; Preston, Bill; Reynoso, Patty; Riddle, Dan; Rivera, Eva; Sanchez, Vanesa; Schafer, Scott; Shane, Mike; Story, Gregory; Vera, Jaime; Watkins, Sara; Zabell, John; Ahtanum Irrigation District - Beth Brulotte; Cawley, Marc; Greater Yakima Chamber of Commerce; Henne, Dennis; Jack Wells - Yakima County Water Resources; Linos, Irene; Office Rural Farmworker Housing - Marty Miller; Rivera, Eva; United States Postal Service - David James; WA State Dept Agriculture - Kelly McLain; WA State Dept Archaeology Historic Pres - SEPA; WA State Dept Commerce - Review Team; WA State Dept Ecology - CRO SEPA; WA State Dept Ecology - Former Orchards; WA State Dept Ecology - Lori White; WA State Dept Ecology - SEPA Unit; WA State Dept Energy Facility Site Eval; WA State Dept Fish and Wildlife - Eric Bartrand; WA State Dept Fish and Wildlife - Scott Downes; WA State Dept Fish and Wildlife - SEPA; WA State Dept Fish and Wildlife - Team Yakima; WA State Dept Health - Jamie Gardipe; WA State Dept Health - Kelly Cooper; WA State Dept Health - SEPA ; WA State Dept Natural Resources - SEPA Center; WA State Dept Social Health Svcs - Larry Covey; WA State Dept Transportation- South Central Region; WA State Dept Transportation - Paul Gonseth; WA State Parks and Recreation - SEPA; West Valley School District - Joe Connolly; West Valley School District - Peter Finch; WSDOT Aviation ; Yakama Bureau of Indian Affairs - Rocco Clark; Yakama Nation Environmental Mgmt Program - Elizabeth Sanchey; Yakama-Klickitat Fisheries Project - John Marvin; Yakama-Klickitat Fisheries Project - John Marvin; Yakima County Building Dept - Marivel Garcia; Yakima County Commissioners; Yakima County Health District; Yakima County Health District - Ryan Ibach; Yakima County Planning Division - Jason Earles; Yakima County Planning Division - Thomas Carroll; Yakima County Public Services - Lisa Freund; Yakima County Water Resources Div - Troy Havens; Yakima Greenway Foundation - Kellie Connaughton; Yakima Regional Clean Air Agency - Hasan Tahat; Yakima School District - Stacey Locke; Yakima School District - Trevor Greene; Yakima Valley Museum - Peter Arnold; Yakima Valley Trolleys; Yakima Waste Systems; El Mundo; El Sol de Yakima; Fannin, John; KAPP TV News; KDNA Radio - Francisco Rios; KEPR TV News; KIMA TV News; KIT News; KIT/KATS/DMVW/KFFM - Lance Tormey; KNDO TV News; KNDU TV News; KUNW-TV Univision; KVEW TV News; La Casa Hogar; La Voz; Linos, Irene; Lozano, Bonnie; NWPR - Anna King; RCDR - Maria DJ Rodriguez; Tu Decides - Albert Torres; Yakima Herald - Business; Yakima Herald Republic Newspaper; Yakima Valley Business Times; YPAC - Randy Beehler

**Cc:** Crowell, Eric  
**Subject:** NTC OF PUB. HEARING & DNS - Novobielski Survivors Trust Plat of Marylyn Place - PLP#001-23, SEPA#009-23, CAO#021-23  
**Attachments:** NTC OF PUB. HEARING\_PLP#001-23.pdf; DNS\_SEPA#009-233,PLP#001-23.pdf

Good morning,

Attached is a Notice of Public Hearing and DNS regarding the above-entitled project. If you have any questions about this proposal, please contact the assigned planner, Eric Crowell at [eric.crowell@yakimawa.gov](mailto:eric.crowell@yakimawa.gov).

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Thank you!



*Eva Rivera*

**Planning Technician**

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**Email:** [eva.rivera@yakimawa.gov](mailto:eva.rivera@yakimawa.gov)

---

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#** F-4b

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FINANCE DEPT


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Eva Rivera  
 City Of Yakima Planning  
 129 N 2nd Street  
 Yakima WA 98901

**STATE OF WASHINGTON, COUNTIES OF YAKIMA**

The undersigned, on oath states that he/she is an authorized representative of Yakima Herald-Republic, Inc., publisher of Yakima Herald-Republic and El Sol de Yakima, of general circulation published daily in Yakima County, State of Washington. Yakima Herald-Republic and El Sol de Yakima have been approved as legal newspapers by orders of the Superior Court of Yakima County.

The notice, in the exact form annexed, was published in the regular and entire issue of said paper or papers and distributed to its subscribers during all of the said period.

12/13/2023

Agent

JACKIE CHAPMAN

Signature

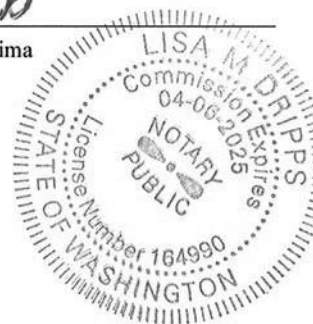
Jackie Chapman

Subscribed and sworn to before me on

December 13, 2023Lisa M. Dripps

(Notary Signature) Notary Public in and for the State of Washington, residing at Yakima

Publication Cost: \$131.35  
 Order No: 68565  
 Customer No: 23222  
 PO #:



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# F-4a



**CITY OF YAKIMA  
NOTICE OF PUBLIC  
HEARING**

**DATE:** 12/13/2023; **FROM:**

Joan Davenport, AICP,  
Community Development  
Director; **APPLICANT:** HLA  
Engineering & Surveying Inc.  
on behalf of Novobielski  
Survivors Trust (2803 River  
Rd., Yakima, WA 98902);

**FILE NUMBER:** PLP#001-23,  
SEPA#009-23, CAO#021-23;

**LOCATION:** Vicinity of  
Ahtanum Rd. & S. 58th Ave.;  
**TAX PARCEL NUMBER(S):**  
181204-23005 & 181205-

14402; **DATE OF**

**APPLICATION:** 9/21/2023;

**DATE OF COMPLETENESS:**

11/16/2023; **PROJECT**

**DESCRIPTION** Preliminary

long plat to subdivide  
approximately 22.1 acres in  
83 single-family residential  
lots, located in the R-2 zoning  
district and partially within the  
floodplain. **NOTICE OF**

**PUBLIC HEARING** This

preliminary long plat and  
environmental review will  
require two public hearings;  
one open record hearing  
before the Hearing Examiner  
to be followed by a closed  
record hearing before the

Yakima City Council. **A**

**separate notice will be**

**provided for the public**

**hearing before the Yakima**

**City Council.** The public

hearing before the Hearing  
Examiner has been scheduled

for **Thursday, January 11,**

**2024,** beginning at 9:00 a.m.

**in the City Hall Council**

**Chambers.** Any person

desiring to express their views

on the matter is invited to

attend the hearing to provide

testimony. **NOTICE OF**

**RECOMMENDATION**

Following the public hearing,

the Hearing Examiner will

issue his recommendation

within ten (10) business days.

When available, a copy of the

decision will be mailed to

parties of record. The file

containing the complete

application is available for

public review at the City of

Yakima Planning Division, City

Hall – 2nd Floor, 129 N. 2nd

St., Yakima, WA. If you have

questions regarding this

proposal, please call Eric

Crowell, Senior Planner, at

(509) 576-6736, or email to:

eric.crowell@yakimawa.gov.

Publication Cost: \$131.35

Order No: 68565

Customer No: 23222

PO #:

(68565) December 13, 2023

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# F-4a

**CITY OF YAKIMA  
NOTICE OF PUBLIC  
HEARING**

**DATE:** 12/13/2023; **FROM:** Joan Davenport, AICP, Community Development Director; **APPLICANT:** HLA Engineering & Surveying Inc. on behalf of Novobielski Survivors Trust (2803 River Rd., Yakima, WA 98902); **FILE NUMBER:** PLP#001-23, SEPA#009-23, CAO#021-23; **LOCATION:** Vicinity of Ahtanum Rd. & S. 58th Ave.; **TAX PARCEL NUMBER(S):** 181204-23005 & 181205-14402; **DATE OF**

**APPLICATION:** 9/21/2023;  
**DATE OF COMPLETENESS:** 11/16/2023; **PROJECT**

**DESCRIPTION** Preliminary long plat to subdivide approximately 22.1 acres in 83 single-family residential lots, located in the R-2 zoning district and partially within the floodplain. **NOTICE OF**

**PUBLIC HEARING** This preliminary long plat and environmental review will require two public hearings; one open record hearing before the Hearing Examiner to be followed by a closed record hearing before the Yakima City Council. **A separate notice will be provided for the public hearing before the Yakima City Council.** The public hearing before the Hearing Examiner has been scheduled for **Thursday, January 11, 2024, beginning at 9:00 a.m. in the City Hall Council Chambers.** Any person desiring to express their views on the matter is invited to attend the hearing to provide testimony. **NOTICE OF**

**RECOMMENDATION**

Following the public hearing, the Hearing Examiner will issue his recommendation within ten (10) business days. When available, a copy of the decision will be mailed to parties of record. The file containing the complete application is available for public review at the City of Yakima Planning Division, City Hall – 2nd Floor, 129 N. 2nd St., Yakima, WA. If you have questions regarding this proposal, please call Eric Crowell, Senior Planner, at (509) 576-6736, or email to: eric.crowell@yakimawa.gov.

(68565) December 13, 2023

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DEPARTMENT OF COMMUNITY DEVELOPMENT

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Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

**NOTICE OF PUBLIC HEARING**

**DATE:** December 13, 2023  
**TO:** SEPA Reviewing Agencies, Applicant, and Adjoining Property Owners  
**FROM:** Joan Davenport, AICP, Community Development Director  
**SUBJECT:** Preliminary Long Plat and Environmental Review  
**File Numbers:** PLP#001-23, SEPA#009-23, and CAO#021-23  
**Project Applicant:** HLA Engineering & Land Surveying on behalf of Novobielski Survivors Trust (2803 River Rd., Yakima, WA 98902)  
**Project Location:** Vicinity of Ahtanum Rd. & S. 58th Ave.  
**Parcel Number:** 181204-23005 & -181205-14402

**PROJECT DESCRIPTION** Preliminary long plat to subdivide approximately 22.1 acres parcel into 83 single-family residential lots, located in the R-2 zoning district and partially within the floodplain.

**NOTICE OF PUBLIC HEARING** This preliminary long plat and environmental review will require two public hearings; one open record hearing before the Hearing Examiner to be followed by a closed record hearing before the Yakima City Council. **A separate notice will be provided for the public hearing before the Yakima City Council.** The public hearing before the Hearing Examiner has been scheduled for **Thursday, January 11, 2024, beginning at 9:00 a.m. in the City Hall Council Chambers.** Any person desiring to express their views on the matter is invited to attend the hearing to provide testimony.

**NOTICE OF RECOMMENDATION** Following the public hearing, the Hearing Examiner will issue his recommendation within ten (10) business days. When available, a copy of the recommendation will be mailed to parties of record and entities who were provided this notice.

The file containing the complete application is available for public review at the City of Yakima Planning Division, City Hall – 2nd Floor, 129 N. 2nd St., Yakima, WA. If you have questions regarding this proposal, please call Eric Crowell, Senior Planner, at (509) 576-6736, or email to: [eric.crowell@yakimawa.gov](mailto:eric.crowell@yakimawa.gov).

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# F-4



Joan Davenport, AICP, Directora

Division de Planificación

Joseph Calhoun, Gerente

129 Norte Calle 2ª, 2º Piso, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

### AVISO DE AUDIENCIA PÚBLICA

**FECHA OTORGADA:** 13 de diciembre, 2023  
**PARA:** Agencias de Revisión Ambiental, Solicitante y Propietarios Adyacentes  
**DE:** Joan Davenport, AICP, Directora de Desarrollo Comunitario  
**ASUNTO:** Propuesta Preliminar para Subdividir y Revisión Ambiental  
**No. DE ARCHIVO:** PLP#001-23, SEPA#009-23, and CAO#021-23  
**SOLICITANTE:** HLA Engineering & Land Surveying por parte de Novobielski Survivors Trust (2803 River Rd., Yakima, WA 98902)  
**UBICACIÓN:** Vicinity of Ahtanum Rd. & S. 58th Ave.  
**No. DE PARCELA:** 181204-23005 & -181205-14402

**DESCRIPCIÓN DEL PROYECTO** Propuesta para una subdivisión preliminar para dividir aproximadamente 22.1 acres en 83 lotes residenciales unifamiliares en la zona R-2 y parcialmente dentro del terreno inundable.

**AVISO DE AUDIENCIA PÚBLICA:** Esta solicitud de propuesta para una subdivisión preliminar requerirá dos audiencias públicas; una audiencia de registro abierto ante el Examinador de Audiencias seguido por una de audiencia de registro cerrado ante el Concejo Municipal de Yakima. **Se proporcionará un aviso por separado para la audiencia pública ante el Concejo Municipal de Yakima.** La audiencia pública ante el Examinador de Audiencias ha sido programada para el **jueves 11 de enero 2024, comenzando las 9:00 a.m.** en la Sala del Consejo Municipal en el Ayuntamiento. Cualquier persona que desee expresar su opinión sobre este asunto está invitada a asistir a la audiencia para presentar testimonio.

**AVISO DE LA RECOMENDACION:** Después de la audiencia pública, el Examinador de Audiencias emitirá su recomendación dentro de diez días hábiles. Cuando la recomendación este disponible, una copia será enviada a las personas que mandaron comentarios o que recibieron este aviso inicial.

El archivo que contiene la aplicación completa está disponible para inspección pública en la Oficina de Planificación de la Ciudad de Yakima en el 129 al Norte la Calle 2da, Yakima, WA. Si tiene cualquier pregunta sobre esta propuesta, puede contactar a la Oficina de Planificación al (509) 575-6183 o por correo electrónico al: [ask.planning@yakimawa.gov](mailto:ask.planning@yakimawa.gov)

DOC.

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Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

**WASHINGTON STATE ENVIRONMENTAL POLICY ACT  
DETERMINATION OF NONSIGNIFICANCE  
CITY OF YAKIMA, WASHINGTON  
December 13, 2023**

**PROJECT DESCRIPTION:** Preliminary long plat to subdivide approximately 22.1 acres parcel into 83 single-family residential lots, located in the R-2 zoning district and partially within the floodplain.

**LOCATION:** Vicinity of Ahtanum Rd. & S. 58th Ave.

**PARCEL NUMBER:** 181204-23005 & -181205-14402

**PROPONENT:** HLA Engineering & Land Surveying

**PROPERTY OWNER:** Novobielski Survivors Trust

**LEAD AGENCY:** City of Yakima

**FILE NUMBERS:** PLP#001-23, SEPA#009-23, CAO#021-23

**DETERMINATION:** The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request.

☒ This DNS is issued after using the optional DNS process in WAC 197-11-355.  
There is no further comment period on the DNS.

Responsible Official: Joan Davenport

Position/Title: SEPA Responsible Official

Phone: (509) 575-6183

Address: 129 N. 2nd Street, Yakima, WA 98901

**Date:** December 13, 2023

**Signature** 

☒ You may appeal this determination to: Joan Davenport, AICP, Director of Community Development, at 129 N. 2nd Street, Yakima, WA 98901.

No later than: **December 27, 2023.**

By method: Complete appeal application form and payment of appeal fee.

You should be prepared to make specific factual objections. Contact the City of Yakima Planning Division to read or ask about the procedures for SEPA appeals.

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**AFFIDAVIT OF MAILING**

STATE OF WASHINGTON

CITY OF YAKIMA

RE: PLP#001-23, SEPA#009-23, CAO#021-23NOVOBIELSKI SURVIVORS TRUST - "PLAT OF MARYLYN PLACE"LOWER AHTANUM/53RD

I, Eva Rivera, as an employee of the Yakima City Planning Division, have dispatched through the United States Mails, a **Notice of Application and Environmental Review**; a true and correct copy of which is enclosed herewith; that said notice was addressed to the applicant, SEPA reviewing agencies, and all property owners of record within a radius of 300 feet of subject property; that said property owners are individually listed on the mailing list retained by the Planning Division; and that said notices were mailed by me on the 16<sup>th</sup> day of November 2023.

That I mailed said notices in the manner herein set forth and that all of the statements made herein are just and true.



Eva Rivera

Planning Technician

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18120514004  
CONGDON ORCHARDS INC  
PO BOX 2725  
YAKIMA, WA 98907

18120422405  
COTTONWOOD PARTNERS LLC  
PO BOX 8353  
YAKIMA, WA 98908

18120422415  
COTTONWOOD PARTNERS LLC  
PO BOX 8353  
YAKIMA, WA 98908

18120422416  
COTTONWOOD PARTNERS LLC  
PO BOX 8353  
YAKIMA, WA 98908

18120422428  
COTTONWOOD PARTNERS LLC  
PO BOX 8353  
YAKIMA, WA 98908

18120422429  
COTTONWOOD PARTNERS LLC  
PO BOX 8353  
YAKIMA, WA 98908

18120422406  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422407  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422413  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422414  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422426  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120422427  
HAYDEN HOMES LLC  
2464 SW GLACIER PL STE 110  
REDMOND, OR 97756

18120423005  
NOVOBIELSKI SURVIVORS TRUST  
5809 AHTANUM RD  
YAKIMA, WA 98903

18120423401  
NOVOBIELSKI SURVIVORS TRUST  
5809 AHTANUM RD  
YAKIMA, WA 98903

18120514402  
NOVOBIELSKI SURVIVORS TRUST  
5809 AHTANUM RD  
YAKIMA, WA 98903

18120421010  
TRAMMELLS BAR 71 RANCH LLC  
205 N 86TH AVE  
YAKIMA, WA 98908

18120511418  
ALICIA & MICHAEL MILLETT  
6605 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120511422  
AMANDA & DANIEL SUTTON  
6511 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120514414  
ARMANDO ALEXANDER & YARITSA  
ARROYO  
2501 S 59TH AVE  
YAKIMA, WA 98903

18120511425  
CHARLES VAUGHN  
6505 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120514412  
CHARLES P & KATHRYN A RALPH  
5809 AHTANUM RD LOWR  
YAKIMA, WA 98903

18120514413  
CHARLES P & KATHRYN A RALPH  
5809 AHTANUM RD LOWR  
YAKIMA, WA 98903

18120511429  
DALJIT & GURPREET PARMAR  
6411 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120511423  
DAVID HAHN  
6509 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120423400  
DAVID & CORINNE AMBROSE  
5709 AHTANUM RD  
YAKIMA, WA 98903

18120511428  
GAREN ROLAND & JESSICA LYNNE  
BARNETT  
6413 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120423402  
GARRY L & JANICE M BEATY  
5707 AHTANUM RD  
YAKIMA, WA 98903

18120511421  
GATOR NEWELL  
6513 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120514411  
GEORGE JR SHIN  
5805 AHTANUM RD  
YAKIMA, WA 98903

18120514410  
GREGORY J & BRINDA P TUCKNIES  
5807 AHTANUM RD  
YAKIMA, WA 98903

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18120511424  
JAMES & VALENTINA LAIRD  
6507 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120514416  
JAMES B DEVINE  
2502 S 59TH AVE  
YAKIMA, WA 98903

18120511426  
JANAE BENSCOTER  
6503 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120511427  
JOHN & LAURIE HOOD  
6501 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120514415  
MARIA PEREZ  
2511 S 59TH AVE  
YAKIMA, WA 98903

18120511420  
ROSENBERG NAVA-ANAYA  
6601 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120432004  
ROYAL SCHLEPP  
8442 MEADOWBROOK RD  
YAKIMA, WA 98903

18120541401  
STEVEN H SOELBERG  
901 SUMMITVIEW AVE STE 260  
YAKIMA, WA 98902

18120511419  
TONY L & CHRISTINA NGO  
6603 COTTONWOOD LOOP  
YAKIMA, WA 98903

18120423006  
VERNON RANK  
5503 AHTANUM RD  
YAKIMA, WA 98903

18120514409  
VERNON & PAMELA HIBBARD  
5815 AHTANUM RD  
YAKIMA, WA 98903

18120514417  
WILLIAM MALLORY JR  
2500 S 59TH AVE  
YAKIMA, WA 98903

18120514408  
YARITZA J SOLIS GONZALEZ  
5813 AHTANUM RD  
YAKIMA, WA 98903

43  
Total Parcels - Novobielski Survivors Trust -  
PLP#001-23, SEPA#009-23, CAO#021-23

HLA ENGINEERING - MIKE HEIT  
2803 RIVER RD  
YAKIMA, WA 98902

WM REAL PROPERTY HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

*Note of App + Envir. Rev.  
Sent 11/16/2023  
PLP#001-23, SEPA#009-23, CAO#021-23*

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Ahtanum Irrigation District  
Beth Ann Brulotte  
10705-B Gilbert Road  
Yakima, WA 98903-9203  
bethb@ahtanum.net

Cascade Natural Gas  
8113 W Grandridge Blvd  
Kennewick, WA 99336

Century Link  
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Yakima, WA 98902

Charter Communications  
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Yakima, WA 98902

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City of Yakima - Airport  
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jaime.vera@yakimawa.gov

City of Yakima - Engineering Division  
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Dan.Riddle@yakimawa.gov

City of Yakima - Wastewater Division  
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City of Yakima - Wastewater Division  
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Federal Aviation Administration  
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Yakima, WA 98903

Greater Yakima Chamber of Commerce  
10 North 9th Street  
Yakima, WA 98901  
chamber@yakima.org

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Yakima, WA 98909  
NachesCowicheCanal@gmail.com

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Yakima, WA 98902

Office of Rural and Farm Worker Housing  
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Martym@orfh.org

Pacific Power  
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Yakima, WA 98901

United States Postal Service  
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Yakima, WA 98903  
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Yakima Valley Trolleys  
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WA State Attorney General's Office  
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WA State Department of Agriculture  
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WA State Department of Archaeology &  
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WA State Department of Fish and Wildlife  
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#

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Olympia, WA 98504

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Yakama Bureau of Indian Affairs  
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Toppenish, WA 98948

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Toppenish, WA 98948

Yakama Nation Environmental Management  
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Yakama Indian Nation, Cultural Resources  
Program  
Johnson Meninick  
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Toppenish, WA 98948

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Yakima, WA 98901  
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Yakima County Commissioners  
Commissioners.web@co.yakima.wa.us

Yakama-Klickitat Fisheries Project  
John Marvin  
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jmarvin@yakama.com

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Union Gap, WA 98903  
yhd@co.yakima.wa.us

Yakima County Planning Division  
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Yakima County Water Resources Division  
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128 North 2nd Street, 4th Floor  
Yakima, WA 98901  
Troy.Havens@co.yakima.wa.us

Yakima County Planning Division  
Tommy Carroll  
128 North 2nd Street, 4th Floor  
Yakima, WA 98901  
Thomas.Carroll@co.yakima.wa.us

Yakima Waste Systems  
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PO Box 2830  
Yakima, WA 98907  
mark.lanter@wasteconnections.com

Yakima-Tieton Irrigation District  
Sandra Hull  
470 Camp 4 Rd  
Yakima, WA 98908

Yakima Greenway Foundation  
Kellie Connaughton  
111 South 18th Street  
Yakima, WA 98901  
kellie@yakimagreenway.org

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Yakima School District  
 Stacey Locke  
 104 North 4th Ave  
 Yakima, WA 98902  
 locke.stacey@ysd7.org

Yakima Regional Clean Air Agency  
 Hasan Tahat  
 186 Iron Horse Ct # 101  
 Yakima, WA 98901  
 hasan@yrcaa.org

Yakima School District  
 Jay Baucom  
 104 North 4th Ave  
 Yakima, WA 98902  
 baucom.jay@yakimaschools.org

Yakima Valley Museum  
 Peter Arnold  
 2105 Tieton Drive  
 Yakima, WA 98902  
 peter@yvmuseum.org

Yakima School District  
 Trevor Greene  
 104 North 4th Ave  
 Yakima, WA 98902  
 greene.trevor@ysd7.org

Yakima Valley Canal Co  
 Robert Smoot  
 1640 Garretson Lane  
 Yakima, WA 98908

Yakima Valley Trolleys  
 Paul Edmondson  
 313 North 3rd Street  
 Yakima, WA 98901

**SEPA REVIEWING AGENCIES**  
 \_UPDATED 12/07/2022

Type of Notice: Ntc & App + Enviro. Review  
 File Number: PLP#001-23, SEPA#009-23, CAD#02-23  
 Date of Mailing: 11/16/2023

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**Rivera, Eva**

---

**From:** NoReply@ecy.wa.gov  
**Sent:** Thursday, November 16, 2023 11:30 AM  
**To:** Ask Planning  
**Subject:** Your SEPA Record Has Been Submitted!

The Department of Ecology has received a new SEPA record from Yakima City at Yakima City of with a File Number of: SEPA#009-23, PLP#001-23, CAO#021-23.  
Your record is being reviewed by an administrator.

From: Yakima City  
Email: ask.planning@yakimawa.gov  
Phone number: (509) 575-6261

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In-House Distribution E-mail List		Revised 05/12/2023
Name	Division	E-mail Address
Jaime Vera	Air Terminal	<a href="mailto:Jaime.Vera@yakimawa.gov">Jaime.Vera@yakimawa.gov</a>
Silvia Corona	Clerk's Office	<a href="mailto:Silvia.Corona@yakimawa.gov">Silvia.Corona@yakimawa.gov</a>
Glenn Denman	Code Administration	<a href="mailto:Glenn.Denman@yakimawa.gov">Glenn.Denman@yakimawa.gov</a>
John Zabell	Code Administration	<a href="mailto:John.Zabell@yakimawa.gov">John.Zabell@yakimawa.gov</a>
Pedro Contreras	Code Administration	<a href="mailto:Pedro.Contreras@yakimawa.gov">Pedro.Contreras@yakimawa.gov</a>
Suzanne DeBusschere	Code Administration	<a href="mailto:Suzanne.Debusschere@yakimawa.gov">Suzanne.Debusschere@yakimawa.gov</a>
Tony Doan	Code Administration	<a href="mailto:Tony.Doan@yakimawa.gov">Tony.Doan@yakimawa.gov</a>
Patty Reynoso	Code Administration	<a href="mailto:Patty.Reynoso@yakimawa.gov">Patty.Reynoso@yakimawa.gov</a>
Joan Davenport	Community Development	<a href="mailto:Joan.Davenport@yakimawa.gov">Joan.Davenport@yakimawa.gov</a>
Lisa Maxey	Community Development	<a href="mailto:Lisa.Maxey@yakimawa.gov">Lisa.Maxey@yakimawa.gov</a>
Bill Preston	Engineering	<a href="mailto:Bill.preston@yakimawa.gov">Bill.preston@yakimawa.gov</a>
Kirsten McPherson	Engineering	<a href="mailto:Kirsten.McPherson@yakimawa.gov">Kirsten.McPherson@yakimawa.gov</a>
Dan Riddle	Engineering	<a href="mailto:Dan.Riddle@yakimawa.gov">Dan.Riddle@yakimawa.gov</a>
Aaron Markham	Fire	<a href="mailto:Aaron.markham@yakimawa.gov">Aaron.markham@yakimawa.gov</a>
Jeremy Rodriguez	Fire	<a href="mailto:Jeremy.Rodriguez@yakimawa.gov">Jeremy.Rodriguez@yakimawa.gov</a>
Sara Watkins	Legal	<a href="mailto:Sara.Watkins@yakimawa.gov">Sara.Watkins@yakimawa.gov</a>
Joseph Calhoun	Planning	<a href="mailto:Joseph.Calhoun@yakimawa.gov">Joseph.Calhoun@yakimawa.gov</a>
Eva Rivera	Planning	<a href="mailto:Eva.rivera@yakimawa.gov">Eva.rivera@yakimawa.gov</a>
Matt Murray	Police	<a href="mailto:Matthew.murray@yakimawa.gov">Matthew.murray@yakimawa.gov</a>
Scott Schafer	Public Works	<a href="mailto:Scott.Schafer@yakimawa.gov">Scott.Schafer@yakimawa.gov</a>
Leovardo Cruz	Refuse	<a href="mailto:Leovardo.Cruz@yakimawa.gov">Leovardo.Cruz@yakimawa.gov</a>
Randy Layman	Refuse	<a href="mailto:Randy.Layman@yakimawa.gov">Randy.Layman@yakimawa.gov</a>
Gregory Story	Transit	<a href="mailto:Gregory.Story@yakimawa.gov">Gregory.Story@yakimawa.gov</a>
James Dean	Utilities	<a href="mailto:James.Dean@yakimawa.gov">James.Dean@yakimawa.gov</a>
Dana Kallevig	Wastewater	<a href="mailto:Dana.Kallevig@yakimawa.gov">Dana.Kallevig@yakimawa.gov</a>
Randy Meloy	Wastewater	<a href="mailto:Randy.Meloy@yakimawa.gov">Randy.Meloy@yakimawa.gov</a>
Mike Shane	Water/Irrigation	<a href="mailto:Mike.Shane@yakimawa.gov">Mike.Shane@yakimawa.gov</a>

Outside Distribution		
Name	Address	Notified?
<i>(Subdivision notices ONLY)</i> Pacific Power Attn: Estimating Department	500 N Keys Rd, Yakima, WA 98901	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<i>(Projects Adjacent to BNSF Right of Way ONLY)</i> Central Washington Railroad	111 University Parkway, Suite 200 Yakima, WA 98901 (509) 453-9166 Tim Marshall, General Manager, <a href="mailto:tmarshall@cbrr.com">tmarshall@cbrr.com</a> Kim Yeager, Real Estate Manager, <a href="mailto:kyeager@ihdlc.com">kyeager@ihdlc.com</a>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> E-mail
<i>(Shoreline notices ONLY)</i> Department of Ecology	<a href="mailto:crosepa@ecy.wa.gov">crosepa@ecy.wa.gov</a>	<input type="checkbox"/> E-mail

Additional Parties of Record or Interested Parties Notified		
Name	Address	E-mail

Type of Notice: Ntc of App + Enviro Rev.  
File Number(s): PLP#001.23, SEPA#009.23, C40#021.23  
Date of Mailing: 11/16/2023

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**Rivera, Eva**

---

**From:** Rivera, Eva  
**Sent:** Thursday, November 16, 2023 10:37 AM  
**To:** 'mheit@hlacivil.com'; Bradburn, Trace; Calhoun, Joseph; Contreras, Pedro; Corona, Silvia; Cruz, Leovardo; Davenport, Joan; Dean, James; DeBusschere, Suzanne; Denman, Glenn; Doan, Tony; Kallevig, Dana; Layman, Randy; Markham, Aaron; Maxey, Lisa; McPherson, Kirsten; Meloy, Randy; Murray, Matthew; Preston, Bill; Reynoso, Patty; Riddle, Dan; Rivera, Eva; Schafer, Scott; Shane, Mike; Story, Gregory; Vera, Jaime; Watkins, Sara; Zabell, John; Ahtanum Irrigation District - Beth Brulotte; Cawley, Marc; Greater Yakima Chamber of Commerce; Henne, Dennis; Jack Wells - Yakima County Water Resources; Linos, Irene; Office Rural Farmworker Housing - Marty Miller; Rivera, Eva; United States Postal Service - David James; WA State Dept Agriculture - Kelly McLain; WA State Dept Archaeology Historic Pres - SEPA; WA State Dept Commerce - Review Team; WA State Dept Ecology - CRO SEPA; WA State Dept Ecology - Former Orchards; WA State Dept Ecology - Lori White; WA State Dept Ecology - SEPA Unit; WA State Dept Energy Facility Site Eval; WA State Dept Fish and Wildlife - Eric Bartrand; WA State Dept Fish and Wildlife - Scott Downes; WA State Dept Fish and Wildlife - SEPA; WA State Dept Fish and Wildlife - Team Yakima; WA State Dept Health - Jamie Gardipe; WA State Dept Health - Kelly Cooper; WA State Dept Health - SEPA ; WA State Dept Natural Resources - SEPA Center; WA State Dept Social Health Svcs - Larry Covey; WA State Dept Transportation- South Central Region; WA State Dept Transportation - Paul Gonseth; WA State Parks and Recreation - SEPA; West Valley School District - Joe Connolly; West Valley School District - Peter Finch; WSDOT Aviation ; Yakama Bureau of Indian Affairs - Rocco Clark; Yakama Nation Environmental Mgmt Program - Elizabeth Sanchey; Yakama-Klickitat Fisheries Project - John Marvin; Yakama-Klickitat Fisheries Project - John Marvin; Yakima County Building Dept - Marivel Garcia; Yakima County Commissioners; Yakima County Health District; Yakima County Health District - Ryan Ibach; Yakima County Planning Division - Jason Earles; Yakima County Planning Division - Thomas Carroll; Yakima County Public Services - Lisa Freund; Yakima County Water Resources Div - Troy Havens; Yakima Greenway Foundation - Kellie Connaughton; Yakima Regional Clean Air Agency - Hasan Tahat; Yakima School District - Stacey Locke; Yakima School District - Trevor Greene; Yakima Valley Museum - Peter Arnold; Yakima Valley Trolleys; Yakima Waste Systems  
**Cc:** Crowell, Eric  
**Subject:** NTC OF APP & ENVIRO. REVIEW - NOVOBIELSKI SURVIVORS TRUST/ PLAT OF MARYLYN PLACE - PLP#001-23, SEPA#009-23, CAO#021-23  
**Attachments:** NTC OF APP & ENVIRO REV\_PLP#001-23.pdf

Good morning,

I have attached a Notice of Application and Environmental Review for the project mentioned above. If you have any inquiries about this proposal, please feel free to contact the assigned planner, Eric Crowell, at [eric.crowell@yakimawa.gov](mailto:eric.crowell@yakimawa.gov).

Thank you,

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**#** F-3a



Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

**NOTICE OF APPLICATION AND ENVIRONMENTAL REVIEW**

**DATE:** November 16, 2023  
**TO:** SEPA Reviewing Agencies, Applicant, and Adjoining Property Owners  
**FROM:** Joan Davenport, AICP, Community Development Director  
**APPLICANT:** HLA Engineering & Land Surveying Inc. on behalf of Novobielski Survivors Trust  
**FILE NUMBER:** PLP#001-23, SEPA#009-23, CAO#021-23  
**LOCATION:** Vicinity of Ahtanum Rd. & S. 58th Ave.  
**TAX PARCEL NUMBER(S):** 181204-23005 & 181205-14402  
**DATE OF APPLICATION:** September 21, 2023  
**DATE OF COMPLETENESS:** November 16, 2023

**PROJECT DESCRIPTION** Preliminary long plat to subdivide approximately 22.1 acres in 83 single-family residential lots, located in the R-2 zoning district and partially within the floodplain.

**DETERMINATION OF CONSISTENCY** Pursuant to YMC § 16.06.020(A), the project considerations are determined to be consistent with applicable development regulations, as follows:

1. The type of land use: Preliminary Long Plat for 83 single-family lots
2. Level of Development: 83 single-family lots on 15.62 acres
3. Infrastructure and public facilities: The subject property is able to be served by public streets, water garbage collection, etc.
4. Characteristics of development: 83 single-family homes on lots ranging from 6,318 square feet to 47,895 square feet

Pursuant to YMC § 16.06.020(B), the development regulations and comprehensive plan considerations are found to be consistent, as follows:

1. The type of land use: Preliminary Long Plat for 83 single-family lots
2. Density of Development: Approximately 5.31 dwelling units per net residential acre
3. Availability and adequacy of infrastructure and public utilities: The subject property is able to be served by public facilities.

**NOTICE OF ENVIRONMENTAL REVIEW** This is to notify agencies with jurisdiction and environmental expertise and the public that the City of Yakima, Planning Division, has been established as the lead agency, under WAC § 197-11-928 for this project. The City of Yakima has reviewed the proposed project for probable adverse environmental impacts and expects to issue a Determination of Nonsignificance (DNS) per WAC § 197-11-355. The proposal may include mitigation measures under applicable codes and the project review process may incorporate or require mitigation measures regardless of whether an EIS is prepared. A copy of the subsequent threshold determination may be obtained by request and may be appealed pursuant to YMC § 6.88.170.

**Required Permits:** The following local, state, and federal permits/approvals may or will be needed for this project: Building Permit, Grading Permit

**Required Studies:** N/A

**Existing Environmental Documents:** None

**Development Regulations for Project Mitigation and Consistency Include:** the State Environmental Policy Act, the Yakima Urban Area Zoning Ordinance, YMC Title 12—Development Standards, and the Yakima Urban Area Comprehensive Plan.

**REQUEST FOR WRITTEN COMMENTS:** Agencies, tribes, and the public are encouraged to review and comment on the proposed project and its probable environmental impacts. There is a 14-day comment

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period for this review. This may be your only opportunity to comment. All written comments received by 5:00 p.m. on **November 30, 2023**, will be considered prior to issuing the final SEPA determination. Please reference file numbers (PLP#001-23, SEPA#009-23, CAO#021-23) and applicant's name (Novobielski Survivors Trust) in any correspondence you submit. You can mail your comments to:

**Joan Davenport, AICP, Community Development Director  
City of Yakima, Department of Community Development  
129 N. 2nd St., Yakima, WA 98901**

**NOTICE OF DECISION** A copy of the decision and the SEPA threshold determination will be mailed to parties of record and entities who were provided this notice once it is rendered.

The file containing the complete application is available for public review at the City of Yakima Planning Division, City Hall – 2nd Floor, 129 N. 2nd St., Yakima, WA. If you have any questions on this proposal, please contact Eric Crowell, Senior Planner at (509) 576-6736, or email to: [eric.crowell@yakimawa.gov](mailto:eric.crowell@yakimawa.gov).

**Enclosed:** Narratives, Project Descriptions, SEPA Checklist, Site Plans, and Vicinity Map

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Joan Davenport, AICP, Directora

Division de Planificación

Joseph Calhoun, Gerente

129 Norte Calle 2ª, 2º Piso, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

**AVISO DE APLICACIÓN Y REVISIÓN AMBIENTAL**

El Departamento de Desarrollo Comunitario de la Ciudad de Yakima ha recibido una aplicación por parte de un propietario/solicitante y este es un aviso sobre esa solicitud. Información sobre la ubicación de la propiedad en cuestión y la solicitud es la siguiente:

**FECHA OTORGADA:** 16 de noviembre, 2023  
**PARA:** Agencias de Revisión Ambiental, Solicitante y Propietarios Adyacentes  
**DE:** Joan Davenport, AICP, Directora de Desarrollo Comunitario  
**SOLICITANTE:** HLA Engineering & Land Surveying Inc. por parte de Novobielski Survivors Trust  
**No. DE ARCHIVO:** PLP#001-23, SEPA#009-23, CAO#021-23  
**UBICACIÓN:** Vecindad de Ahtanum Rd. & S. 58th Ave.  
**No. DE PARCELA:** 181204-23005 & 181205-14402  
**FECHA DE APLICACIÓN:** 21 de septiembre, 2023  
**FECHA DE APLICACIÓN COMPLETA:** 16 de noviembre, 2023

**DESCRIPCIÓN DEL PROYECTO:** Revisión de subdivisión preliminar para subdividir aproximadamente 22.1 acres y crear 83 lotes residenciales para viviendas unifamiliares localizados en la zona residencial R-2 y están parcialmente en la llanura inundable.

**DETERMINACIÓN DE LA CONSISTENCIA:** Conforme al Código Municipal YMC §16.06.020(A), las consideraciones del proyecto se determinan consistentes con las siguientes normas de desarrollo aplicables:

1. El tipo de uso terrenal: Subdivisión preliminar para 83 lotes residenciales unifamiliares
2. Nivel de desarrollo: 83 lotes residenciales unifamiliares en 15.62 acres
3. Infraestructura e instalaciones públicas: La propiedad puede ser servida por calles públicas, agua, drenaje, recolección de basura, etc.
4. Características del desarrollo: 83 lotes residenciales unifamiliares de aproximadamente 6,318 a 47,895 pies cuadrados en tamaño.

Conforme al Código Municipal YMC §16.06.020(B), los reglamentos de desarrollo y las consideraciones del plan comprensivo son coherentes, de la siguiente manera:

1. El tipo del uso terrenal: Subdivisión preliminar para 83 lotes residenciales unifamiliares
2. Densidad del desarrollo: Aproximadamente 5.31 unidades de vivienda por acre residencial
3. Disponibilidad y adecuación de infraestructura y servicios públicos: La propiedad puede ser servida por instalaciones públicas.

**AVISO DE REVISIÓN AMBIENTAL:** Esto es para notificar a las agencias con jurisdicción y experiencia ambiental y al público que la Ciudad de Yakima, Division de Planificación, se establece como la agencia principal, de acuerdo con la Ley Estatal de Política Ambiental de Washington (SEPA) bajo WAC §197-11-928 para la revisión de este proyecto. La Ciudad de Yakima ha revisado el proyecto propuesto para posibles impactos ambientales adversos y espera emitir una Determinación de No-Significancia (DNS) para este proyecto conforme al proceso DNS opcional en WAC § 197-11-355. La propuesta puede incluir medidas de mitigación bajo los códigos aplicables y el proceso de revisión del proyecto puede incorporar o requerir medidas de mitigación independientemente de si se prepara un EIS (Declaración de Impacto Ambiental). Una copia de la determinación de umbral posterior se puede obtener por solicitud y se puede apelar de acuerdo con el Código Municipal de Yakima YMC § 6.88.170.

**Permisos Requeridos:** Los siguientes permisos/aprobaciones locales, estatales, y federales pueden o serán necesarios para este proyecto: Permiso de Construcción, Permiso de nivelación

**Estudios Requeridos:** N/A

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**Documentos Ambientales Existentes:** Ninguno

**Los Reglamentos de Desarrollo para la Mitigación y Consistencia de Proyectos Incluyen:** La Ley Estatal de Política Ambiental de Washington, La Ordenanza de Zonificación del Área Urbana de Yakima, Los Estándares de Desarrollo del Título 12, y el Plan Integral del Área Urbana de Yakima.

**SOLICITUD DE COMENTARIOS ESCRITOS:** Se anima a las agencias, tribus, y el público a revisar y comentar sobre el proyecto y sobre sus probables impactos ambientales. Habrá un periodo de catorce días para hacer sus comentarios. Este podría ser su única oportunidad para comentar. Todos los comentarios recibidos por escrito antes de las 5:00 p.m. el 30 de noviembre, 2023 serán considerados antes de emitir la decisión final sobre esta solicitud. Por favor de hacer referencia al número de archivo (PLP#001-23, SEPA#009-23, CAO#021-23) o al nombre del solicitante (Novobielski Survivors Trust) en cualquier correspondencia que envíe. Envíe sus comentarios sobre esta propuesta a:

**Joan Davenport, AICP, Community Development Director  
City of Yakima, Department of Community Development  
129 N. 2nd St., Yakima, WA 98901**

**AVISO DE LA DECISIÓN FINAL:** Cuando la decisión final sea emitida, una copia será enviada a las personas que mandaron comentarios o que recibieron este aviso inicial. La decisión será definitiva a menos que sea apelada.

El archivo que contiene la aplicación completa está disponible para inspección pública en la Oficina de Planificación de la Ciudad de Yakima en el 129 al Norte la Calle 2da, Yakima, WA. Si tiene cualquier pregunta sobre esta propuesta, puede contactar a la Oficina de Planificación al (509) 575-6183 o por correo electrónico al: [ask.planning@yakimawa.gov](mailto:ask.planning@yakimawa.gov)

**Adjunto:** Narrativa, Descripción de Proyecto, Lista SEPA, Plan del Sitio, Mapa

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## DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

November 16, 2023

**FILE NUMBER:** PLP#001-23, SEPA#009-23, CAO#021-23  
**APPLICANT:** HLA Engineering & Land Surveying, Inc. c/o Mike Heit  
**APPLICANT ADDRESS:** 2803 River Rd., Yakima, WA 98902  
**PROJECT LOCATION:** Vicinity of Ahtanum Rd. & S. 58th Ave.  
**TAX PARCEL NO:** 181204-23005 & 181205-14402  
**DATE OF REQUEST:** September 21, 2023  
**SUBJECT:** Notice of Complete Application

Mr. Heit:

The application for your Preliminary Long Plat and Critical Areas Review for the vicinity of Ahtanum Rd. and S. 58th Ave. was received on September 21, 2023. As of November 16, 2023, your application is considered **complete** as required by the City of Yakima's Municipal Code (YMC) and site plan checklist, as referenced in YMC §§ 14.20.030, 15.27.308, and 6.88.090.

The Development Services Team (DST) held a meeting on October 10, 2023 to review your project. Continued processing of your request will include, but is not limited to, the following actions:

1. A Notice of Application and Environmental Review will be sent to all property owners within a 300-foot radius of your site. This notice will include a request for public comments during a comment period as is required by the City of Yakima. Notice of Application is scheduled to be issued on November 16, 2023.
2. The City will issue its threshold determination as required by SEPA. The threshold determination will also include a notice of public hearing which will identify the date, time, and location when this matter will be reviewed by the City of Yakima Hearing Examiner.
3. A subsequent hearing will be scheduled for final review and consideration by the Yakima City Council.

For any questions regarding this matter, please contact me at [eric.crowell@yakimawa.gov](mailto:eric.crowell@yakimawa.gov).

Sincerely,

A handwritten signature in cursive script that reads "Eric M. Crowell".

Eric Crowell  
Senior Planner

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CITY OF YAKIMA  
LAND USE ACTION INSTALLATION  
CERTIFICATE

157  
RECEIVED

OCT 12 2023

CITY OF YAKIMA  
PLANNING DIV.

File Number:	SEPA#009-23
Applicant/Project Name:	Marylyn Place Preliminary Plat
Site Address:	Lower Ahtanum
Date of Posting:	
Land Use Sign ID#(s):	

Location of Installation (Check One):

☒ Land Use Action Sign is installed per standards described in YMC §15.11.080(C).

☐ Land Use Action Sign is installed in an alternate location on the site.

*Note: this alternate location (if not pre-approved by the Planning Manager) may not be acceptable by the Planning Division and is subject to relocation (at the owner's expense) to a more visible site on the property.*

The alternative location is:

The required notice of application will be sent to the applicant and property owners within a 300-foot radius after the Planning Division has received this Land Use Action Installation Certification. Failure to post a Land Use Action sign and return this form signed in a timely manner may cause a delay in the application review process.

I hereby testify that the installed sign fully complies with the Land Use Action sign installation standards (see pg. 2), that the sign will be maintained until a decision has been rendered, and that the sign will be returned within 30 days from the date the final decision is issued.

Michael R Heit  
Applicant's Signature

10/11/23  
Date

Michael R Heit  
Applicant's Name (Please Print)

509-966-7000  
Applicant's Phone Number

Please fill out and sign the above certification after posting and deliver to the City of Yakima Planning Division via email to [ask.planning@yakimawa.gov](mailto:ask.planning@yakimawa.gov) or in person/by mail to: City of Yakima, Planning Division, 129 North 2<sup>nd</sup> Street, Yakima, WA 98901.

**WM REAL PROPERTY HOLDINGS LLC - "PLAT OF  
MARYLYN PLACE"  
PLP#001-23, SEPA#009-23, CAO#021-23  
EXHIBIT LIST**

## CHAPTER G

### Comments

[illegible]

January 10<sup>th</sup>, 2024

Joan Davenport, AICP  
Community Development Director  
City of Yakima, Department of Community Development  
129 North Second Street, Yakima, Washington 98901

SUBJ: File No.: PLP001#23, SEPA#009-23, CAO#021-23

Dear Joan,

The Yakima County Flood Control Zone District (FCZD) attended a meeting with the City of Yakima Planning Division on October 10<sup>th</sup>, 2023. At this meeting, the FCZD raised flood risk related concerns regarding the subject line applications (Marylyn Place).

Please find the below comments related to Marylyn Place:

1. 44 CFR 60.3(d)(3) states that communities must prohibit encroachments and other development in the floodway, unless certified by an engineer via no-rise certification per YCC 16C.05.36.020. The FCZD recommends a mechanism to inspect and ensure that no unpermitted encroachments or development occurs in the floodway on the north side of the parcel to comply with YCC and FEMA regulations. Encroachments and other development would include structures such as homes, sheds, fences, etc. We also recommend targeted outreach to the existing landowner(s) as well as potential developers and/or buyers next to the floodway of those development restrictions.
2. This development proposal is subject to the September 2021 LOMR which was approved by both the City of Yakima and Yakima County. We encourage the City and County to continue to cooperatively maintain those LOMR requirements.
3. In the Marylyn Place site plans, there are two roadways leading north that cross generally perpendicular to the floodway. During the 100-year flood event and potentially smaller events, the floodway may become activated causing water over the roadway, which at times could be impassable. FCZD recommends the placement of permanent signage indicating that the roadway may be under water during flooding events.

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Thank you for the opportunity to comment on this proposal. Please reach out to me with any questions regarding these comments.

Sincerely,

Troy Havens, PE, CFM  
Yakima County Flood Control Zone District  
(509) 574-2300  
troy.havens@co.yakima.wa.us

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# 6-4



Allyson Brooks Ph.D., Director  
State Historic Preservation Officer

November 30, 2023

Joan Davenport  
Community Development Director  
City of Yakima  
129 North 2nd Street  
Yakima, WA 98901

RECEIVED

NOV 30 2023

CITY OF YAKIMA  
PLANNING DIV.

In future correspondence please refer to:

Project Tracking Code: 2023-11-07771

Property: City of Yakima\_Marylyn Place Novobielski Survivors Trust (PLP#001-23, SEPA#009-23, CAO#021-23)

Re: Survey Requested

Dear Joan Davenport:

Thank you for contacting the Washington State Historic Preservation Officer (SHPO) and Department of Archaeology and Historic Preservation (DAHP) and providing documentation regarding the above referenced project. These comments are based on the information available at the time of this review and on behalf of the SHPO in conformance Washington State law. Should additional information become available, our assessment may be revised.

Our statewide predictive model indicates that there is a high probability of encountering cultural resources within the proposed project area. Further, the scale of the proposed ground disturbing actions would destroy any archaeological resources present. Identification during construction is not a recommended detection method because inadvertent discoveries often result in costly construction delays and damage to the resource. Therefore, we recommend a professional archaeological survey of the project area be conducted and a report be produced prior to ground disturbing activities. This report should meet DAHP's Standards for Cultural Resource Reporting.

We also recommend that any historic buildings or structures (45 years in age or older) located within the project area are evaluated for eligibility for listing in the National Register of Historic Places on Historic Property Inventory (HPI) forms. We highly encourage the SEPA lead agency to ensure that these evaluations are written by a cultural resource professional meeting the SOI Professional Qualification Standards in Architectural History.

Please note that the recommendations provided in this letter reflect only the opinions of DAHP. Any interested Tribes may have different recommendations. We appreciate receiving any correspondence or comments from Tribes or other parties concerning cultural resource issues that you receive.

Thank you for the opportunity to comment on this project. Please ensure that the DAHP Project Tracking Number is shared with any hired cultural resource consultants and is attached to any

DOC.

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State of Washington • Department of Archaeology & Historic Preservation  
P.O. Box 48343 • Olympia, Washington 98504-8343 • (360) 586-3065  
www.dahp.wa.gov





communications or submitted reports. Please also ensure that any reports, site forms, and/or historic property inventory (HPI) forms are uploaded to WISAARD by the consultant(s).

Should you have any questions, please feel free to contact me.

Sincerely,



Sydney Hanson, M.A.  
Local Government Archaeologist  
(360) 280-7563  
Sydney.Hanson@dahp.wa.gov

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## AHTANUM IRRIGATION DISTRICT

10705 Gilbert Rd Ste B, Yakima, Washington 98903-9203  
Phone (509) 249-0226 ~ Fax (509) 249-0233

November 29, 2023

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CITY OF YAKIMA  
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City of Yakima Planning Division  
Attention: Joan Davenport, AICP  
129 North Second Street - 2<sup>nd</sup> Floor  
Yakima, Washington 98901

Subject: PLP#001-23 SEPA#009-23 on behalf of Novobielski Survivors Trust  
(Marylyn Place) Owner: WM Real Property Holdings, LLC  
Parcel Nos: 181204-23005 & 181205-14402

Dear Ms. Davenport:

We are responding to the Notice of Application dated November 16, 2023 concerning the above-mentioned long plat application.

Our Board must sign off on the plat for this subdivision. The surveyor will need to provide us with the original Mylar, as well as one copy, for District signature. As our Board meets once per month, please telephone in advance for meeting dates to avoid delays.

If any further information is required, you can contact us at (509) 249-0226.

Sincerely,

AHTANUM IRRIGATION DISTRICT

*George D. Marshall*

George D. Marshall, Stream Patrolman

GM:bab

Cc: WM Real Property Holdings, LLC  
HLA Engineering and Land Surveying Inc. (Tim Fries/Michael R. Heit)

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STATE OF WASHINGTON  
DEPARTMENT OF ECOLOGY

Central Region Office

1250 West Alder St., Union Gap, WA 98903-0009 • 509-575-2490

November 28, 2023

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NOV 28 2023

CITY OF YAKIMA  
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Eric Crowell  
City of Yakima  
129 N. 2nd St.  
Yakima, WA 98901

**RE: 202305483; SEPA#009-23, PLP#001-23, CAO#021-23**

Dear Eric Crowell:

Thank you for the opportunity to comment on the Notice of Application for the Novobielski Survivors Trust - "Plat of Marylyn Place". We have reviewed the application and have the following comment.

**Water Resources**

If you plan to use water for dust suppression at your project site, be sure that you have a legal right. In Washington State, prospective water users must obtain authorization from the Department of Ecology before diverting surface water or withdrawing ground water, with one exception. Ground water withdrawals of up to 5,000 gallons per day used for single or group domestic supply, up to 5,000 gallons per day used for industrial purposes, stock watering, and for the irrigation of up to one-half acre of non-commercial lawn and garden are exempt from the permitting process. Water use under the RCW 90.44.050 exemption establishes a water right that is subject to the same privileges, restrictions, laws and regulations as a water right permit or certificate obtained directly from Ecology. Temporary permits may be obtainable in a short time-period. The concern of Water Resources is for existing water rights. In some instances water may need to be obtained from a different area and hauled in or from an existing water right holder.

If you have any questions or would like to respond to these Water Resources comments, please contact Christopher Kossik at 509-379-1826 or email at [christopher.kossik@ecy.wa.gov](mailto:christopher.kossik@ecy.wa.gov).

Sincerely,

*Joy Espinoza*

Joy Espinoza  
SEPA Coordinator  
Central Regional Office  
509-379-3967  
[crosepacoordinator@ecy.wa.gov](mailto:crosepacoordinator@ecy.wa.gov)

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**BUSINESS OF THE CITY COUNCIL  
YAKIMA, WASHINGTON  
AGENDA STATEMENT**

Item No. 15.C.  
For Meeting of: March 5, 2024

**ITEM TITLE:** Distribution of the Complete Record for the closed hearing of Plat of Champions Park Phase 1 (PLP#002-23)

**SUBMITTED BY:** Joan Davenport, AICP, Community Development Director  
Connor Kennedy, Assistant Planner

**SUMMARY EXPLANATION:**

The complete record for the closed hearing of the preliminary long plat of Champions Park Phase 1 is being distributed to City Council members in this agenda packet. Please bring these materials to the public hearing which will take place on March 19, 2024.

**ITEM BUDGETED:** NA

**STRATEGIC PRIORITY:** Neighborhood and Community Building

**APPROVED FOR SUBMITTAL BY THE CITY MANAGER**

**RECOMMENDATION:**

**ATTACHMENTS:**

Description	Upload Date	Type
Complete Record_PLP#002-23	2/26/2024	Backup Material



**PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS  
PARK PHASE 1"  
PLP#002-23, CL2#038-23, SEPA#011-23**

**Yakima City Council  
Closed Record Public Hearing  
March 19, 2024**

**EXHIBIT LIST**

Applicant:	HLA Engineering & Surveying Inc. – Mike Heit
File Numbers:	PLP#002-23, CL2#038-23, SEPA#011-23
Site Address:	4607 & 4701 Lower Ahtanum Rd
Staff Contact:	Connor Kennedy, Assistant Planner

**Table of Contents**

CHAPTER AA	Hearing Examiner's Recommendation
CHAPTER A	Staff Report
CHAPTER B	Maps
CHAPTER C	Site Plan
CHAPTER D	DST Review & Agency Comments
CHAPTER E	Applications
CHAPTER F	Public Notices
CHAPTER G	Public/Agency Comments

[illegible]

# CITY OF YAKIMA, WASHINGTON

## HEARING EXAMINER'S RECOMMENDATION

January 25, 2024

<p><b>In the Matter of a Preliminary Long Plat</b> )</p> <p><b>Application Submitted by:</b> )</p> <p> )</p> <p><b>Prickly Pear Holdings, LLC</b> )</p> <p> )</p> <p><b>For a 93-Lot Single-Family Residential</b> )</p> <p><b>Preliminary Long Plat on 21.06 Acres</b> )</p> <p><b>To Include Common Wall Dwellings on</b> )</p> <p><b>46 of the Lots to be Located in the Vicinity</b> )</p> <p><b>Of 4607 &amp; 4701 Ahtanum Road within the</b> )</p> <p><b>R-1 &amp; R-2 Zoning Districts to be known</b> )</p> <p><b>As the "Plat of Champions Park Phase 1"</b> )</p>	<p><b>PLP#002-23</b></p> <p><b>CL2#038-23</b></p> <p><b>SEPA#011-23</b></p>
--	---

**A. Introduction.** The preliminary findings relative to the hearing process for this matter are as follows:

(1) The Hearing Examiner conducted an open record public hearing for this application on January 11, 2024.

(2) The Planning Division staff report presented by Assistant Planner Connor Kennedy recommended approval subject to conditions of this application for a 93-lot single-family residential preliminary long plat with 46 of the lots having attached single-family common wall dwellings located on them. The applicant's representative for this application who testified at the hearing, Colleda Monick of HLA Engineering and Land Surveying, Inc., presented testimony in favor of the approval of the proposed preliminary plat that has lots for 47 detached single-family dwellings and for 46 Class (2) attached single-family common wall dwellings.

Prickly Pear Holdings, LLC  
 "Plat of Champions Park Phase 1"  
 Vicinity of 4607 & 4701 Ahtanum Rd.  
 PLP#002-23/CL2#038-23/SEPA#011-23

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(3) Written comments were submitted prior to the hearing by the City's Development Services Team, the Nob Hill Water Association, the Ahtanum Irrigation District, the Washington State Department of Ecology and the Washington State Department of Transportation Aviation Division.

(4) No other testimony or written comments were submitted at or before the open record public hearing. This Recommendation has been submitted to the Planning Division within 10 business days of the public hearing.

**B. Summary of Recommendation.** The Hearing Examiner recommends that the City Council approve this proposed 93-lot single-family residential Preliminary "Plat of Champions Park Phase 1" with 46 of the lots to have attached single-family common wall dwellings located on them, subject to conditions.

**C. Basis for Recommendation.** Based on a view of the site with no one else present on January 10, 2024; the staff report, exhibits, testimony and other evidence presented at the open record public hearing conducted on January 11, 2024; and a consideration of the applicable subdivision requirements, zoning ordinance requirements, development standards and consistency criteria; the Hearing Examiner makes the following:

## **FINDINGS**

**I. Applicant, Property Owner and Representative.** The applicant/property owner is Prickly Pear Holdings, LLC, 2550 Borton Road, Yakima, WA 98903. The representative of the applicant/property owner for this proposal who testified at the hearing is Colleda Monick of HLA Engineering and Land Surveying, Inc., 2803 River Road, Yakima, WA 98902.

Prickly Pear Holdings, LLC  
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**II. Location.** The location of the proposed preliminary plat is north of Ahtanum Road in the vicinity of 4607 and 4701 Ahtanum Road east of South 52<sup>nd</sup> Avenue. The Yakima County Assessor's Parcel Numbers of the site are 181204-13016 and 181204-13018.

**III. Applications.** The application for a 21.06-acre 93-lot Preliminary Long Plat (PLP) was received on October 9, 2023, and deemed complete for processing on November 7, 2023. The Preliminary Long Plat application and related applications for Type (2) Review to allow Class (2) attached single-family common wall dwellings to be located on 46 of the lots and for State Environmental Policy Act (SEPA) Review are being processed under Yakima Municipal Code (YMC) Chapter 14.20 for Subdivision Review, Chapter 15.14 for Type (2) Review and Chapter 6.88 for SEPA Review.

**IV. Jurisdiction.** YMC §14.3.080 and §14.20.100 provide that the Hearing Examiner shall hold a public hearing and submit a recommendation to the City Council regarding preliminary long plats which shall include findings and conclusions based on the record relative to the subdivision criteria listed in YMC §14.20.100(A) and in RCW Chapter 58.17. Some of the proposed 46 attached single-family common wall dwellings are located in the portion of the proposed preliminary plat which is zoned Two-Family Residential (R-2) where they are Class (1) permitted uses. But some of them are also located in the portion of the proposed preliminary plat which is zoned Single-Family Residential (R-1) where they are designated as Class (2) generally permitted uses subject to Type (2) Administrative Review. These uses are described as "Attached Single-Family Dwelling, Common Wall" in Table 4-1 of YMC §15.04.030. YMC §15.05.020

Prickly Pear Holdings, LLC  
 "Plat of Champions Park Phase 1"  
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defines such uses as two single-family dwellings that are attached, but with each dwelling unit located entirely on its own lot. YMC §15.02.020 defines the word “attached” in the case of single-family dwellings as two dwellings connected by a common vertical wall. YMC §1.43.100, YMC 16.03.010(B-D) and YMC 15.04.020(E) provide that applications such as applications for Type (2) Review of Class (2) uses may be consolidated with related applications to be considered under the highest level of review of the applications. In this case the highest level of review requires a recommendation to the Yakima City Council regarding both the proposed preliminary plat and the proposed Class (2) attached single-family common wall dwellings so that the City Council can make the final decision relative to both of the applications.

**V. Notices.** A Notice of Public Hearing for a Preliminary Long Plat (PLP#002-23), Type (2) Review of Class (2) common wall dwellings (CL2#038-23) and State Environmental Policy Act Review (SEPA#011-23) was provided by posting a Land Use Action Sign on the property on November 10, 2023; by mailing said Notice to the applicant, SEPA agencies and adjoining property owners within 300 feet of the subject parcel on December 13, 2023; and by publishing said Notice in the Yakima Herald-Republic also on December 13, 2023. No comments from neighbors or other members of the general public were received prior to or during the hearing.

**VI. Comprehensive Plan.** The site of the proposed Preliminary “Plat of Champions Park Phase 1” is located both within the Low Density Residential designation and the Mixed Residential designation of the Comprehensive Plan. Those designations

Prickly Pear Holdings, LLC  
 “Plat of Champions Park Phase 1”  
 Vicinity of 4607 & 4701 Ahtanum Rd.  
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respectively provide areas for low density residential uses and areas for a mixture of housing types and densities. The following goals and policies apply to this proposal:

Goal 2.2: Provide a mix of land use designations consistent with the community's vision.

Policy 2.2.1: Low density residential – this designation provides for low density residential development. Single-family detached dwellings are the predominant dwelling type. Other dwelling types may be allowed under certain circumstances, such as accessory dwellings and cottage housing. The permitted density is up to seven net dwelling units per acre for infill development. On larger sites (over two acres), more flexibility in lot sizes and layout are envisioned, provided overall density standards are met. Permitted maximum densities on large sites is up to seven gross dwelling units per acre. Density bonuses allowing up to six gross dwelling units may be allowed subject to conformance with traditional neighborhood design concepts.

Goal 2.3: Preserve and enhance the quality, character, and function of Yakima's residential neighborhoods.

Policy 2.3.1: Provide for a wide variety of housing types within the city to meet the full range of housing needs for Yakima's evolving population.

Policy 2.3.2: Preserve and enhance established residential neighborhoods. Specifically: (A) Ensure that new development is compatible in scale, density, and aesthetic quality to an established neighborhood.

**VII. Zoning and Land Use.** The 21.06-acre site is located within the Single-Family Residential (R-1) zoning district and the Two-Family Residential (R-2) zoning district. It is currently vacant. The main purpose of the Yakima Urban Area Zoning Ordinance (UAZO) in Title 15 of the Yakima Municipal Code (YMC) is to implement the Yakima Urban Area Comprehensive Plan and promote the general health, safety and welfare of the present and future inhabitants of the Yakima Urban Area. YMC §15.03.020(B)

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provides that the purpose and intent of the Single-Family Residential (R-1) zoning district is to:

(1) Establish new residential neighborhoods for detached single-family dwellings free from other uses except those which are compatible with, and serve the residents of, this district, which may include duplexes and zero lot lines if established during the subdivision process; and

(2) Preserve existing residential neighborhoods for detached single-family dwellings free from other uses to ensure the preservation of the existing residential character, and serve the residents of this district; and

(3) Locate moderate-density residential development, up to seven dwelling units per net residential acre, in areas served by public water and sewer system.

(4) Detached single-family dwellings are the primary use in this district. The district is characterized by up to sixty percent lot coverage; access to individual lots by local access streets; required front, rear and side yard setbacks; and one- and two-story structures. The density in the district is generally seven dwelling units per net residential acre or less.

(5) This zone is intended to afford single-family neighborhoods the highest level of protection from encroachment by potentially incompatible nonresidential land uses or impacts. Nonresidential uses within these zones are not allowed; except for public or quasi-public uses, which will be required to undergo extensive public review and will have all necessary performance or design standards assigned to them as necessary to mitigate potential impacts to adjacent residences.

(6) Duplex and multifamily development up to seven dwelling units per net residential acre may be allowed in accordance with YMC Chapter 15.04, Table 4-1.

Relative to the Two-Family Residential (R-2) zoning district, YMC §15.03.020(C) states that the purpose and intent of the R-2 zoning district is to:

(1) Establish and preserve residential neighborhoods for detached single-family dwellings, duplexes and other uses compatible with the intent of this district; and

(2) Locate residential development with densities up to twelve dwelling units per net residential acre in areas receiving a full range of public services including public water and sewer service, and police and fire protection.

Prickly Pear Holdings, LLC  
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(3) The district is characterized by up to sixty percent lot coverage, access via local access streets and collectors, one- and two-story buildings, some clustering of units, and required front, rear and side yard setbacks. Typical uses in this district are single-family dwellings and duplexes. The density in this district generally ranges from seven to twelve dwelling units per net residential acre. However, development up to eighteen dwelling units per net residential acre may be allowed in accordance with YMC Chapter 15.04, Table 4-1.

(4) The zoning and the land uses of the surrounding properties are as follows:

<i>Direction</i>	<i>Zoning</i>	<i>Land Use</i>
North	R-2	Undeveloped
South	R-2 (County), R-1	Residential
East	R-1, R-1 (County)	Undeveloped, Residential
West	R-1 (County)	Residential

**VIII. Environmental Review.** This application was required to undergo SEPA State Environmental Policy Act review because it proposes to subdivide the property into more than 30 single-family lots. Notice was mailed on November 17, 2023, and the public comment period ended on December 1, 2023. No comments from neighbors or the general public were received, but comments from several public agencies will be set forth in this Recommendation. A SEPA Determination of Nonsignificance (DNS) was issued for this proposal by the City's SEPA Responsible Official on December 13, 2023, which was not appealed.

**IX. Transportation Concurrency Ordinance.** The applicant applied for Transportation Concurrency (TCO#008-23) on October 9, 2023, and this proposal was approved for Concurrency on January 4, 2024, after Engineering coordinated with Yakima County regarding traffic data for County arterial streets. The development will

Prickly Pear Holdings, LLC  
 "Plat of Champions Park Phase 1"  
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not exceed the PM peak hour capacity of the City arterial system, and reserve capacity exists on all impacted arterial streets.

**X. Written Comments.** The following written comments were submitted by the City of Yakima Development Services Team which met on November 14, 2023, and also by the Nob Hill Water Association, the Ahtanum Irrigation District, the Washington State Department of Ecology and the Washington State Department of Transportation Aviation Division.

**(1) Code Administration:** The City of Yakima Code Administration comments were as follows:

(a) Pursuant to the Chapter 5 of the Washington State Fire Code (WSFC), publicly available fire hydrants will be required along streets spaced at intervals that will provide required fire flow coverage for proposed structures pursuant to WSFC Appendix C.

(b) Required items such as, but not limited to, fire department apparatus access roads, turnarounds, hammerheads, sanitary sewer systems, fire hydrants or other fire/life/safety site improvements shall be installed and approved prior to final plat approval.

(c) Bonding (if applicable) in lieu of required improvements is subject to approval of the City Engineer.

(d) These findings are not intended to be an exhaustive review of this proposal.

(e) All addresses shall be clearly shown on the face of the Final Plat (RCW 58.17.280). Additionally, a note shall be shown on the face of the Final Plat stating: "The addresses shown on this plat are accurate as of the date of recording, but may be subject to change. The City of Yakima Code Administration Division is responsible for the confirmation or reassignment of addresses at the time of building permit issuance." The following addresses shall be utilized for the created lots:

Prickly Pear Holdings, LLC  
 "Plat of Champions Park Phase 1"  
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Lot 1	2533 S 47th Ave	Lot 29	4701 W Larch Ave / 2400 S 47th Ave	Lot 57	4700 W Oak Ave / 2500 S 47th Ave	Lot 84	2407 S 47th Ave
Lot 2	2531 S 47th Ave	Lot 30	4703 W Larch Ave	Lot 58	4701 W Oak Ave / 2406 S 47th Ave / 4700 Woolsey Rd	Lot 85	2405 S 47th Ave
Lot 3	2529 S 47th Ave	Lot 31	4705 W Larch Ave	Lot 59	4703 W Oak Ave / 4702 Woolsey Rd	Lot 1-86	4608 W Larch Ave / 2403 S 47th Ave
Lot 4	2527 S 47th Ave	Lot 32	4707 W Larch Ave	Lot 60	4705 W Oak Ave / 4704 Woolsey Rd	Lot 1-87	4606 W Larch Ave
Lot 5	2525 S 47th Ave	Lot 33	4709 W Larch Ave	Lot 61	4707 W Oak Ave / 4706 Woolsey Rd	Lot 1-88	4604 W Larch Ave
Lot 6	2523 S 47th Ave	Lot 34	4801 W Larch Ave	Lot 62	4709 W Oak Ave / 4708 Woolsey Rd	Lot 1-89	4602 W Larch Ave
Lot 7	2521 S 47th Ave	Lot 35	4803 W Larch Ave	Lot 63	4801 W Oak Ave / 4800 Woolsey Rd	Lot 1-90	4601 W Oak Ave
Lot 8	2519 S 47th Ave	Lot 36	4805 W Larch Ave	Lot 64	4803 W Oak Ave / 4802 Woolsey Rd	Lot 1-91	4603 W Oak Ave
Lot 9	2517 S 47th Ave	Lot 37	4807 W Larch Ave	Lot 65	4805 W Oak Ave / 4804 Woolsey Rd	Lot 1-92	4605 W Oak Ave
Lot 10	2515 S 47th Ave	Lot 38	4809 W Larch Ave	Lot 66	4807 W Oak Ave / 4806 Woolsey Rd	Lot 1-93	4607 W Oak Ave / 2409 S 47th Ave
Lot 11	2513 S 47th Ave	Lot 39	4811 W Larch Ave / 4901 Woolsey Rd	Lot 67	4809 W Oak Ave / 4808 Woolsey Rd		
Lot 12	2511 S 47th Ave	Lot 40	4824 W Oak Ave / 4900 Woolsey Rd	Lot 68	4811 W Oak Ave / 4810 Woolsey Rd		
Lot 13	2509 S 47th Ave	Lot 41	4822 W Oak Ave	Lot 69	4813 W Oak Ave / 4812 Woolsey Rd		
Lot 14	2507 S 47th Ave	Lot 42	4820 W Oak Ave	Lot 70	4804 W Larch Ave / 4803 Woolsey Rd		
Lot 15	2505 S 47th Ave	Lot 43	4818 W Oak Ave	Lot 71	4802 W Larch Ave		
Lot 16	2503 S 47th Ave	Lot 44	4816 W Oak Ave	Lot 72	4800 W Larch Ave		
Lot 17	2501 S 47th Ave / 4612 W Oak Ave	Lot 45	4814 W Oak Ave	Lot 73	4801 Woolsey Rd		
Lot 18	4610 W Oak Ave	Lot 46	4812 W Oak Ave	Lot 74	4709 Woolsey Rd		
Lot 19	4608 W Oak Ave	Lot 47	4810 W Oak Ave	Lot 75	4708 W Larch Ave		
Lot 20	4606 W Oak Ave	Lot 48	4808 W Oak Ave	Lot 76	4706 W Larch Ave		

Prickly Pear Holdings, LLC  
 "Plat of Champions Park Phase 1"  
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Lot 21	4604 W Oak Ave	Lot 49	4806 W Oak Ave	Lot 77	4707 Woolsey Rd	
Lot 22	4602 W Oak Ave	Lot 50	4804 W Oak Ave	Lot 78	4705 Woolsey Rd	
Lot 23	4600 W Oak Ave / 4600 Woolsey Rd	Lot 51	4802 W Oak Ave	Lot 79	4704 W Larch Ave	
Lot 24	4601 W Larch Ave / 4601 Woolsey Rd	Lot 52	4800 W Oak Ave	Lot 80	4702 W Larch Ave	
Lot 25	4603 W Larch Ave	Lot 53	4708 W Oak Ave	Lot 81	4703 Woolsey Rd	
Lot 26	4605 W Larch Ave	Lot 54	4706 W Oak Ave	Lot 82	4701 Woolsey Rd / 2404 S 47th Ave	
Lot 27	4609 W Larch Ave	Lot 55	4704 W Oak Ave	Lot 83	4700 W Larch Ave / 2402 S 47th Ave	
Lot 28	4611 W Larch Ave / 2401 S 47th Ave	Lot 56	4702 W Oak Ave			

**(2) Engineering:** This project proposes that 21.06 acres be developed into 93 new single-family lots, including 46 common wall dwellings at 4607 & 4701 Lower Ahtanum Rd., also known as “Plat of Champions Park Phase 1.” The property currently is two vacant parcels. The proposed development will cause increased pedestrian and vehicle traffic without adequate safety precautions for pedestrians. The proposed development has the potential for more frequent trips in and out of the property. Current frontage infrastructure is not adequate enough to handle the new proposed 93 single-family lots, including 46 common wall dwellings. In order to alleviate the resulting impacts from the change in use proposal, the City is requiring the following improvements:

(a) YMC 8.60 and 12.05 – New curb, gutter, ADA ramps and 5-foot sidewalk, including associated storm drainage, shall be installed. Street improvements shall conform to standard detail R3. New sidewalks shall be constructed per standard detail R5.

(b) YMC 8.64 and 15.06.065 – Residential driveway approaches are required which meet the requirements of this chapter and standard detail R4. Driveway width shall be a maximum of 20 feet.

(c) YMC 12.06.020 – Right-of-way – Applicant shall determine adequate dedication of right-of-way for all new/proposed roads.

(d) YMC 15.05.040 – Clear vision triangles shall be maintained per this chapter.

Prickly Pear Holdings, LLC  
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(e) YMC 12.06.080 – Street lighting – Street lights shall be installed per this chapter.

(f) YMC 12.02 – Easements shall be established and maintained per this chapter.

(g) YMC 8.72 – An excavation and street break permit shall be obtained for all work within the public right-of-way.

An ENG permit is required for all civil work to be performed on site. Professional engineered civil plans with PE stamp shall be submitted for review and approval. All improvements shall be completed prior to Certificate of Occupancy. Traffic generated from development is proposed to enter/exit the Arterial Street System on the County roads of Ahtanum Road and Washington Avenue.

**(3) Surface Water:** Surface water commented that this large project will require a SWPPP Permit for construction activities. Prior to any grading, a stormwater pollution prevention plan shall be submitted for approval to the Surface Water Engineer, and all temporary erosion and sediment control measures shall be in place and be inspected by the City. For the long plat itself I have no comments.

**(4) Wastewater:** Sewer will need to be extended on site per City of Yakima Title 12 requirements and Engineering standard details.

**(5) Nob Hill Water Association:** Nob Hill Water Association has the capacity to serve a long plat in this area. Engineered drawings will need to be submitted to Nob Hill Water in order for the new water infrastructure to be designed and installed by Nob Hill Water.

**(6) Ahtanum Irrigation District:** The above parcels have no surface water rights established in the Final Decree (2019), the Conditional Final Order Subbasin No. 23 (Ahtanum) (2019), and the Final Schedule of Rights dated May 9, 2019 in State of Washington. Dept. of Ecology v. Acquavella, et al (2019). No irrigation water will be provided by our District to these parcels. However, our Board must sign off on the plat for this subdivision. The surveyor will need to provide us with the original Mylar, *as well as one copy*, for District signature. As our Board meets once per month, please telephone in advance for meeting dates to avoid delays. If any further information is required, you can contact us at (509) 249-0226.

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**(7) Department of Ecology (DOE):** DOE water resources comments regarding the proposed Preliminary Plat of Champions Park Phase 1 were as follows:

(a) Dust Control from a Well: If you plan to use water for dust suppression at your project site, be sure that you have a legal right. In Washington State, prospective water users must obtain authorization from the Department of Ecology before diverting surface water or withdrawing ground water, with one exception. Ground water withdrawals of up to 5,000 gallons per day used for single or group domestic supply, up to 5,000 gallons per day used for industrial purposes, stock watering, and for the irrigation of up to one-half acre of non-commercial lawn and garden are exempt from the permitting process. Water use under the RCW 90.44.050 exemption establishes a water right that is subject to the same privileges, restrictions, laws and regulations as a water right permit or certificate obtained directly from Ecology. Temporary permits may be obtainable in a short time-period. The concern of Water Resources is for existing water rights. In some instances water may need to be obtained from a different area and hauled in or from an existing water right holder. If you have any questions or would like to respond to these Water Resources comments, please contact Christopher Kossik at 509-379-1826 or email at [christopher.kossik@ecy.wa.gov](mailto:christopher.kossik@ecy.wa.gov).

(b) Dam Safety Office: Under RCW 90.03.350, a Dam Safety construction permit is required for those dams or ponds that can impound a volume of 10 acre-feet or more of water or other liquids above ground level. The Prickly Pear Holdings LLC "Plat of Champions Park Phase 1" development references the construction of stormwater facilities, if this includes a stormwater pond(s) that can meet or exceed the above referenced criteria, you will need to apply for a dam construction permit. To determine if a Dam Safety construction permit is required for your project, the applicant must submit a set of construction plans to: WA Department of Ecology, Dam Safety Office, P.O. Box 47600, Olympia, WA 98504-7600. The construction permit application can be found by entering the following link into your search engine: <https://apps.ecology.wa.gov/publications/summarypages/ecy07038.html>. For additional information, please contact Charlotte Lattimore by e-mail at [clat461@ecy.wa.gov](mailto:clat461@ecy.wa.gov) or by telephone at 360-407-6066.

**(8) WSDOT Aviation Division:** The documentation for this proposal was reviewed on November 27, 2023, and December 20, 2023. This development is within Land Use Compatibility Zone 6 for the Yakima Air Terminal in which this type of project is permitted. Due to the proximity to the Yakima Air Terminal Airport, it is

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recommended that a real estate disclosure about the airport be required for all sales of homes within this site to notify individuals that they are in close proximity to the airport (1.2 miles) and may be exposed to aircraft noise and overflights of the property.

**XI. Applicable Subdivision Ordinance and Statutory Provisions.** Applicable subdivision ordinance and statutory provisions are as follows:

(1) YMC §15.05.030(A): Creation of new lots – Subdivision requirements: Table of Subdivision Requirements: The YMC §15.05.030(A) Table establishes basic development criteria for lot size and width that must be met when reviewing an application for a new subdivision. For detached single-family dwelling construction in the R-2 zoning district, the required minimum lot size is 6,000 square feet.

(2) YMC §15.30.040: Airport Safety Overlay Zones: The subject property is located in Zone 6 of the Airport Safety Overlay, and per YMC §15.30.060, detached single-family dwellings are Class (1) uses.

(3) YMC §15.30.050: Height Limitation: Height Limitation 2 (AOD Zone 6): No building within this zone shall exceed thirty-five feet above the ground. Any building proposed to exceed this height must undergo further review by the airport manager and the FAA. The administrative official may require lights or markers as a warning to aircraft on any buildings, structures, communication towers, uses, or trees, or the topping of any trees to reduce their height, when recommended by the FAA, WSDOT Aviation Division or the airport manager. Lights and markers shall meet FAA specifications. Whenever the height limitations of this section differ from those of any other section of this chapter, or that adopted by another local ordinance or regulation, the more restrictive limitation shall apply.

(4) YMC §15.05.055(1): New development improvement standards: Fire apparatus access roads for one-, two- or multiple-family residential developments shall be subject to the provisions of Sections D106 and D107, respectively, of Appendix D of the applicable International Fire Code. Additionally, such residential developments shall be subject to the requirements of Section D105 of Appendix D of the applicable International Fire Code pertaining to aerial fire apparatus roads, as applicable. All other applicable provisions of the International Fire Code, as now existing or as hereafter amended and adopted by the City, are required. Minimum requirements for the primary and secondary access will be at least twenty feet wide, unobstructed, paved lanes.

(5) YMC §12.02.010: Establishment of easements: Public utility easements shall be established for the location of new and proposed public utility lines serving new land divisions and land development. Public utility easements shall also be established across the front of new lots and redeveloped lots to provide future utility access as determined necessary by the City Engineer. Public utility easements shall be dedicated (granted) at the time that subdivision and/or land use approval is granted.

(6) YMC §12.02.020: Easement location and width: Eight-foot-wide utility easements shall be dedicated along the front of each lot in subdivisions and short subdivisions. Easements for new and/or future utility lines shall be a minimum of eight feet in width, or twice the buried depth of the utility, whichever is greater.

(7) YMC §12.03.010: Sewer service required: Pursuant to YMC §12.03.010, all new lots and development shall be served by a sanitary sewer line located adjacent to the lot or development site.

(8) YMC §12.03.040: Minimum sewer size: The minimum size for public sewer lines is eight inches in diameter.

(9) YMC §12.03.070: Side sewer service: Each building containing sanitary facilities shall be served by a separate private side sewer line from a public main. Branched side sewers serving multiple buildings and properties shall not be permitted. Single side sewers serving multi-unit buildings are permitted.

(10) YMC §12.03.090: Gravity flow required: Sewer lines shall be designed for gravity flow operation. Lift stations and force mains (pressurized lines) shall be limited to those locations and circumstances where they are consistent with the comprehensive sewer plan and are the preferable short-term solution to service the development site and other properties in the vicinity.

(11) YMC §12.04.010: Water service required: All new lots and development shall be served by a public water supply line maintained by the City of Yakima, Nob Hill Water Company [Association], or other water purveyor, and located adjacent to the lot or development site. The water line shall be capable of providing sufficient flow and pressure to satisfy the fire flow and domestic service requirements of the proposed lots and development as approved by the City Engineer in cooperation with the Code Administration Manager and Water Irrigation Division Manager.

(12) YMC §12.04.020: Water line extension required: Water lines shall be extended to the point where the adjoining property owner's responsibility for further

extension begins. This typically requires extension across the street or easement frontage of the developing property. In some cases it will require dedication of an easement and a line extension across the property or extension along two or more sides of the developing property. Extensions will be consistent with and implement the City's adopted water comprehensive plan.

(13) YMC §12.04.040: Minimum size and material standards: New water lines in the City of Yakima water system shall be constructed of Class 52 ductile iron and shall be a minimum of eight inches in diameter. Improvements and additions to the Nob Hill Water Company [Association] system shall conform to the requirements of Nob Hill Water Company [Association].

(14) YMC §12.05.010: Sidewalk installation required: Sidewalks shall be installed along both sides of all new, improved and reconstructed streets. Projects which repair small portions of or maintain existing street shall not be considered "improvement" for the purpose of this section and shall not trigger the requirements of this section. Sidewalks shall also be installed across the frontage of all newly developed or redeveloped lots where feasible.

(15) YMC §12.06.010: Street types, functional classification: The Yakima Urban Area Comprehensive Plan, and/or the West Valley Neighborhood Plan, designates the functional classification of the principal arterial, minor arterial and collector streets and establishes their functional classification. All other streets are classified as local residential access.

(16) YMC §12.06.030: Design standards, adjustment of standards: Final design of street improvements is subject to approval by the City Engineer. The City Engineer, at his discretion, is authorized to adjust these standards as necessary to facilitate the construction of new streets and improvement of existing streets. Projects which repair small portions of or maintain existing streets shall not be considered "improvements" for the purposes of this section.

(17) YMC §12.06.070: Provision of street curbing: Barrier curbs shall be installed along all public streets. Rolled mountable curbs may be permitted along residential access streets. Curb design shall be consistent with the standards of the City Engineer.

(18) YMC §12.06.080: Street lighting: A street light shall be installed at each street intersection and at midblock if the block exceeds five hundred feet in length. Street lights shall meet the design and placement standards of the City Engineer. Lighting

improvements shall become the property of the City of Yakima upon installation and will thereafter be maintained by the City.

(19) YMC §14.05.200(A-B): Allowance of bond in lieu of actual construction of improvements prior to approval of short plat or final plat: The subdivision or short subdivision applicant may, as an alternative to actual construction of any required improvements, provide a surety bond or other secure method providing for and securing to the City the actual construction of required improvements within a specified period of time and expressed in a bond or other appropriate instrument establishing such security. Any bond or other method of securing actual construction of required improvements shall specify the improvements covered and the schedule for completion. In cases of subdivision, the bond or other method of securing actual construction of required improvements shall be subject to approval by the City Engineer and City Attorney prior to approval of the final plat by the City Council. In cases of short subdivisions, the bond or other method of securing actual construction of required improvements shall be subject to approval by the City Engineer and City Attorney prior to approval of the final short plat by the Administrator. In no case shall the amount of the bond or other method of securing actual construction of required improvements be less than one hundred ten percent of the estimated actual cost of the improvements based upon the approved civil engineering design of the required improvements.

(20) RCW 58.17.110(1), YMC §14.20.100(A) and YMC §14.20.120(A): The city, town, or county legislative body shall inquire into the public use and interest proposed to be served by the establishment of the subdivision and dedication. It shall determine (a) if appropriate provisions are made for, but not limited to, the public health, safety and general welfare and for open spaces, drainage ways, streets or roads, alleys, other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and schoolgrounds, sidewalks, and other planning features that assure safe walking conditions for students who walk to and from school; and (b) whether the public interest will be served by the subdivision and dedication.

**XII. Applicable Type (2) Review Ordinance Provisions.** Applicable Ordinance provisions relative to Type (2) Review of Class (2) uses are as follows:

(1) Class (2) Land Use Defined: Pursuant to YMC §15.04.020(B), “Class (2) uses are generally permitted in the district. However, the compatibility between a Class

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(2) use and the surrounding environment cannot be determined in advance, and occasionally a Class (2) use may be incompatible at a particular location. Therefore, a Type (2) review by the administrative official is required in order to promote compatibility with the intent and character of the district and the policies and development criteria of the Yakima Urban Area Comprehensive Plan. The procedures in YMC Ch. 15.14 shall be used to review and evaluate Class (1) uses that require a Type (2) review process.”

(2) Type (2) Review: Pursuant to YMC §15.14.020, Type (2) Review is required for any proposed use shown on Table 4-1 as a Class (2) use, for Class (1) uses requiring Type (2) review in YMC 15.13.020; and for other specific reviews established by this title.

**XIII. Preliminary Plat Findings.** YMC §14.20.100(A) provides that the Hearing Examiner shall consider a proposed preliminary plat during an open record public hearing to inquire into and determine whether the following standards and criteria are satisfied:

**(1) Subsection 14.20.100(A)(1) – Consistency with the City’s Urban Area Zoning Ordinance Intent, Design, Improvement and Development Provisions Applicable to the R-1 and R-2 Zoning Districts.** A determination of consistency with the City’s Urban Area Zoning Ordinance intent, design, improvement and development provisions applicable to the R-1 and R-2 zoning districts involves a consideration of the following provisions of Title 15 and Title 12 of the Yakima Municipal Code (YMC):

(a) Consistency with the Intent of the Single-Family Residential (R-1) and Two-Family Residential (R-2) Zoning Districts: YMC §15.03.020(B) and YMC §15.03.020(C) indicate that the intent of both the R-1 and R-2 zoning districts is in part to establish and preserve residential neighborhoods for detached single-family dwellings, duplexes and other uses that are compatible with the district.

(b) Consistency with Design, Improvement and Development Provisions Applicable to the Single-Family Residential (R-1) and Two-Family Residential (R-2) Zoning Districts: YMC Chapter 15.05 establishes certain basic development requirements. These are the minimum criteria that must be met to assure land use compatibility and promote the public health, safety and welfare. The proposed

development meets the requirements applicable in the R-1 and R-2 zoning districts as follows:

(i) *Minimum Lot Size*: The proposed lots which range in size from 3,718 square feet to 30,746 square feet will meet the minimum lot sizes required by Table 5-1 of YMC Chapter 15.05 for both the detached single-family residential dwellings as well as the attached single-family common wall dwellings.

(ii) *Minimum Lot Width*: All of the lots will meet or exceed the minimum lot width of 50 feet prescribed for detached single-family dwellings and attached single-family common wall dwellings in the R-1 zoning district and the minimum lot width of 35 feet prescribed for attached single-family common wall dwellings in the R-2 zoning district by Table 5-2 of YMC Chapter 15.05.

(iii) *Maximum Lot Coverage*: The maximum lot coverage is the percentage of net land area of a site that can be covered with structures and other impervious surfaces. In the R-1 and R-2 zoning districts, the maximum lot coverage is 60%. All lots within the proposed preliminary plat have sufficient lot area to comply with this development standard.

(iv) *Structure Setbacks*: In the residential zoning districts, structure setbacks are intended to provide light, air and emergency access. All lots in the proposed preliminary plat have sufficient area to meet the setback requirements specified by YMC Table 5-1 in YMC Chapter 15.05 for the R-1 and R-2 zoning districts which are as follows:

Location	From Centerline Of Right-of-Way	From Property Line
Front	45 feet	20 feet
Rear	N/A	15 feet
Side (internal)	N/A	5 feet
Side (street)	40 feet	10 feet

(v) *Maximum Building Height*: The maximum building height in the R-1 and R-2 zoning districts is 35 feet (YMC Chapter 15.05, Table 5-1). The property is entirely within Zone 6 of the Airport Safety Overlay (ASO)



which also limits the building height to 35 feet. The applicant's SEPA Environmental Policy Act Checklist states that the tallest structure will be no more than 35 feet in height so as to comply with both standards.

(vi) *Access*: All lots will have at least 20 feet of frontage upon a public street or be accessed by a minimum 20-foot-wide access easement in accordance with YMC §15.05.020(H).

(vii) *Sidewalk*: Curb, gutter and sidewalk will be constructed along all interior street frontages of the proposed preliminary plat as required by YMC §15.05.020(J).

(viii) *Density*: The proposed preliminary plat which divides 13.34 net residential acres not including streets into 93 residential lots will have a density of 6.97 dwelling units per net residential acre with streets excluded ( $581,223 \text{ square feet} \div 43,560 \text{ square feet} = 13.34 \text{ acres}$ ;  $93 \text{ dwelling units} \div 13.34 \text{ acres} = 6.97 \text{ dwelling units per net residential acre}$ ). This density complies with YMC §15.05.030(B) and YMC Table 4-1 of YMC Chapter 15.04 which allow up to 7 dwelling units per net residential acre in the R-1 zoning district and which allow up to 12 dwelling units per net residential acre in the R-2 zoning district as Class (1) and Class (2) uses.

(ix) *Street Right-of-Way/Dedication of Right-of-Way*: The internal local access streets connecting to Ahtanum Road on the south and connecting to South 52<sup>nd</sup> Avenue on the west all require the dedication of 50-foot-wide rights-of-way for the connecting streets and all of the streets within the subdivision which shall be improved with curb, gutter and a five-foot-wide sidewalk on both sides of the streets.

(x) *Frontage Improvements*: Curb, gutter, ADA ramps and sidewalk shall be installed along the lot frontages of internal streets in accordance with YMC 12.05.010. The street section shall conform to standard detail R3 and the new sidewalks shall be constructed per standard detail R5, in accordance with YMC Chapters 8.67 and 12.05. At a minimum, one street light shall be installed midblock where the street exceeds 500 feet in total length. Street lighting shall meet the design and placement standards of the City Engineer. Lighting improvements shall become the property of the City of Yakima upon installation and will thereafter be maintained by the City. Pursuant to YCC Chapter 8.72, an excavation and street break permit

shall be obtained for all work within the public right-of-way. Roads less than five years old can be cut, but will cost 150 percent of the restoration fee with no PCI discount.

(xi) *Wastewater*: A minimum sixteen foot easement shall be maintained over all public utility lines in accordance with YMC §12.02.010 and YMC §12.02.020. All lots within the subject plat shall be served by a separate side sewer line from a public main in accordance with YMC §12.03.070. Sewer is to be installed per the Yakima Municipal Code.

(xii) *Water*: The applicant shall extend potable water to the lots of the plat in accordance with YMC §12.04.010. Water is provided by the Nob Hill Water Association, and the preliminary plat displays water service across all street frontages to serve all lots.

(xiii) *Irrigation*: The subject parcel is located within the Ahtanum Irrigation District and therefore irrigation district approval is required upon the final plat.

(xiv) *Easements*: Easements are to be established in accordance with YMC §12.02.010 and YCC §12.02.020.

**(2) Subsection 14.20.100(A)(2) – Consistency with the provisions of the Comprehensive Plan.** The Future Land Use Map III-3 of the 2040 Yakima Urban Area Comprehensive Plan designates part of the property within the proposed preliminary plat as suitable for Low Density Residential development and part of the property as suitable for Mixed Residential development which may have a mixture of housing types and densities. As noted above, the proposed preliminary plat is consistent with the following Goals and Policies of the City's Comprehensive Plan:

(a) Goal 2.2: Provide a mix of land use designations consistent with the community's vision.

(b) Policy 2.2.1: Low density residential – this designation provides for low density residential development. Single-family detached dwellings are the predominant dwelling type. Other dwelling types may be allowed under certain circumstances, such as accessory dwellings and cottage housing. The permitted density is up to seven net dwelling units per acre for infill development. On larger sites (over two acres), more flexibility in lot sizes and layout are envisioned, provided overall density standards are met. Permitted maximum densities on large

sites is up to seven gross dwelling units per acre. Density bonuses allowing up to six gross dwelling units may be allowed subject to conformance with traditional neighborhood design concepts.

(c) Goal 2.3 which is to preserve and enhance the quality, character and function of Yakima's residential neighborhoods.

(d) Policy 2.3.1 which is to provide for a wide variety of housing types within the City to meet the full range of housing needs for Yakima's evolving population.

(c) Policy 2.3.2 which is to preserve and enhance established residential neighborhoods. Specifically: (A) Ensure that new development is compatible in scale, density and aesthetic quality to an established neighborhood.

**(3) Subsection 14.20.100(A)(3) – Consistency with the provisions of this title, Title 14 entitled “Subdivision Ordinance.”** As proposed and with the recommended conditions, this preliminary plat will meet all the design requirements in YMC Chapter 14.20 of the City's subdivision ordinance and in the City's Title 12 development standards. This review and the recommended conditions are intended to ensure consistency with the provisions of the City's subdivision ordinance as well as other applicable City ordinances.

**(4) Subsection 14.20.100(A)(4) – Appropriate provisions for enumerated features.** As proposed and with the recommended conditions, this 93-lot Preliminary “Plat of Champions Park Phase 1” will make appropriate provisions for the following features required by YMC §14.20.100(A)(4) and RCW 58.17.110:

(a) *Public health, safety, welfare:* The construction of new detached single-family dwellings and new attached single-family common wall dwellings will promote the public health, safety and general welfare insofar as there is a need in this community for additional housing and insofar as this proposed preliminary plat will be required to comply with all applicable City development standards, and all conditions of approval that will be specified by the City Council.

(b) *Open spaces:* The proposed lots are larger than the minimum lot sizes required in the R-1 and R-2 zoning districts for detached single-family dwellings and for attached single-family common wall dwellings. The 60% lot coverage limitation in the R-1 and R-2 zoning districts will provide adequate light and air

for future residents in accordance with the standards in the zoning ordinance without additional open spaces.

(c) *Drainage systems*: Drainage system facilities must be provided in accordance with state and local regulations, including the City of Yakima Municipal Code and the Eastern Washington Storm Water Manual.

(d) *Streets, alleys, and other public ways*: The subject property will have access from the south off of Ahtanum Road by way of South 47<sup>th</sup> Avenue and from the west off of South 52<sup>nd</sup> Avenue by way of Woolsey Road. New public interior streets (South 47<sup>th</sup> Avenue, West Larch Avenue, West Oak Avenue, and Woolsey Road) will provide adequate access to all lots.

(e) *Water supplies*: Public water is required to be used for domestic and fire flow purposes. Nob Hill Water Association water is available to the site.

(f) *Sanitary waste disposal*: Public sewer is required to service all lots within the subject development.

(g) *Parks and playgrounds*: Open space, parks, recreation and playgrounds are located about one mile away from this subdivision at SOZO Sports Complex and are also available at Randall Park. The lot coverage limitation also provides open space on the lots for recreation and play areas.

(h) *Sites for schools*: West Valley Middle Level Campus is located about 4.5 miles from this proposed subdivision, while Wide Hollow Elementary School is located about 4.9 miles from this proposed subdivision and West Valley High School is located approximately 5.6 miles from this proposed subdivision. No comments were submitted by the West Valley School District.

(i) *Sidewalks*: Sidewalks are required and shall be provided along this development's internal streets (South 47<sup>th</sup> Avenue, West Larch Avenue, West Oak Avenue and Woolsey Road).

(j) *Public Transit*: A Yakima Transit route exists along West Washington Avenue north of the subdivision.

(k) *Serves the public use and interest*: This proposed 93-lot residential subdivision is consistent with neighboring residential land uses, better serves the needs of the City than the present undeveloped status of the property and helps satisfy the need for additional housing within the City.

(1) *Time Limitation:* Upon preliminary plat approval, the applicant has five years from the date of preliminary plat approval to submit the final plat. If more time is needed, at least 30 days prior to the expiration of preliminary approval, the applicant must submit to the City Council a written request to extend the approval period for a maximum period of one additional year (YMC §14.20.160). Before the final plat can be recorded, all required infrastructure must either be engineered, completed and inspected or be engineered and financially secured, and approval of the final plat must be obtained from the City of Yakima Community Development Department.

**XIV. Type (2) Review Findings for the Proposed Class (2) Attached Single-Family Common Wall Dwellings.** Since YMC Table 4-1 in YMC §15.04.030 designates attached single-family common wall dwellings as a Class (2) use in the Single-Family Residential (R-1) zoning district where some of those dwellings are proposed to be located, the Hearing Examiner's findings and conclusions relative to those dwellings in the R-1 zoning district are required to include specific reasons and ordinance provisions demonstrating that they satisfy the following Class (2) use requirements set forth in YMC §15.04.020(B), §15.14.040(G), §15.02.020 and similar Type (3) Review criteria that are set forth in YMC §15.15.040(I):

**(1) Compliance and Compatibility with the Policies, Objectives and Development Standards of the Comprehensive Plan.** The Yakima Comprehensive Plan 2040 Land Use Element provides for the distribution of land uses meeting Yakima's needs for housing, employment, recreation, public facilities and other land uses in development patterns that support the City's vision for the future. The proposed attached single-family common wall dwellings would be compliant and compatible with the policies, objectives and development standards of the Comprehensive Plan which include Goals 2.2 and 2.3 and Policies 2.2.1, 2.3.1 and 2.3.2 set forth above in Section VI and in Subsection XIII(2) of this Recommendation.

**(2) Compliance and Compatibility with the Intent and Character of the Single-Family Residential (R-1) Zoning District.** The attached single-family common

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wall dwellings that are proposed to be located in the R-1 zoning district would be compliant and compatible with the intent of that zoning district set forth in YMC §15.03.020(B). That stated intent includes an intent to establish new residential neighborhoods free from other uses except those which are compatible with the district and serve the residents of the district. Attached single-family common wall dwellings are designated as Class (2) uses within the R-1 zoned portion of the preliminary plat. Class (2) uses are generally permitted within that zoning district. Attached single-family common wall dwellings would also be compliant and compatible with the character of the proposed preliminary plat because the adjacent portion of the proposed preliminary plat to the north that is located within the R-2 zoning district is also proposed to include attached single-family common wall dwellings. They are Class (1) permitted uses there.

**(3) Compliance with the Provisions and Standards Established in the Zoning Ordinance.** YMC Chapters 15.05 to 15.07 establish basic development requirements as minimum criteria which must be met to assure land use compatibility and promote the public health, safety, and welfare. The lots proposed for attached single-family common wall dwellings will be required to comply with all of the applicable development standards such as, for example, the following:

(a) Lot Size: All of the lots will comply with the minimum lot size requirement of 4,000 square feet for the proposed attached single-family common wall dwellings to be located in the R-1 zoning district where they are a Class (2) use and with the minimum lot size requirement of 3,500 square feet in the adjacent R-2 zoning district to the north where they are a Class (1) permitted use.

(b) Lot Coverage: The proposed attached single-family common wall dwellings will all comply with the 60% maximum lot coverage limitation applicable to both the R-1 and R-2 zoning districts.

(c) Setbacks: The proposed attached single-family common wall dwellings are required to comply with all applicable structure setbacks.

(d) Public Facilities: City of Yakima sewer and Nob Hill Water Association water are available to serve the attached single-family common wall dwellings.

(e) Frontage Improvements: Frontage improvements are required for the proposed preliminary plat.

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**XV. Consistency Analysis Conducted Pursuant to Subsection 16.06.020(B) of the Yakima Municipal Code.** The consistency analysis for this proposed Preliminary

“Plat of Champions Park Phase 1” is as follows:

(1) **The type of land use contemplated by the proposal** (a single-family residential development) is permitted on this site so long as it complies with the conditions imposed by the Yakima City Council, as well as the regulations of the zoning ordinance, subdivision ordinance, building codes and other applicable regulations. The proposed detached single-family dwellings and the proposed attached single-family common wall dwellings are both Class (1) permitted uses in the portion of the proposed preliminary plat that is zoned R-2, and the proposed attached single-family common wall dwellings are Class (2) generally permitted uses in the portion of the proposed preliminary plat that is zoned R-1.

(2) **The level of development** with the maximum lot coverage density of 60% and with lots that are larger than the minimum lot size requirements will not exceed the allowable level of development in the R-1 and R-2 zoning districts.

(3) **The availability and adequacy of infrastructure and public facilities** is not an issue because the additional infrastructure that will be provided at the applicant’s expense would ensure that adequate infrastructure and public facilities are available for the proposed preliminary long plat.

(4) **The character of the proposal, such as the proposal’s consistency with applicable development standards of the City’s Urban Area Zoning Ordinance,** primarily involves consideration of specific development standards relating to lot size, access, potable water, sewage disposal and other features of the proposed preliminary plat which have been discussed in detail above. With the recommended conditions, the proposed Preliminary “Plat of Champions Park Phase 1” with the proposed Class (1) and Class (2) single-family dwellings will be consistent with the development standards of applicable City ordinances.

**CONCLUSIONS**

Based on the foregoing Findings, the Hearing Examiner reaches the following conclusions:

Prickly Pear Holdings, LLC  
 “Plat of Champions Park Phase 1”  
 Vicinity of 4607 & 4701 Ahtanum Rd.  
 PLP#002-23/CL2#038-23/SEPA#011-23

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(1) The Hearing Examiner has jurisdiction to recommend to the Yakima City Council the approval of the proposed Preliminary "Plat of Champions Park Phase 1" with the proposed Class (1) and Class (2) single-family dwellings pursuant to YMC §1.43.080, YMC §14.20.100, YMC Chapter 15.14 and YMC Chapter 15.15.

(2) A SEPA Determination of Nonsignificance (DNS) was issued for this proposed preliminary plat on December 13, 2023, which became final without any appeal.

(3) Notices for the public hearing were given in accordance with applicable ordinance requirements.

(4) The proposed Preliminary "Plat of Champions Park Phase 1," with the proposed single-family dwellings and subject to all of the conditions detailed below, is in compliance with the applicable provisions of the City's 2040 Comprehensive Plan, zoning ordinance and subdivision ordinance; makes appropriate provisions for the public health, safety and general welfare and for open spaces, drainage ways, streets, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds and sidewalks; and, according to the weight of the evidence presented at the hearing, does not require that specific provisions be made for the other requisite plat considerations such as additional schools, additional schoolgrounds or additional planning features that assure safe walking conditions for students who walk to and from school; and said plat will serve the public use and interest.

(5) The proposed attached single-family common wall dwellings to be located on 46 of the 93 lots satisfy all of the criteria for their approval as Class (2) uses within the portion of the preliminary plat that is zoned Single-Family Residential (R-1).

(6) This proposed Preliminary "Plat of Champions Park Phase 1" with the proposed single-family dwellings is in compliance with all of the consistency requirements of Subsection 16.06.020(B) of the Yakima Municipal Code.

### **RECOMMENDATION**

The Hearing Examiner recommends to the Yakima City Council that the proposed 93-lot Preliminary "Plat of Champions Park Phase 1" dated October 6, 2023, to be developed with 47 detached single-family dwellings and 46 attached single-family common wall dwellings as is described in the application, the staff report, this

Prickly Pear Holdings, LLC  
 "Plat of Champions Park Phase 1"  
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Recommendation and the other related documents assigned file numbers PLP#002-23, CL2#038-23 and SEPA#011-23 be **APPROVED**, subject to compliance with the following conditions:

(A) Prior to approval of the final plat, all required improvements shall be constructed or financially secured according to the standards and requirements of the City Engineer and YMC Title 12;

(B) All lots shall be served with public water from the Nob Hill Water Association. No individual domestic or irrigation wells shall be permitted for any of the lots. Prior to final plat approval, written verification from the Nob Hill Water Association must be submitted to the Planning Division indicating that each lot within the plat has been served with domestic water and applicable fees have been paid;

(C) All lots shall be provided with public sewer service according to YMC Title 12 standards. Prior to final plat approval, written verification from the City of Yakima Engineering Department must be provided to the Planning Division indicating that all sewer extensions have been completed and inspected or financially secured;

(D) Eight-foot-wide utility easements shall be dedicated along the front of each lot in subdivisions and short subdivisions. Easements for new and/or future utility lines shall be a minimum eight feet in width or twice the buried depth of the utility, whichever is greater;

(E) All public and private utilities shall be located underground, with the exception of telephone boxes and such similar structures;

(F) All public and private utilities to be located within public road rights-of-way must be constructed prior to the start of road construction;

(G) All interior roads shown on the preliminary plat shall be constructed with curb, gutter and five-foot-wide sidewalks on both sides of the street, and street lighting in accordance with YMC Chapter 12.06, Standard Detail R5, and WSDOT Curb and Sidewalk Plans F-10.12-03;

(H) An excavation and street break permit shall be obtained for all work within the public right-of-way. Roads less than five years old can be cut, but will cost 150 percent of the restoration fee with no PCI discount;

Prickly Pear Holdings, LLC  
 "Plat of Champions Park Phase 1"  
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(I) All frontage improvements shall be completed or bonded for prior to long plat approval. Civil engineering plans for public improvements shall be approved prior to bonding for public improvements;

(J) At the discretion of the City Engineer, the owner may bond for required frontage improvements or enter into a deferral agreement for future participation in the cost of any frontage and/or roadway improvement by means of a Local Improvement District (LID) which is constructed abutting the owner's property. The bond or deferral agreement shall be executed and recorded prior to or as part of approval of the plat;

(K) Fire hydrants shall be placed at the locations specified by Code Administration and the Washington State Fire Code. All lots must be provided with adequate fire flow;

(L) All permits required by the Department of Ecology shall be obtained;

(M) A Large Project Stormwater Permit shall be obtained;

(N) Streetlights shall be installed per the direction of the Engineering Division;

(O) This plat shall be subject to the following notes, which must be placed on the face of the plat:

(1) The addresses shown on this plat are accurate as of the date of recording, but may be subject to change. The City of Yakima Code Administration is responsible for the confirmation or reassignment of addresses at the time of building permit issuance.

(2) The owners shown hereon, their grantees and assignees in interest hereby covenant and agree to retain all surface water generated within the plat on-site.

(P) Irrigation approval is required, and shall be shown on the face of the final plat;

(Q) A current title report covering the subject property must accompany the final long plat;

(R) Upon preliminary plat approval, the applicant has five years to submit the final plat. If additional time is needed, 30 days prior to the expiration of said approval the applicant must submit to the City Council a written request asking to extend the approval period for a maximum period of one year;

Prickly Pear Holdings, LLC  
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(S) All other requirements of the zoning and subdivision ordinance, although not specifically set forth herein, shall be complied with in their entirety.

**DATED** this 25<sup>th</sup> day of January, 2024.

  
\_\_\_\_\_  
Gary M. Cuillier, Hearing Examiner

Prickly Pear Holdings, LLC  
"Plat of Champions Park Phase 1"  
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**PRICKLY PEAR HOLDINGS LLC "PLAT OF  
CHAMPIONS PARK PHASE 1"  
PLP#002-23, CL2#038-23, SEPA#011-23**

## EXHIBIT LIST

## CHAPTER A

### Staff Report

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# DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

January 5, 2024

Re: Transportation Concurrency Results and Revised DST Comments for PLP#002-23

A staff report was finalized on January 4, 2024 for a public hearing on January 11, 2024 for a Preliminary Long Plat, located in the vicinity of 4607 & 4701 Ahtanum Rd., however at the time the Transportation Concurrency application (TCO#008-23) had not yet been completed.

Based upon the results of TCO#008-23, Section III (B) of the staff report should be replaced with the following:

*The applicant applied for Transportation Concurrency (TCO#008-23) on October 9, 2023, and was approved for Concurrency on January 4, 2023, after Engineering coordinated with Yakima County regarding traffic data for county arterial streets. The development will not exceed the PM peak hour capacity of the city arterial system and reserve capacity exists on all impacted arterial streets.*

The following Traffic Engineering comment should be added to Section III (D)(2) in the staff report:

*Traffic generated from development is proposed to enter / exit the Arterial Street system on the county roads of Ahtanum Road and Washington Avenue.*

*Connor Kennedy*

Connor Kennedy  
Assistant Planner

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# DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

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Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

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## CITY OF YAKIMA PLANNING DIVISION'S FINDINGS of FACT, CONCLUSIONS, & RECOMMENDATION for REQUEST FOR PRELIMINARY LONG PLAT

File Numbers: PLP#002-23, SEPA#011-23, & CL2#038-23

**APPLICANT:** HLA Engineering & Surveying on behalf of Prickly Pear Holdings LLC  
**APPLICANT ADDRESS:** 2803 River Rd., Yakima, WA 98902  
**PROJECT LOCATION:** 4607 & 4701 Ahtanum Rd  
**TAX PARCEL NUMBER:** 181204-13018, 181204-13016  
**DATE OF REQUEST:** October 9, 2023  
**DATE OF RECOMMENDATION:** January 11, 2024  
**STAFF CONTACT:** Connor Kennedy, Assistant Planner

### I. DESCRIPTION OF REQUEST:

Preliminary long plat to subdivide approximately 21.06 acres into 93 single-family lots, including 46 common wall dwellings (Type 2 Review), and environmental review, in the R-1 and R-2 zoning districts.

### II. SUMMARY OF DECISION:

The Administrative Official recommends approval of the Preliminary Plat, subject to conditions.

### III. FACTS:

#### A. Processing

1. The application for a Preliminary Long Plat was received on October 9, 2023.
2. The application was deemed complete for processing on November 7, 2023.
3. The applications are being processed under YMC Ch. 14.20 for Subdivision, YMC Ch. 15.27 for Critical Areas, and YMC Ch. 6.88 for SEPA Environmental Review.
4. Pursuant to YMC Ch. 1.43, the Hearing Examiner has the authority to make a decision on matters prescribed by YMC Title 15.
5. **Public Notice:** In accordance with YMC Title 14, Subdivision Ordinance; YMC Title 15, Urban Area Zoning Ordinance; and YMC Title 16, Development Permit Regulations, notice was provided for this application as follows:

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- a. The subject property was posted with a land use action sign on November 10, 2023.
- b. A Notice of Application and Environmental Review was sent to the applicant, SEPA agencies, and adjoining property owners within 300 feet of the subject property on November 17, 2023.
- c. A Notice of Public Hearing and Determination of Nonsignificance was sent to the applicant, SEPA agencies, and adjoining property owners within 300 feet of the subject property on December 13, 2023.

6. **Environmental Review:** This application was required to undergo State Environmental Policy Act (SEPA) review because it proposed to subdivide a parcel of land into more than 30 single-family lots. Notice was mailed on November 17, 2023, and the public comment period ended on December 1, 2023. Two comments were received from SEPA Agencies which are outlined in Section III.D.

**B. Transportation Concurrency:** The applicant applied for Transportation Concurrency (TCO#008-23) on October 9, 2023, but has not been finalized. The Supervising Traffic Engineer does not have traffic data for the county roads, and Ahtanum Rd. is the southern access for the plat. A Traffic Impact Analysis will need to be provided to determine impacts to the county road. It is recommended that the Hearing Examiner keep the record open a Traffic Impact Analysis has been received and a final determination has been made by the Engineering Division.

**C. Current Zoning and Land Use:**

- 1. The subject property is approximately 21.06 acres, is zoned Single-Family and Two-Family Residential (R-1 & R-2), and is currently vacant.
- 2. The main purpose of the Yakima Urban Area Zoning Ordinance (UAZO) is to implement the Yakima Urban Area Comprehensive Plan and promote the general health, safety and welfare of the present and future inhabitants of the Yakima Urban Area.
- 3. YMC § 15.03.020 (B) provides that the purpose of the Single-Family Residential District is intended to:
  - a. Establish new residential neighborhoods for detached single-family dwellings free from other uses except those which are compatible with, and serve the residents of, this district, which may include duplexes and zero lot lines if established during the subdivision process; and
  - b. Preserve existing residential neighborhoods for detached single-family dwellings free from other uses to ensure the preservation of the existing residential character, and serve the residents of this district; and

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- c. Locate moderate-density residential development, up to seven dwelling units per net residential acre, in areas served by public water and sewer system.

Detached single-family dwellings are the primary use in this district. The district is characterized by up to sixty percent lot coverage; access to individual lots by local access streets; required front, rear and side yard setbacks; and one- and two-story structures. The density in the district is generally seven dwelling units per net residential acre or less.

This zone is intended to afford single-family neighborhoods the highest level of protection from encroachment by potentially incompatible nonresidential land uses or impacts. Nonresidential uses within these zones are not allowed; except for public or quasi-public uses, which will be required to undergo extensive public review and will have all necessary performance or design standards assigned to them as necessary to mitigate potential impacts to adjacent residences.

Duplex and multifamily development up to seven dwelling units per net residential acre may be allowed in accordance with YMC Chapter 15.04, Table 4-1.

4. YMC § 15.03.020 (C) provides that the purpose of the Two-Family Residential District is intended to:
  - a. Establish and preserve residential neighborhoods for detached single-family dwellings, duplexes and other uses compatible with the intent of this district; and
  - b. Locate residential development with densities up to twelve dwelling units per net residential acre in areas receiving a full range of public services including public water and sewer service, and police and fire protection.

The district is characterized by up to sixty percent lot coverage, access via local access streets and collectors, one- and two-story buildings, some clustering of units, and required front, rear and side yard setbacks. Typical uses in this district are single-family dwellings and duplexes. The density in this district generally ranges from seven to twelve dwelling units per net residential acre. However, development up to eighteen dwelling units per net residential acre may be allowed in accordance with YMC Chapter 15.04, Table 4-1.

5. The surrounding properties contain uses and zoning as follows:

Direction	Zoning	Land Use
North	R-2	Undeveloped
South	R-2 (County), R-1	Residential

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East	R-1, R-1 (County)	Undeveloped, Residential
West	R-1 (County)	Residential

**D. Development Services Team Review:** A Development Services Team (DST) Review was conducted on November 14, 2023, for technical review of this project, and the following comments were received:

1. Code Administration:
  - a. Pursuant to the Chapter 5 of the Washington State Fire Code (WSFC), publicly available fire hydrants will be required along streets spaced at intervals that will provide required fire flow coverage for proposed structures in accordance with WSFC Appendix C.
  - b. Required items such as, but not limited to, fire department apparatus access roads, turnarounds, hammerheads, sanitary sewer systems, fire hydrants or other required fire/life/safety site improvements shall be installed and approved prior to final plat approval.
  - c. Bonding (if applicable) in lieu of required improvements is subject to approval of the City Engineer.
  - d. These findings are not intended to be an exhaustive review of this proposal.
  - e. All addresses shall be clearly shown on the face of the Final Plat (RCW 58.17.280). Additionally, a note shall be shown on the face of the Final Plat stating: "The addresses shown on this plat are accurate as of the date of recording, but may be subject to change. The City of Yakima Code Administration Division is responsible for the confirmation or reassignment of addresses at the time of building permit issuance." The following addresses shall be utilized for the created lots:

Lot 1	2533 S 47th Ave	Lot 29	4701 W Larch Ave / 2400 S 47th Ave	Lot 57	4700 W Oak Ave / 2500 S 47th Ave	Lot 84	2407 S 47th Ave
Lot 2	2531 S 47th Ave	Lot 30	4703 W Larch Ave	Lot 58	4701 W Oak Ave / 2406 S 47th Ave / 4700 Woolsey Rd	Lot 85	2405 S 47th Ave
Lot 3	2529 S 47th Ave	Lot 31	4705 W Larch Ave	Lot 59	4703 W Oak Ave / 4702 Woolsey Rd	Lot 1-86	4608 W Larch Ave / 2403 S 47th Ave
Lot 4	2527 S 47th Ave	Lot 32	4707 W Larch Ave	Lot 60	4705 W Oak Ave / 4704 Woolsey Rd	Lot 1-87	4606 W Larch Ave
Lot 5	2525 S 47th Ave	Lot 33	4709 W Larch Ave	Lot 61	4707 W Oak Ave / 4706 Woolsey Rd	Lot 1-88	4604 W Larch Ave

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Lot 6	2523 S 47th Ave	Lot 34	4801 W Larch Ave	Lot 62	4709 W Oak Ave / 4708 Woolsey Rd	Lot 1-89	4602 W Larch Ave
Lot 7	2521 S 47th Ave	Lot 35	4803 W Larch Ave	Lot 63	4801 W Oak Ave / 4800 Woolsey Rd	Lot 1-90	4601 W Oak Ave
Lot 8	2519 S 47th Ave	Lot 36	4805 W Larch Ave	Lot 64	4803 W Oak Ave / 4802 Woolsey Rd	Lot 1-91	4603 W Oak Ave
Lot 9	2517 S 47th Ave	Lot 37	4807 W Larch Ave	Lot 65	4805 W Oak Ave / 4804 Woolsey Rd	Lot 1-92	4605 W Oak Ave
Lot 10	2515 S 47th Ave	Lot 38	4809 W Larch Ave	Lot 66	4807 W Oak Ave / 4806 Woolsey Rd	Lot 1-93	4607 W Oak Ave / 2409 S 47th Ave
Lot 11	2513 S 47th Ave	Lot 39	4811 W Larch Ave / 4901 Woolsey Rd	Lot 67	4809 W Oak Ave / 4808 Woolsey Rd		
Lot 12	2511 S 47th Ave	Lot 40	4824 W Oak Ave / 4900 Woolsey Rd	Lot 68	4811 W Oak Ave / 4810 Woolsey Rd		
Lot 13	2509 S 47th Ave	Lot 41	4822 W Oak Ave	Lot 69	4813 W Oak Ave / 4812 Woolsey Rd		
Lot 14	2507 S 47th Ave	Lot 42	4820 W Oak Ave	Lot 70	4804 W Larch Ave / 4803 Woolsey Rd		
Lot 15	2505 S 47th Ave	Lot 43	4818 W Oak Ave	Lot 71	4802 W Larch Ave		
Lot 16	2503 S 47th Ave	Lot 44	4816 W Oak Ave	Lot 72	4800 W Larch Ave		
Lot 17	2501 S 47th Ave / 4612 W Oak Ave	Lot 45	4814 W Oak Ave	Lot 73	4801 Woolsey Rd		
Lot 18	4610 W Oak Ave	Lot 46	4812 W Oak Ave	Lot 74	4709 Woolsey Rd		
Lot 19	4608 W Oak Ave	Lot 47	4810 W Oak Ave	Lot 75	4708 W Larch Ave		
Lot 20	4606 W Oak Ave	Lot 48	4808 W Oak Ave	Lot 76	4706 W Larch Ave		
Lot 21	4604 W Oak Ave	Lot 49	4806 W Oak Ave	Lot 77	4707 Woolsey Rd		
Lot 22	4602 W Oak Ave	Lot 50	4804 W Oak Ave	Lot 78	4705 Woolsey Rd		
Lot 23	4600 W Oak Ave / 4600 Woolsey Rd	Lot 51	4802 W Oak Ave	Lot 79	4704 W Larch Ave		
Lot 24	4601 W Larch Ave / 4601 Woolsey Rd	Lot 52	4800 W Oak Ave	Lot 80	4702 W Larch Ave		

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Lot 25	4603 W Larch Ave	Lot 53	4708 W Oak Ave	Lot 81	4703 Woolsey Rd	
Lot 26	4605 W Larch Ave	Lot 54	4706 W Oak Ave	Lot 82	4701 Woolsey Rd / 2404 S 47th Ave	
Lot 27	4609 W Larch Ave	Lot 55	4704 W Oak Ave	Lot 83	4700 W Larch Ave / 2402 S 47th Ave	
Lot 28	4611 W Larch Ave / 2401 S	Lot 56	4702 W Oak Ave			

## 2. Engineering

- a. This project proposes that 21.06 acres be developed into 93 single-family lots, including 46 common wall dwellings at 4607 & 4701 Lower Ahtanum Rd., also known as "Plat of Champions Park Phase 1". The property currently is two vacant parcels. The proposed development will cause increased pedestrian and vehicle traffic without adequate safety precautions for pedestrians. The proposed development has the potential for more frequent trips in and out of the property. Current frontage infrastructure is not adequate enough to handle the new proposed 93 single-family lots, including 46 common wall dwellings.
- b. In order to alleviate the resulting impacts from the change in use proposal, the City is requiring the following improvements:
  - a. YMC 8.60 and 12.05 – New curb, gutter, ADA ramps and 5' sidewalk, including associated storm drainage, shall be installed. Street improvements shall conform to standard detail R3. New sidewalks shall be constructed per standard detail R5.
  - b. YMC 8.64 and 15.06.065 – Residential driveway approaches are required which meets the requirements of this chapter and standard detail R4. Driveway width shall be a max. of 20'.
  - c. YMC 12.06.020 – Right of way – Applicant shall determine adequate dedication of right of way for all new/proposed roads.
  - d. YMC 15.05.040 – Clear vision triangle shall be maintained per this chapter.
  - e. YMC 12.06.080 - Street lighting - Street lights shall be installed per this chapter.
  - f. YMC 12.02 – Easements shall be established and maintained per this chapter.

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- g. YMC 8.72 – An excavation and street break permit shall be obtained for all work within the public right of way.
- c. An ENG permit is required for all civil work to be performed on site. Professional engineered civil plans with PE stamp shall be submitted for review and approval. All improvements shall be completed prior to Certificate of Occupancy.
- 3. Nob Hill Water Association
  - a. Nob Hill Water has the capacity to serve this development. Developer will need to provide Nob Hill Water with signed engineering plans so they can begin the domestic water extension design.
- 4. Surface Water
  - a. This large project will require a SWPPP Permit for construction activities. Prior to any grading, a stormwater pollution prevention plan shall be submitted for approval to the Surface Water Engineer, and all temporary erosion and sediment control measures shall be in place and be inspected by the City. For the long plat itself I have no comments.
- 5. Wastewater
  - a. Sewer will need to be extended on site per City of Yakima Title 12 requirements and Engineering standard details.
- 6. Ahtanum Irrigation District
  - a. We are submitting written comments regarding the Notice of Application and Environmental Review dated November 17, 2023 concerning the above-mentioned long plat.

The above parcels have no surface water rights established in the Final Decree (2019), the Conditional Final Order Subbasin No. 23 (Ahtanum) (2019), and the Final Schedule of Rights dated May 9, 2019 in State of Washington. Dept. of Ecology v. Acquavella, et al (2019).

No irrigation water will be provided by our District to these parcels.

However, our Board must sign off on the plat for this subdivision. The surveyor will need to provide us with the original Mylar, *as well as one copy*, for District signature. As our Board meets once per month, please telephone in advance for meeting dates to avoid delays. If any further information is required, you can contact us at (509) 249-0226.

- 7. Department of Ecology
  - a. Thank you for the opportunity to comment on the Notice of Application for the Prickly Pear Holdings LLC "Plat of Champions Park Phase 1". We have reviewed the application and have the following comment.
    - i. Water Resources

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ii. Dust Control from a Well

1. If you plan to use water for dust suppression at your project site, be sure that you have a legal right. In Washington State, prospective water users must obtain authorization from the Department of Ecology before diverting surface water or withdrawing ground water, with one exception. Ground water withdrawals of up to 5,000 gallons per day used for single or group domestic supply, up to 5,000 gallons per day used for industrial purposes, stock watering, and for the irrigation of up to one-half acre of non-commercial lawn and garden are exempt from the permitting process. Water use under the RCW 90.44.050 exemption establishes a water right that is subject to the same privileges, restrictions, laws and regulations as a water right permit or certificate obtained directly from Ecology. Temporary permits may be obtainable in a short time-period. The concern of Water Resources is for existing water rights. In some instances water may need to be obtained from a different area and hauled in or from an existing water right holder.
2. If you have any questions or would like to respond to these Water Resources comments, please contact Christopher Kossik at 509-379-1826 or email at christopher.kossik@ecy.wa.gov.

iii. Dam Safety Office

1. Under RCW 90.03.350, a Dam Safety construction permit is required for those dams or ponds that can impound a volume of 10 acre-feet or more of water or other liquids above ground level. The Prickly Pear Holdings LLC "Plat of Champions Park Phase 1" development references the construction of stormwater facilities, if this includes a stormwater pond(s) that can meet or exceed the above referenced criteria, you will need to apply for a dam construction permit. To determine if a Dam Safety construction permit is required for your project, the applicant must submit a set of construction plans to:
  - a. WA Department of Ecology  
Dam Safety Office  
P.O. Box 47600  
Olympia, WA 98504-7600
2. The construction permit application can be found by entering the following link into your search engine:
  - a. <https://apps.ecology.wa.gov/publications/summarypages/ecy07038.html>
3. For additional information, please contact Charlotte Lattimore by e-mail at clat461@ecy.wa.gov or by telephone at 360-407-6066.

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8. WSDOT Aviation Division

- a. WSDOT Aviation Division reviewed the provided documentation on 11/27/23. This development is within Land Use Compatibility Zone 6 in which this type of project is permitted. Due to the proximity to the Yakima Air Terminal Airport, it is recommended that a real estate disclosure about the airport to be required for all sales of homes within this site.
- b. WSDOT Aviation Division reviewed the provided documentation on 12/20/2023. This development is within Compatibility Zone 6 for the Yakima Air Terminal. The WSDOT land use compatibility standards permit such development. We recommend that a real estate disclosure be required to notify individuals that they are in close proximity to the airport (1.2 miles). They may be exposed to aircraft noise and overflights of the property.

**E. Applicable Law—Subdivision**

1. YMC § 15.05.030 (A): Creation of new lots—Subdivision requirements: Table of Subdivision Requirements: This table establishes basic development criteria for lot size and width that must be met when reviewing an application for a new subdivision. For detached single-family dwelling construction in the R-2 zoning district, the required minimum lot size is 6,000 square feet.
2. YMC § 15.30.040: Airport Safety Overlay Zones: The subject property is located in Zone 6, and per YMC § 15.30.060, detached single-family dwellings are Class (1) uses.
3. YMC § 15.30.050: Height Limitation: Height Limitation 2 (Zone 6). No building within this zone shall exceed thirty-five feet above the ground. Any building proposed to exceed this height must undergo further review by the airport manager and the FAA.

The administrative official may require lights or markers as a warning to aircraft on any building, structure, communication tower, use, or tree(s) or to top the tree to reduce its height when recommended by the FAA, WSDOT Aviation Division or the airport manager. Lights and markers shall meet FAA specifications.

Whenever the height limitations of this section differ from those of any other section of this chapter, or that adopted by another local ordinance or regulation, the more restrictive limitation shall apply.

4. YMC § 15.05.055 (1): New development improvement standards: Fire apparatus access roads for multiple-family residential developments and one- or two-family residential developments shall be subject to the provisions of Sections D106 and D107, respectively, of Appendix D of the International Fire Code (2009 Edition). Additionally, such residential developments shall be subject to the requirements of Section D105 of Appendix D, International Fire Code (2009 Edition), pertaining to aerial fire apparatus roads, as applicable. All provisions of the International

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Fire Code referenced above are hereby adopted and incorporated herein by this reference, as now existing or as hereafter amended and adopted by the city. Minimum requirements for the primary and secondary access will be at least twenty feet wide, unobstructed, paved lanes.

5. YMC § 12.02.010: Establishment of easements: Public utility easements shall be established for the location of new and proposed public utility lines serving new land divisions and land development. Public utility easements shall also be established across the front of new lots and redeveloped lots to provide future utility access as determined necessary by the city engineer. Public utility easements shall be dedicated (granted) at the time that subdivision and/or land use approval is granted.
6. YMC § 12.02.020: Easement location and width: Eight-foot-wide utility easements shall be dedicated along the front of each lot in subdivisions and short subdivisions. Easements for new and/or future utility lines shall be a minimum of eight feet in width, or twice the buried depth of the utility, whichever is greater.
7. YMC § 12.03.010: Sewer service required: Pursuant to YMC § 12.03.010, all new lots and development shall be served by a sanitary sewer line located adjacent to the lot or development site.
8. YMC § 12.03.040: Minimum sewer size: The minimum size for public sewer lines is eight inches in diameter.
9. YMC § 12.03.070: Side sewer service: Each building containing sanitary facilities shall be served by a separate private side sewer line from a public main. Branched side sewers serving multiple buildings and properties shall not be permitted. Single side sewers serving multi-unit buildings are permitted.
10. YMC § 12.03.090: Gravity flow required: Sewer lines shall be designed for gravity flow operation. Lift stations and force mains (pressurized lines) shall be limited to those locations and circumstances where they are consistent with the comprehensive sewer plan and are the preferable short-term solution to service of the development site and other properties in the vicinity.
11. YMC § 12.04.010: Water service required: All new lots and development shall be served by a public water supply line maintained by the city of Yakima, Nob Hill Water Company, or other water purveyor, and located adjacent to the lot or development site. The water line shall be capable of providing sufficient flow and pressure to satisfy the fire flow and domestic service requirements of the proposed lots and development as approved by the city engineer in cooperation with the code administration manager and water irrigation division manager.
12. YMC § 12.04.020: Water line extension required: Water lines shall be extended to the point where the adjoining property owner's responsibility for further extension begins. This typically requires extension across the street or easement frontage of the developing property. In some cases it will require dedication of an easement and a line extension across the property or extension along two or

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more sides of the developing property. Extensions will be consistent with and implement the city's adopted water comprehensive plan.

13. YMC § 12.04.040: Minimum size and material standards: New water lines in the city of Yakima water system shall be constructed of Class 52 ductile iron and shall be a minimum of eight inches in diameter. Improvements and additions to the Nob Hill Water Company system shall conform to the requirements of Nob Hill Water Company.
14. YMC § 12.05.010: Sidewalk installation required: Sidewalks shall be installed along both sides of all new, improved, and reconstructed streets. Projects which repair small portions of or maintain existing street shall not be considered "improvement" for the purpose of this section and shall not trigger the requirements of this section. Sidewalks shall also be installed across the frontage of all newly developed or redeveloped lots where feasible.
15. YMC § 12.06.010: Street types, functional classification: The Yakima urban area comprehensive plan, and/or the West Valley neighborhood plan, designates the functional classification of the principal arterial, minor arterial and collector streets and establishes their functional classification. All other streets are classified as local residential access.
16. YMC § 12.06.030: Design standards, adjustment of standards: ... Final design of street improvements is subject to approval by the city engineer. The city engineer, at his discretion, is authorized to adjust these standards as necessary to facilitate the construction of new streets and improvement of existing streets. Projects which repair small portions of or maintain existing streets shall not be considered "improvements" for the purposes of this section.
17. YMC § 12.06.070: Provision of street curbing: Barrier curbs shall be installed along all public streets. Rolled mountable curbs may be permitted along residential access streets. Curb design shall be consistent with the standards of the city engineer.
18. YMC § 12.06.080: Street lighting: A street light shall be installed at each street intersection and at mid block if the block exceeds five hundred feet in length. Street lights shall meet the design and placement standards of the city engineer. Lighting improvements shall become the property of the city of Yakima upon installation and will thereafter be maintained by the city.
19. YMC § 14.05.200 (A-B): Allowance of bond in lieu of actual construction of improvements prior to approval or short plat or final plat: The subdivision or short subdivision applicant may, as an alternative to actual construction of any required improvements, provide a surety bond or other secure method providing for and securing to the city the actual construction of required improvements within a specified period of time and expressed in a bond or other appropriate instrument establishing such security. Any bond or other method of securing actual construction of required improvements shall specify the improvements covered and the schedule for completion.

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In cases of subdivision, the bond or other method of securing actual construction of required improvements shall be subject to approval by the city engineer and city attorney prior to approval of the final plat by the city council. In cases of short subdivisions, the bond or other method of securing actual construction of required improvements shall be subject to approval by the city engineer and city attorney prior to approval of the final short plat by the administrator. In no case shall the amount of the bond or other method of securing actual construction of required improvements be less than one hundred ten percent of the estimated actual cost of the improvements based upon the approved civil engineering design of the required improvements.

20. RCW 58.17.110 (1) and YMC § 14.20.120: The city, town, or county legislative body shall inquire into the public use and interest proposed to be served by the establishment of the subdivision and dedication. It shall determine: (a) If appropriate provisions are made for, but not limited to, the public health, safety, and general welfare, for open spaces, drainage ways, streets or roads, alleys, other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and school grounds, and shall consider all other relevant facts, including sidewalks and other planning features that assure safe walking conditions for students who only walk to and from school; and (b) whether the public interest will be served by the subdivision and dedication.

#### **F. Applicable Law—Type (2) Review**

1. Yakima Urban Area Zoning Ordinance:
  - a. Class (2) Land Use Defined: Pursuant to YMC § 15.04.020 (B), "Class (2) uses are generally permitted in the district. However, the compatibility between a Class (2) use and the surrounding environment cannot be determined in advance, and occasionally a Class (2) use may be incompatible at a particular location. Therefore, a Type (2) review by the administrative official is required in order to promote compatibility with the intent and character of the district and the policies and development criteria of the Yakima Urban Area Comprehensive Plan. The procedures in YMC Ch. 15.14 shall be used to review and evaluate Class (1) uses that require a Type (2) review process."
  - b. Type (2) Review: Pursuant to YMC § 15.14.020, Type (2) Review is required for any proposed use shown on Table 4-1 as a Class (2) use, for Class (1) uses requiring Type (2) review in YMC 15.13.020; and for other specific reviews established by this title.

#### **G. Yakima Comprehensive Plan 2040**

1. The following goals and policies apply to this proposal:
  - a. Goal 2.2: Provide a mix of land use designations consistent with the community's vision.
    - i. Policy 2.2.1: Low density residential – this designation provides for low density residential development.
      1. Single-family detached dwellings are the predominant dwelling type. Other dwelling types may be allowed under certain circumstances, such as accessory dwellings and

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cottage housing. The permitted density is up to seven net dwelling units per acre for infill development. On larger sites (over two acres), more flexibility in lot sizes and layout are envisioned, provided overall density standards are met. Permitted maximum densities on large sites is up to seven gross dwelling units per acre. Density bonuses allowing up to six gross dwelling units may be allowed subject to conformance with traditional neighborhood design concepts.

- b. Goal 2.3: Preserve and enhance the quality, character, and function of Yakima's residential neighborhoods.
  - i. Policy 2.3.1: Provide for a wide variety of housing types within the city to meet the full range of housing needs for Yakima's evolving population.
  - ii. Policy 2.3.2: Preserve and enhance established residential neighborhoods. Specifically:
    - 1. (A.) Ensure that new development is compatible in scale, density, and aesthetic quality to an established neighborhood.

#### IV. SUBDIVISION FINDINGS:

##### A. Background and Processing:

1. The subject property is currently vacant, is approximately 21.06 acres in size, has a Future Land Use designation of Mixed Residential, and is zoned Single-Family Residential (R-1) and Two-Family Residential (R-2).
2. Pursuant to RCW Ch. 58.17, YMC § 1.43.080 and YMC § 14.20.100, the City of Yakima Hearing Examiner is authorized to make a recommendation for approval or disapproval, with written findings of fact and conclusions to support the recommendation to the City Council on preliminary plats due to land use review (Type (2) Review) being part of the application. Within ten working days of the conclusion of a hearing, unless the applicant agrees to a longer period in writing, the Commission shall render a written recommendation, which shall include findings and conclusions based on the record.
3. Public notice for this public hearing was provided in accordance with the Yakima Municipal Code.

##### B. Site Design and Improvement Standards:

1. All proposed lots are at least 3,500 square feet in area and have at least the minimum of 20 feet of lot frontage upon a public road in accordance with YMC §15.05.020 (H), and at least the minimum standard lot width of 50 feet in accordance with YMC § 15.05.030 (A) and Table 5-2.
2. Lot Size: The preliminary plat indicates that lot sizes will range from 3,718 square feet to 30,746 square feet, which is consistent with Table 5-1 of Ch. 15.05 of the UAZO for single-family and common wall construction.

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3. Lot Width: Table 5-2 of Ch. 15.05 requires a minimum lot width for single-family dwellings in the R-1 and R-2 zoning districts of 50 feet. The minimum lot width for common wall dwellings in the R-1 and R-2 zoning districts is 35 feet. All proposed lots meet or exceed the minimum requirement.
4. Lot Coverage: Table 5-1 of Ch. 15.05 limits lot coverage in the R-1 and R-2 zoning districts to 60 percent, and all lots have sufficient area to comply with this development standard.
5. Setbacks: Table 5-1 of Ch. 15.05 identifies the required setbacks for development within the R-1 and R-2 zoning districts. All lots within the proposed plat shall meet the required setbacks as follows:

Location	From Centerline of Right-of-Way	From Property Line
Front	45 feet	20 feet
Rear	N/A	15 feet
Side (internal)	N/A	5 feet
Side (street)	40 feet	10 feet

6. Maximum Building Height: Table 5-1 of Ch. 15.05 identifies that the maximum building height for development within the R-1 and R-2 zoning districts is 35 feet. The subject parcel is entirely encumbered by Airport Safety Overlay (ASO) Zone 6, which also limits building height to 35 feet. As identified in the applicant's State Environmental Policy Act Checklist, the tallest structure will be no more than 35 feet in height, complying with these standards.
7. Access: In accordance with YMC §15.05.020 (H), all lots have 20 feet of frontage upon a public street, or are accessed by a 20-foot access easement.
8. Sidewalk: In accordance with YMC § 15.05.020 (J), the subject plat identifies that curb, gutter, and sidewalk is proposed to be constructed along all interior street frontages.
9. Density: With a density of approximately 6.97 dwellings per net residential acre, the proposed preliminary plat complies with YMC § 15.05.030 (B) and Table 4-1 of Ch. 15.04 which allows up to 7 dwelling units per net residential acre in the R-1 zone and up to 12 dwelling units per net residential acre in the R-2 zone as Class (1) and Class (2) uses.
  - a. The Preliminary Long Plat is occurring as a single action and thus the density calculation is based upon a single action of dividing 13.34 acres into 93 residential lots.
  - b. Net residential density excluding streets calculated per YMC § 15.05.030:
    - Total lot area: 581,223 square feet (all proposed lot sizes)

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- $581,223 / 43,560 \text{ (acre)} = 13.34 \text{ acres}$
- $93 \text{ dwelling units} / 13.34 = 6.97 \text{ dwelling units per net residential acre}$

10. Streets/Dedication of Right-of-Way: Connection to Ahtanum Rd. to the south and S 52<sup>nd</sup> Ave to the west, minimum 50-foot-wide rights-of-way shall be dedicated for local access streets within the subdivision. Curb, gutter, and a five-foot-wide sidewalk shall be installed.

**C. Development Standards:**

1. Frontage Improvements

- The applicant will be required to install curb, gutter, ADA ramps, and sidewalk along parcel frontages in accordance with YMC § 12.05.010. The street section shall conform to standard detail R3 and the new sidewalks shall be constructed per standard detail R5, in accordance with YMC Ch. 8.67 and 12.05.
- At minimum, one street light shall be installed midblock on the westernmost section of the loop as the street exceeds 500 feet in total length. Street lighting shall meet the design and placement standards of the city engineer. Lighting improvements shall become the property of the City of Yakima upon installation and will thereafter be maintained by the city.
- Pursuant to Ch. 8.72, an excavation and street break permit shall be obtained for all work within the public right-of-way. Roads less than five years old can be cut, but will cost 150 percent of the restoration fee with no PCI discount.

2. Wastewater

- A minimum sixteen foot easement shall be maintained over all public utility lines in accordance with YMC §§ 12.02.010 and 12.02.020.
- All lots with the subject plat shall be served by a separate side sewer line from a public main in accordance with YMC § 12.03.070.
- Sewer is to be installed per the Yakima Municipal Code.

3. Water

- The applicant shall extend potable water to the subject plat in accordance with YMC § 12.04.10.
- Water is served by the Nob Hill Water Association, and the preliminary plat displays water service across all street frontages to serve all lots.

4. Irrigation

- The subject parcel is located within the Ahtanum Irrigation District and therefore irrigation district approval is required upon the final plat.

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**D. Easements:** Easements are to be established in accordance with YMC §§ 12.02.010 and 12.02.020.

**E. Subdivision Ordinance**

As proposed, and with the recommended conditions, this preliminary plat meets all the design requirements of YMC Title 14, the City's subdivision ordinance and the development standards of YMC Title 12. The recommended conditions are intended to ensure consistency with the provisions of the City's subdivision ordinance and that appropriate provisions are provided for the following:

1. Public health, safety, welfare: The construction of new single-family and/or two-family dwellings will complement adjacent uses and will promote the public health, safety and general welfare insofar as there is a need in this community for additional housing and insofar as this proposed preliminary plat would be required to comply with all applicable City development standards, and all conditions of approval specified by the City of Yakima Hearing Examiner.
2. Open spaces: The proposed lots are larger than the minimum lot size required in the R-1 and R-2 zoning district for common wall, single-family, and two-family dwellings. Lot coverage of 60 percent or less in the R-1 and R-2 zoning districts will provide adequate light and air for future residents in accordance with the standards in the zoning ordinance without additional open spaces.
3. Drainage systems: Drainage system facilities will be provided in accordance with state and local regulations including the City of Yakima Municipal Code and the Eastern Washington Storm Water Manual.
4. Streets, alleys, and other public ways: The subject property will have frontage upon the extension of S. 58th Ave., and proposes new public streets (S. 57th Ave., S. 60th Ave., W. Larch Ave., W. Oak Ave., and Woolsey Rd.) to provide adequate access to all internal lots.
5. Water supplies: Public water is required to be used for domestic and fire flow purposes. Water is available to the site from Nob Hill Water Association via S. 58th Ave.
6. Sanitary waste disposal: Public sewer is required to service all lots within the subject development. A City of Yakima sewer main capable of serving the development has been extended east via Occidental Rd.
7. Parks and playgrounds: Open space, parks, recreation, and playgrounds are located approximately within 1 mile of this subdivision due to the proximity of SOZO Sports Complex and Randall Park.
8. Sites for schools: Wide Hollow Elementary School is located approximately 4.9 miles away from this subdivision, West Valley Middle Level Campus is located approximately 4.5 miles away, and West Valley High School is located approximately 5.6 miles away.

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9. Sidewalks: Sidewalks are required and shall be provided along this development's internal streets (S. 57th Ave., S. 58th Ave., S. 60th Ave., W. Larch Ave., W. Oak Ave., and Woolsey Rd.).
10. Public Transit: Yakima Transit Routes 2 and 5 pass the intersection of S. 64th Ave. and W. Washington Ave. approximately 0.9 miles north of the subdivision.
11. Serves the public interest and use: This proposed 93-lot residential subdivision is consistent with neighboring land uses and better serves the needs of the City of Yakima than the undeveloped status of the property.

**F. Time Limitation**

1. Upon preliminary plat approval, the applicant has five years from the date of preliminary approval to submit the final plat. Thereafter, 30 days prior to the expiration of preliminary approval the applicant must submit to the City Council a written request asking to extend the approval period for a maximum period of one year (YMC § 14.20.160). Before the final plat can be recorded, all required infrastructure must be engineered, completed and inspected or engineered and financially secured and receive final plat approval from the Community Development Department.

**V. Type (2) Review Findings:**

- A. Comprehensive Plan:** The Yakima Comprehensive Plan 2040 Land Use Element provides for the distribution of land use meeting Yakima's needs for housing, employment, recreation, public facilities and other land uses in development patterns that support the City's vision for the future. The proposal is consistent with the goals outlined in the Comprehensive Plan, specifically Goals 2.1 and 2.2.
- B. Single Family Housing (R-1) Zoning District:** The proposal is consistent with the intention of the Single Family Housing (R-1) Zoning District in that it will create more housing.
- C. Compatibility:** The proposal, as conditioned, is compatible with neighboring land uses
- D. Site Design and Improvement Standards:** YMC Ch. 15.05 – 15.07 establish basic development requirements as minimum criteria, which must be met to assure land use compatibility and promote the public health, safety, and welfare. The following is an overview of the proposal's compliance with the aforementioned development standards:
  1. Lot Coverage: Lot coverage in the R-1 zoning district is allowed to be 60%.
  2. Setbacks: 45' from center line of right of way.
  3. Public Facilities: City of Yakima sewer and water are available.
  4. Frontage Improvements: Frontage improvements are required for this project.

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**VI. CONCLUSIONS:**

- A. The Hearing Examiner has jurisdiction (RCW Ch. 58.17, YMC §§ 1.43.080, and 14.20.100).
- B. This Preliminary Long Plat complies with the general requirements for subdivision approval as specified by YMC Ch. 14.20 and 15.05.
- C. During project review it has been found that this request is in compliance with YMC § 16.06.020 (B) for making a Determination of Consistency as follows:
  - 1. The uses are permitted within the R-1 and R-2 zoning districts.
  - 2. All necessary public facilities are available or can be extended to serve the site.
  - 3. This proposal is consistent with existing development regulations for this location.
- D. The Determination of Nonsignificance (DNS) was not appealed.
- E. The proposed Class 2 use for Common Wall development is consistent with the applicable review criteria in YMC § 15.14.040.
- F. This proposed subdivision serves the public use and interest and provides for the possibility of creating new additional housing within the City of Yakima.
- G. This preliminary subdivision complies with the goals and objectives of the Urban Area Comprehensive Plan, the intent and purpose of the R-1 and R-2 zoning districts, the provisions of the Urban Area Zoning Ordinance, Subdivision Ordinance, Title 12 Development Standards, and Chapter 12.08 the Traffic Concurrency Ordinance.
- H. The proposed plat complies with the provisions of RCW 58.17.110 and YMC § 14.20.100, providing appropriately for: the public health, safety, and general welfare, open spaces, drainage ways, streets or roads, alleys, other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and school grounds, sidewalks, and other planning features that assure safe walking conditions for residents of the neighborhood.

**VII. RECOMMENDATION:**

The Planning Division recommends that this 93-lot subdivision known as "Plat of Champions Park – Phase 1," file number PLP#002-23, be approved based upon the above findings and conclusions and subject to the conditions of approval as follows:

- A. Prior to approval of the final plat, all required improvements shall be constructed or financially secured according to the standards and requirements of the City Engineer and YMC Title 12;
- B. All lots shall be served with public water from the Nob Hill Water Association. No individual domestic or irrigation wells shall be permitted for any of the lots. Prior to final plat approval, written verification from Nob Hill Water Association must be submitted to the Planning Division indicating that each lot with the plat has been served with domestic and applicable fees paid;

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- D. Eight-foot-wide utility easements shall be dedicated along the front of each lot in subdivisions and short subdivisions. Easements for new and/or future utility lines shall be a minimum of eight feet in width, or twice the buried depth of the utility, whichever is greater.
- E. All public and private utilities shall be located underground, with the exception of telephone boxes and such similar structures;
- F. All public and private utilities to be located within public road rights-of-way must be constructed prior to the start of road construction;
- G. All interior roads on the preliminary plat shall be constructed with curb, gutter, five-foot sidewalks on both sides of the street, and street lighting in accordance with YMC Ch. 12.06, Standard Detail R5, and WSDOT Curb and Sidewalk Plans F-10.12-03;
- H. An excavation and street break permit shall be obtained for all work within the public right-of-way. Roads less than five years old can be cut, but will cost 150 percent of the restoration fee with no PCI discount;
- I. All frontage improvements shall be completed or bonded for prior to long plat approval. Civil engineering plans for public improvements shall be approved prior to bonding for public improvements;
- J. At the discretion of the City Engineer, the owner may bond for required frontage improvements or enter into a deferral agreement for future participation in the cost of any frontage and/or roadway improvement of Local Improvement District (LID) which is constructed abutting the owner's property. The bond or deferral agreement shall be executed and recorded prior to or as part of approval of the plat;
- K. Fire hydrants shall be placed at the locations specified by Code Administration and the Washington State Fire Code. All lots must be provided with adequate fire flow;
- L. All permits required by the Department of Ecology shall be obtained;
- M. A Large Project Stormwater Permit shall be obtained;
- N. Streetlights shall be installed per the direction of the Engineering Division;
- O. This plat shall be subject to the following notes, which must be placed on the face of the plat:
  - 1. The addresses shown on this plat are accurate as of the date of recording, but may be subject to change. The City of Yakima Code Administration is responsible for the confirmation or reassignment of addresses at the time of building permit issuance.
  - 2. The owners shown hereon, their grantees and assignees in interest hereby covenant and agree to retain all surface water generated within the plat on-site;
- P. Irrigation approval is required, and shall be shown on the face of the final plat;

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1. The addresses shown on this plat are accurate as of the date of recording, but may be subject to change. The City of Yakima Code Administration is responsible for the confirmation or reassignment of addresses at the time of building permit issuance.
  2. The owners shown hereon, their grantees and assignees in interest hereby covenant and agree to retain all surface water generated within the plat on-site;
- R. Irrigation approval is required, and shall be shown on the face of the final plat;
- S. A current title report covering the subject property must accompany the final long plat;
- T. Upon preliminary plat approval, the applicant has five years to submit the final plat. Thereafter, 30 days prior to the expiration of said approval the applicant must submit to the City Council a written request asking to extend the approval period for a maximum period of one year;
- U. All other requirements of the zoning and subdivision ordinance, although not specifically set forth herein, shall be complied with in their entirety; and

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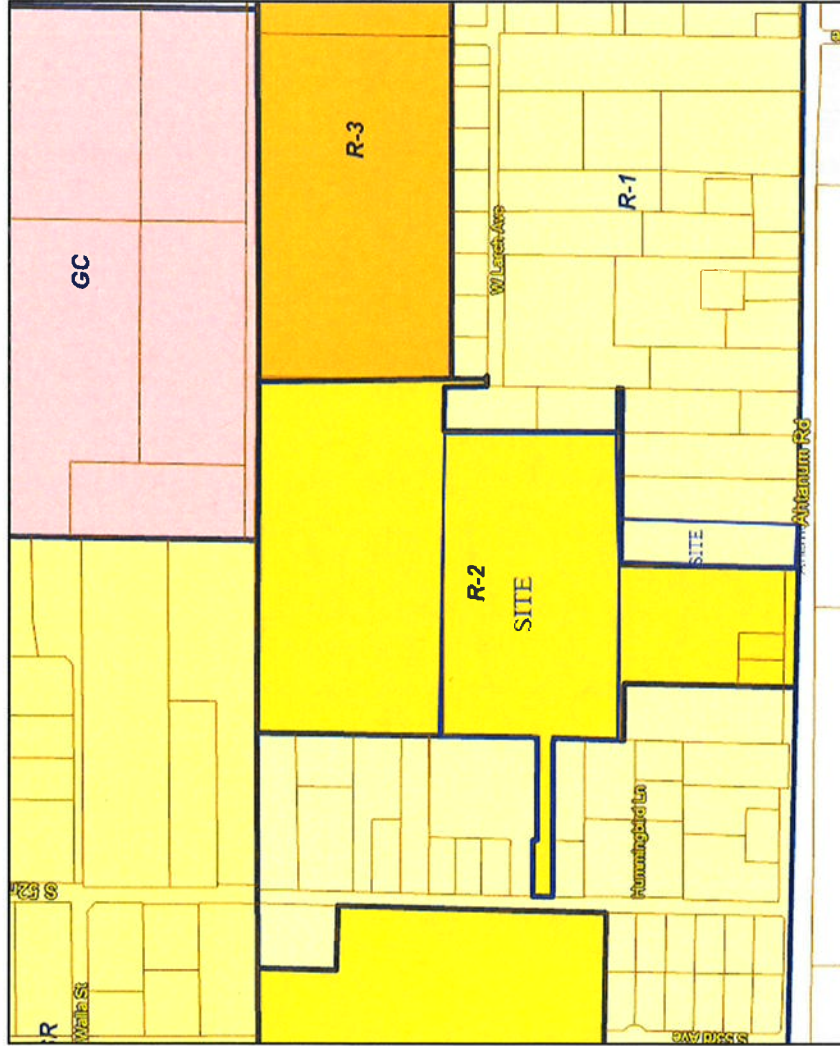
**Project Name:** PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS PARK PHASE 1"

**Site Address:** 4607 & 4701 LOWER AHTANUM RD

**File Number(s):** PLP#002-23, CL2#038-23, SEPA#011-23, TCO#008-23



## ZONING MAP



Yakima Urban Area Zoning	
	SR Suburban Residential
	R-1 Single Family
	R-2 Two Family
	R-3 Multi-Family
	B-1 Professional Business
	B-2 Local Business
	HB Historical Business
	SCC Small Convenience Center
	LCC Large Convenience Center
	CBD Central Business District
	GC General Commercial
	M-1 Light Industrial
	M-2 Heavy Industrial
	RD Regional Development
	AS Airport Support

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Date Created: 1/4/2024



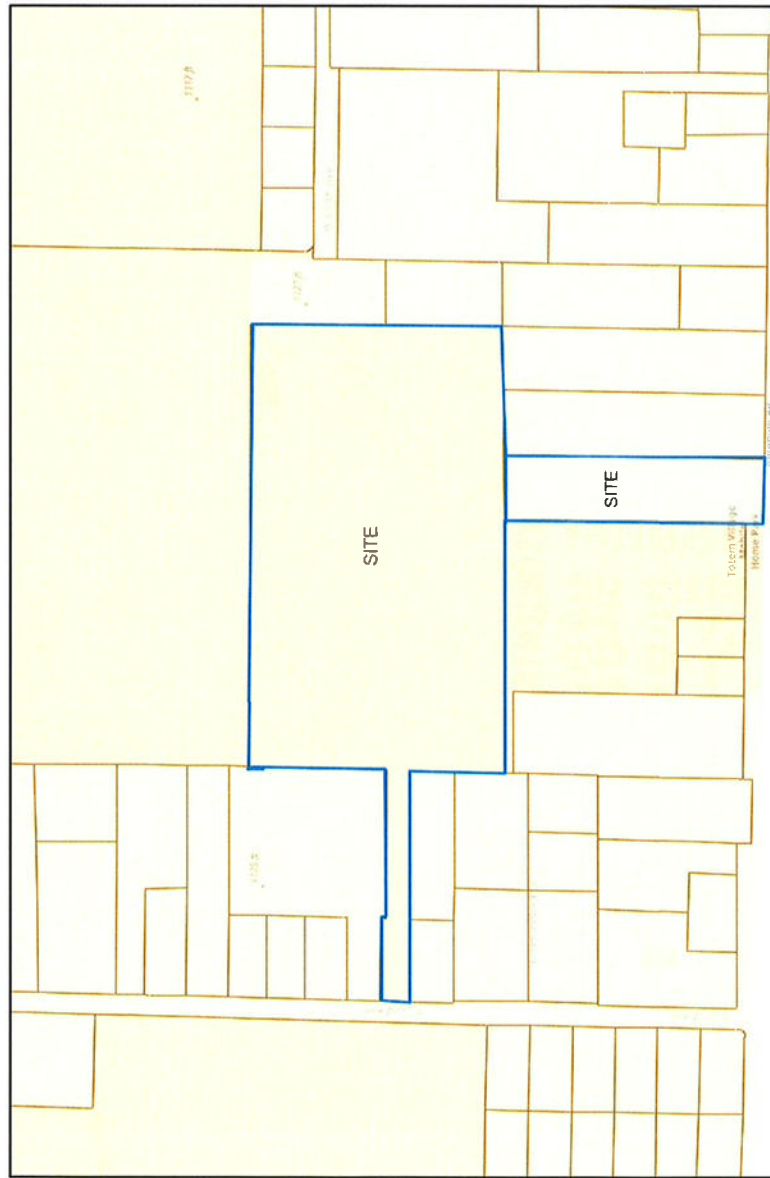


**Project Name:** PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS PARK PHASE 1"

**Site Address:** 4607 & 4701 LOWER AHTANUM RD

**File Number(s):** PLP#002-23, CL2#038-23, SEPA#011-23, TCO#008-23

## FUTURE LAND USE MAP



**Yakima Future Land Use Designations**

- Low Density Residential
- Mixed Residential
- Central Business Core Commercial
- Commercial Mixed Use
- Regional Commercial
- Community Mixed Use
- Industrial

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Date Created: 1/4/2024





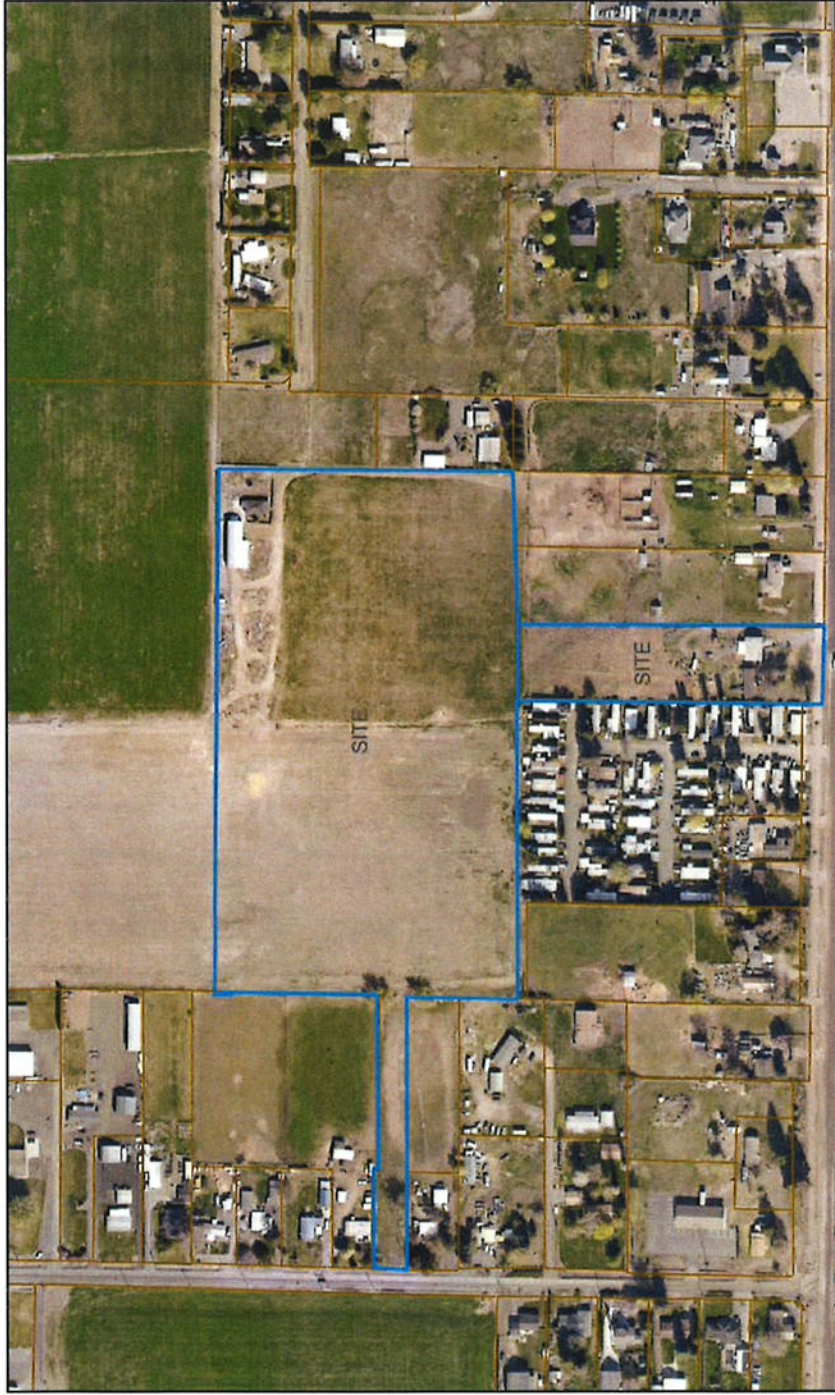
**Project Name:** PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS PARK PHASE 1"

**Site Address:** 4607 & 4701 LOWER AHTANUM RD

**File Number(s):** PLP#002-23, CL2#038-23, SEPA#011-23, TCO#008-23



## AERIAL MAP



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Date Created: 1/4/2024

**Project Name:** PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS PARK PHASE 1"

**Site Address:** 4607 & 4701 LOWER AHTANUM RD

**File Number(s):** PLP#002-23, CL2#038-23, SEPA#011-23, TCO#008-23

**Proposal:** Proposed preliminary long plat to subdivide 21.06 acres into 93 single-family lots and environmental review in the R-1 and R-2 zoning districts.



## VICINITY MAP



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Date Created: 10/25/2023



**PRICKLY PEAR HOLDINGS LLC "PLAT OF  
CHAMPIONS PARK PHASE 1"  
PLP#002-23, CL2#038-23, SEPA#011-23**

## EXHIBIT LIST

## CHAPTER C

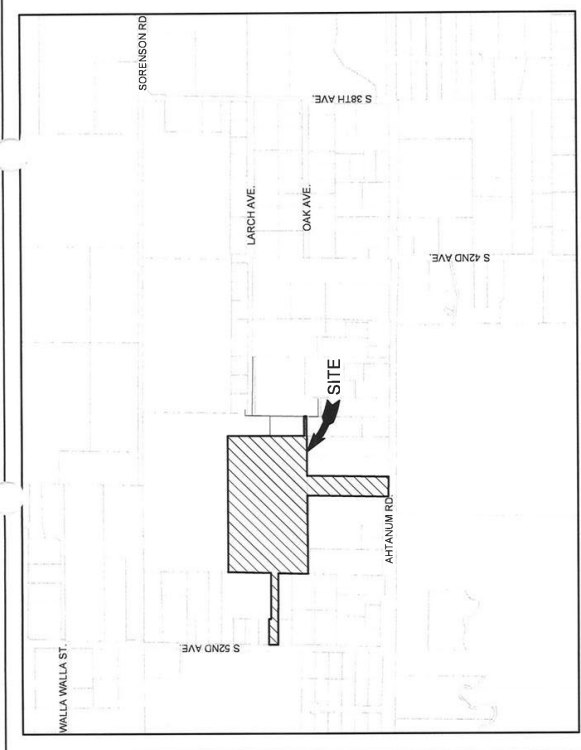
### Site Plan

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# PRELIMINARY PLAT OF CHAMPIONS PARK PHASE 1

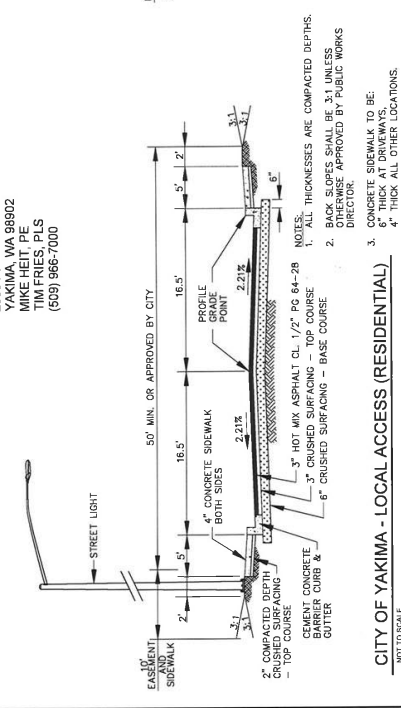
(A PORTION OF THE N 1/2, SECTION 04,  
TOWNSHIP 12 NORTH, RANGE 18 EAST, W.M.)



VICINITY MAP

**ENGINEER/SURVEYOR**  
HLA ENGINEERING & LAND SURVEYING, INC.  
2803 RIVER ROAD  
YAKIMA, WA 98902  
MIKE HEIT, PE  
TIM FRIES, PLS  
(509) 966-7000

**DEVELOPER**  
PRICKLY PEAR HOLDINGS, LLC

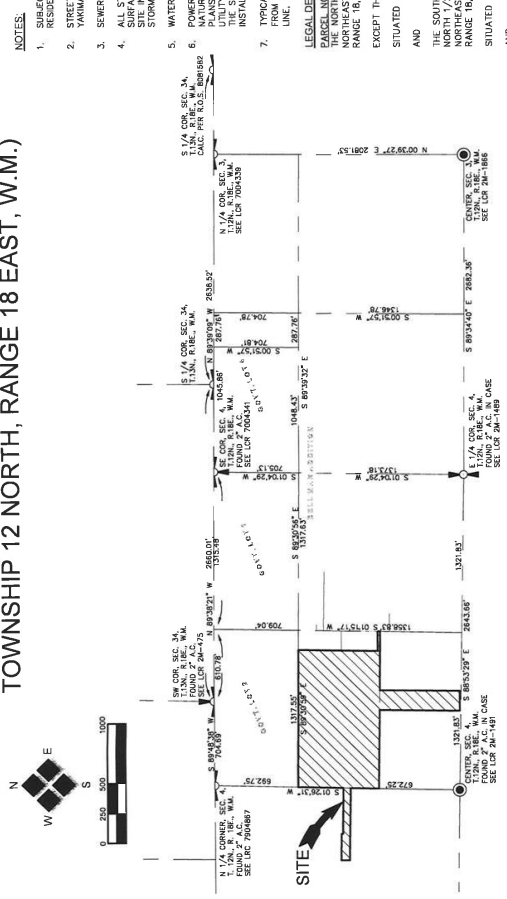


**NOTES:**  
1. ALL THICKNESSES ARE COMPACTED DEPTHS.  
2. BACK SLOPES SHALL BE 3:1 UNLESS OTHERWISE APPROVED BY PUBLIC WORKS DEPARTMENT.  
3. CONCRETE SIDEWALK TO BE:  
4" THICK ALL OTHER LOCATIONS.

CITY OF YAKIMA - LOCAL ACCESS (RESIDENTIAL)



2803 River Road  
Yakima, WA 98902  
509.966.7000  
Fax 509.965.3800  
www.hlaeivl.com



NOTES:

- SUBJECT PROPERTY IS ZONED R-1 SINGLE-FAMILY RESIDENTIAL.
- STREET IMPROVEMENTS SHALL CONFORM TO CITY OF YAKIMA STANDARDS FOR PLAT REVIEW.
- SEWER IS PROVIDED BY CITY OF YAKIMA.
- ALL STORM WATER GENERATED BY NEW IMPROVED SURFACES TO BE RETAINED AND DISPOSED OF ON THE PROPERTY OR TO BE DISPOSED OF AT AN APPROPRIATE STORMWATER ENGINEERING DIVISION REQUIREMENTS.
- WATER IS PROVIDED BY KOB HILL WATER.
- POWER, TV CABLES, TELEPHONE CABLES AND FIBER OPTIC CABLES SHALL BE LOCATED WITHIN THE PUBLIC UTILITY EASEMENT AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF YAKIMA STANDARDS FOR PLAT REVIEW AND THE CITY OF YAKIMA STANDARDS FOR PLAT REVIEW.
- TYPICAL BUILDING SETBACKS - 20' FRONT SETBACK FROM PROPERTY LINE, 3' SIDE SETBACK FROM PROPERTY LINE, AND 10' REAR SETBACK FROM PROPERTY LINE.

## LEGAL DESCRIPTION

PARCEL NO. 181204-13018  
THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE SECTION 04, TOWNSHIP 12 NORTH, RANGE 18, E.M.W.  
EXCEPT THE LAST 165 FEET  
SITUATED IN YAKIMA COUNTY, STATE OF WASHINGTON,  
AND  
THE SOUTH 20 FEET OF THE EAST 165 FEET OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE SECTION 04, TOWNSHIP 12 NORTH, RANGE 18, E.M.W.  
SITUATED IN YAKIMA COUNTY, STATE OF WASHINGTON,  
AND  
THE NORTH 71 FEET OF THE SOUTH 60 FEET OF THE EAST 165 FEET OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE SECTION 04, TOWNSHIP 12 NORTH, RANGE 18, E.M.W. RECORDS OF YAKIMA COUNTY, WASHINGTON.

PARCEL NO. 181204-13018 & 181204-13016

DOC. INDEX #

CITY OF YAKIMA - LOCAL ACCESS (RESIDENTIAL)

JOB NUMBER: 2210-23  
DATE: 2/21/23  
DRAWING: 22105.dwg  
DESIGNED BY: MRH  
ENTERED BY: MDH

REVISION

DATE

PRELIMINARY PLAT

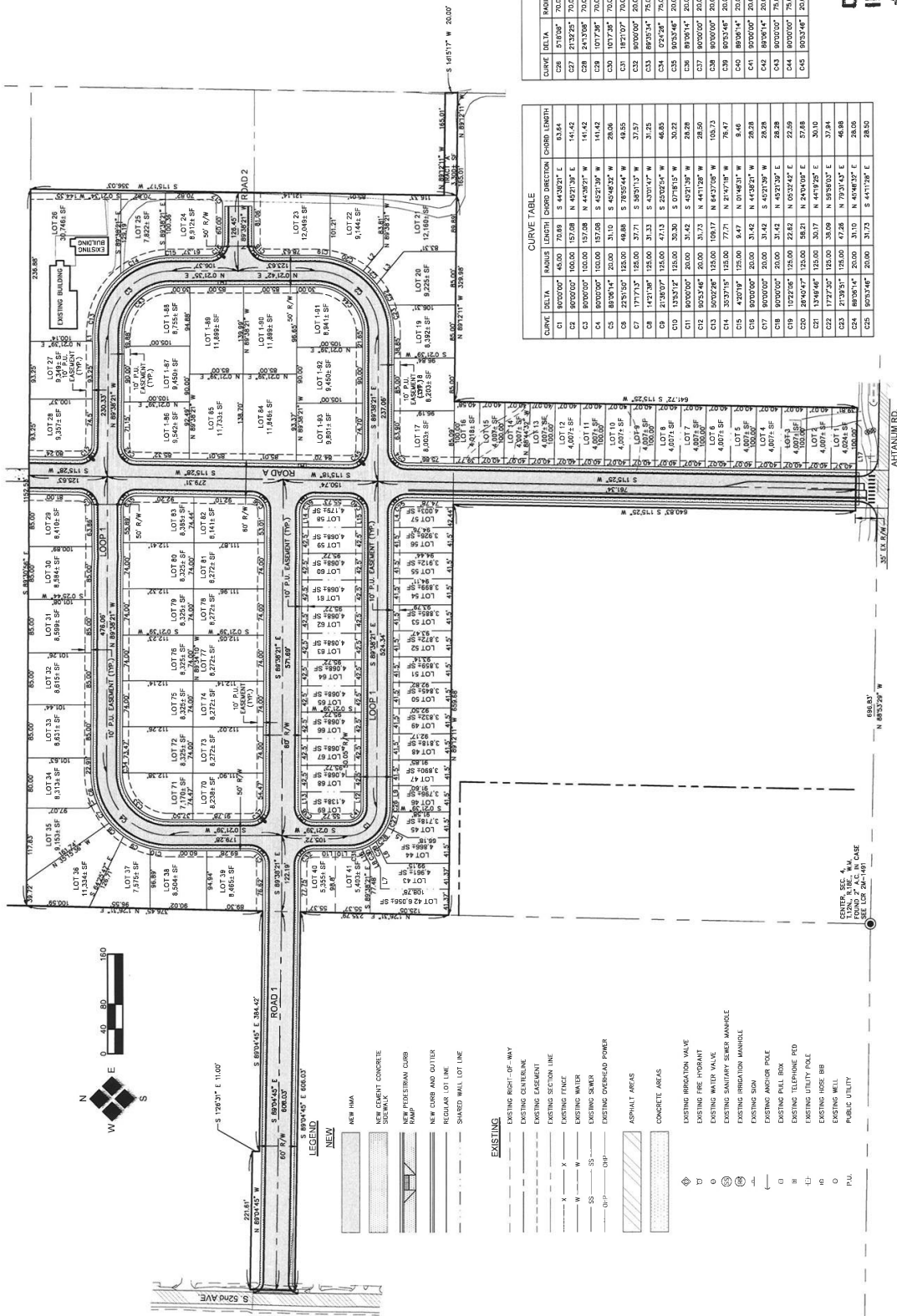
PRICKLY PEAR HOLDINGS, LLC  
PARCEL NO. 181204-13018 & 181204-13016  
CITY OF YAKIMA, YAKIMA COUNTY, WASHINGTON

SHEET 1 OF 4

RECEIVED:

OCT 18 2023

CITY OF NEW YORK  
COMMUNITY DEVELOPMENT



LINE TABLE		
LINE	REMARK	LENGTH
L1	N 89°30'21"	11.87
L2	N 89°30'55"	50.77
L3	N 89°30'55"	87.58
L4	N 89°30'21"	23.81
L5	S 27°12'12"	36.23
L6	S 43°37'45"	39.15
L7	S 89°32'47"	33.41
L8	N 63°47'45"	40.21
L9	S 89°30'21"	35.03
L10	S 00°21'39"	26.36
L11	S 00°1'19"	33.36
L12	N 89°30'21"	25.02
L13	N 89°30'21"	25.02
L14	N 89°30'21"	25.88
L15	N 89°30'21"	25.03
L16	N 43°37'45"	28.98
L17	S 86°53'39"	156.00
L18	S 129°36'1"	71.00

CURVE TABLE				CHORD LENGTH
CURVE	DELTA	ARC LENGTH	CHORD DIRECTION	
C1	90°00'00"	40.00	70.89	53.84
C2	90°00'00"	100.00	157.08	141.62
C3	90°00'00"	100.00	157.08	141.62
C4	90°00'00"	100.00	157.08	141.62
C5	90°00'00"	100.00	157.08	141.62
C6	90°00'00"	100.00	157.08	141.62
C7	90°00'00"	100.00	157.08	141.62
C8	90°00'00"	100.00	157.08	141.62
C9	90°00'00"	100.00	157.08	141.62
C10	90°00'00"	100.00	157.08	141.62
C11	90°00'00"	100.00	157.08	141.62
C12	90°00'00"	100.00	157.08	141.62
C13	90°00'00"	100.00	157.08	141.62
C14	90°00'00"	100.00	157.08	141.62
C15	90°00'00"	100.00	157.08	141.62
C16	90°00'00"	100.00	157.08	141.62
C17	90°00'00"	100.00	157.08	141.62
C18	90°00'00"	100.00	157.08	141.62
C19	90°00'00"	100.00	157.08	141.62
C20	90°00'00"	100.00	157.08	141.62
C21	90°00'00"	100.00	157.08	141.62
C22	90°00'00"	100.00	157.08	141.62
C23	90°00'00"	100.00	157.08	141.62
C24	90°00'00"	100.00	157.08	141.62
C25	90°00'00"	100.00	157.08	141.62
C26	90°00'00"	100.00	157.08	141.62
C27	90°00'00"	100.00	157.08	141.62
C28	90°00'00"	100.00	157.08	141.62
C29	90°00'00"	100.00	157.08	141.62
C30	90°00'00"	100.00	157.08	141.62
C31	90°00'00"	100.00	157.08	141.62
C32	90°00'00"	100.00	157.08	141.62
C33	90°00'00"	100.00	157.08	141.62
C34	90°00'00"	100.00	157.08	141.62
C35	90°00'00"	100.00	157.08	141.62
C36	90°00'00"	100.00	157.08	141.62
C37	90°00'00"	100.00	157.08	141.62
C38	90°00'00"	100.00	157.08	141.62
C39	90°00'00"	100.00	157.08	141.62
C40	90°00'00"	100.00	157.08	141.62
C41	90°00'00"	100.00	157.08	141.62
C42	90°00'00"	100.00	157.08	141.62
C43	90°00'00"	100.00	157.08	141.62
C44	90°00'00"	100.00	157.08	141.62
C45	90°00'00"	100.00	157.08	141.62
C46	90°00'00"	100.00	157.08	141.62
C47	90°00'00"	100.00	157.08	141.62
C48	90°00'00"	100.00	157.08	141.62
C49	90°00'00"	100.00	157.08	141.62
C50	90°00'00"	100.00	157.08	141.62
C51	90°00'00"	100.00	157.08	141.62
C52	90°00'00"	100.00	157.08	141.62
C53	90°00'00"	100.00	157.08	141.62
C54	90°00'00"	100.00	157.08	141.62
C55	90°00'00"	100.00	157.08	141.62
C56	90°00'00"	100.00	157.08	141.62
C57	90°00'00"	100.00	157.08	141.62
C58	90°00'00"	100.00	157.08	141.62
C59	90°00'00"	100.00	157.08	141.62
C60	90°00'00"	100.00	157.08	141.62
C61	90°00'00"	100.00	157.08	141.62
C62	90°00'00"	100.00	157.08	141.

CURVE TABLE					CORD LENGTH
CURVE	DELTA	RADIUS	LENGTH	CORD CORRECTION	
C01	27° 12' 30"	70.00	28.32	3.723400"E	26.48
C02	27° 12' 30"	70.00	28.32	3.723400"E	58.16
C03	28° 00' 00"	70.00	28.56	4.061744"E	29.37
C04	28° 00' 00"	70.00	28.56	4.061744"E	72.56
C05	28° 45' 00"	70.00	28.40	4.327050"E	12.56
C06	28° 45' 00"	70.00	28.40	4.327050"E	55.84
C07	29° 00' 00"	70.00	28.56	4.383337"E	22.32
C08	29° 00' 00"	70.00	28.56	4.383337"E	65.52
C09	29° 45' 00"	70.00	28.28	4.609287"E	105.68
C10	29° 45' 00"	70.00	28.28	4.609287"E	148.88
C11	30° 00' 00"	70.00	28.56	4.665574"E	20.32
C12	30° 00' 00"	70.00	28.56	4.665574"E	63.52
C13	30° 45' 00"	70.00	28.28	4.921397"E	26.08
C14	30° 45' 00"	70.00	28.28	4.921397"E	69.28
C15	31° 30' 00"	70.00	27.72	5.147332"E	28.28
C16	31° 30' 00"	70.00	27.72	5.147332"E	71.48
C17	32° 00' 00"	70.00	28.00	5.423730"E	28.28
C18	32° 00' 00"	70.00	28.00	5.423730"E	71.48
C19	32° 45' 00"	70.00	27.28	5.649732"E	28.08
C20	32° 45' 00"	70.00	27.28	5.649732"E	71.28
C21	33° 00' 00"	70.00	28.00	5.649732"E	28.08
C22	33° 00' 00"	70.00	28.00	5.649732"E	71.28
C23	33° 45' 00"	70.00	26.80	5.875734"E	105.07
C24	33° 45' 00"	70.00	26.80	5.875734"E	148.27
C25	34° 30' 00"	70.00	26.08	6.101736"E	28.00
C26	34° 30' 00"	70.00	26.08	6.101736"E	71.20

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2803 River Road  
Yakima, WA 98902  
509.966.7000  
Fax 509.965.3800  
www.hlacivil.com



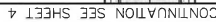
**HLA**  
Engineering and Land Surveying, Inc.

JOB NUMBER: 22115	DATE: 10-06-23
FILE NAMES: DRAWING: 22115.dwg	
DESIGNED BY:	MRH

**PRICKLY PEAR HOLDING**  
PARCEL NO. 181204-13018 & 181204-13016  
CITY OF YAKIMA, YAKIMA COUNTY, WASHINGTON

PRELIMINARY PLAT OVERALL

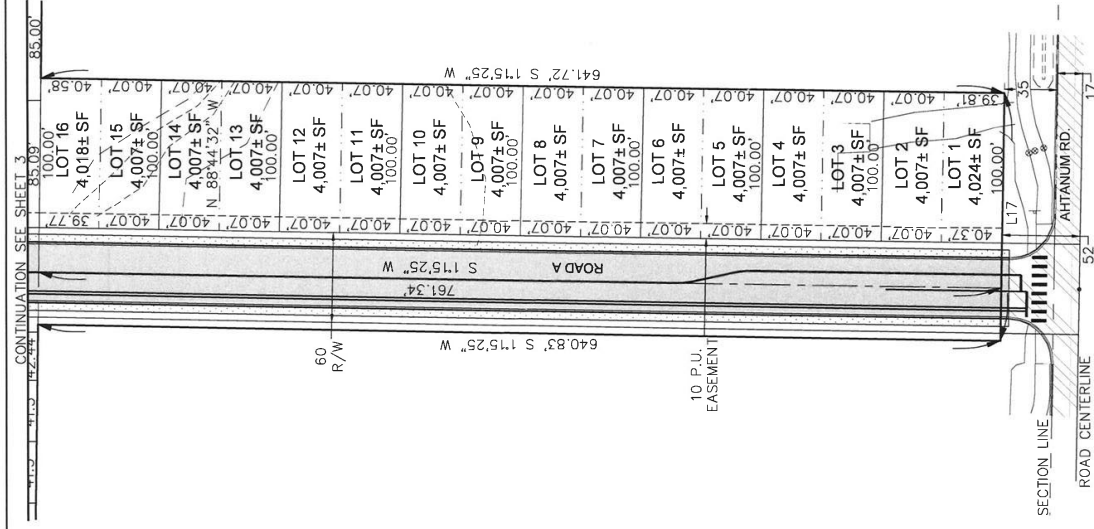
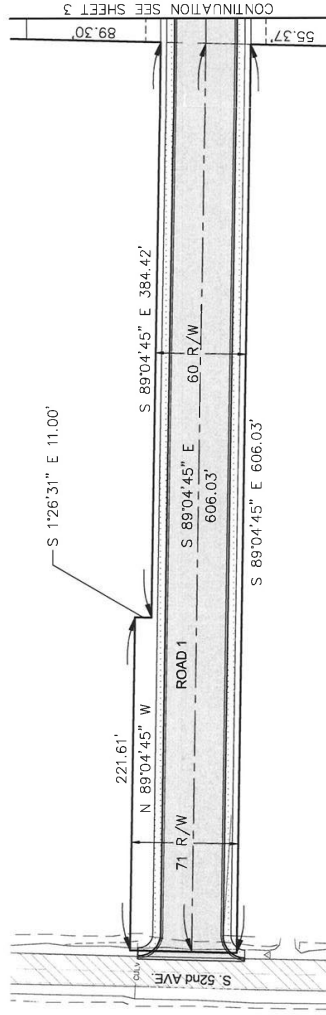
DESIGNED BY:  
ENTERED BY:[illegible]



RL -VED

OCT 18 2023

CITY OF YAKIMA  
COMMUNITY DEVELOPMENT



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2803 River Road  
Yakima, WA 98902  
509.966.7000  
Fax 509.965.3800  
www.hla civil.com



JOB NUMBER: 10-00-23  
DATE: 10-06-23  
FILE NAME: 22115.dwg  
DRAWING: 22115.dwg  
DESIGNED BY: MRH  
ENTERED BY: MDH

PRICKLY PEAR HOLDING  
PARCEL NO. 181204-13018 & 181204-13016  
CITY OF YAKIMA, YAKIMA COUNTY, WASHINGTON  
PRELIMINARY PLAT OVERALL

SHEET 4 OF 4

PARCEL NO. 181204-13018 & 181204-13016

[illegible]



CITY OF YAKIMA PLANNING DIVISION  
DST COMMENTS SUBMITTED IN SMARTGOV

**Project Name:** PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS PARK PHASE 1"

**File Number:** PLP#002-23, CL2#038-23, SEPA#011-23

DST - NOB HILL WATER	DST COMMENTS	Nob Hill Water has the capacity to serve this development. Developer will need to provide Nob Hill Water with signed engineering plans so they can begin the domestic water extension design.	10/19/2023	DUSTIN.YATES@YAKIMAWA.GOV
DST - SURFACE WATER	DST COMMENTS	This large project will require a SWPPP Permit for construction activities. Prior to any grading, a stormwater pollution prevention plan shall be submitted for approval to the Surface Water Engineer, and all temporary erosion and sediment control measures shall be in place and be inspected by the ...	11/14/2023	randy.meloy@yakimawa.gov
DST - WASTEWATER	DST COMMENTS	Sewer will need to be extended on site per City of Yakima Title 12 requirements and Engineering standard details.	11/13/2023	dana.kallevig@yakimawa.gov

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# 05

**DATE:** January 4, 2024

**TO:** Connor Kennedy, Assistant Planner

**FROM:** Kirsten McPherson, Development Engineer

**RE:** PLP#002-23, CL2#038-23, SEPA#011-23 – 4607 & 4701 LOWER AHTANUM RD. –  
“PLAT OF CHAMPIONS PARK PHASE 1” - (Parcel # 18120413018) – PRICKLY  
PEAR HOLDINGS LLC

---

**Project Description –** Proposed preliminary long plat to subdivide approximately 21.06 acres into 93 single-family lots, including 46 common wall dwellings, in the R-1 and R-2 zoning districts.

This project proposes that 21.06 acres be developed into 93 single-family lots, including 46 common wall dwellings at 4607 & 4701 Lower Ahtanum Rd., also known as “Plat of Champions Park Phase 1”. The property currently is two vacant parcels. The proposed development will cause increased pedestrian and vehicle traffic without adequate safety precautions for pedestrians. The proposed development has the potential for more frequent trips in and out of the property. Current frontage infrastructure is not adequate enough to handle the new proposed 93 single-family lots, including 46 common wall dwellings.

In order to alleviate the resulting impacts from the change in use proposal, the City is requiring the following improvements:

**YMC 8.60 and 12.05 –** New curb, gutter, ADA ramps and 5' sidewalk, including associated storm drainage, shall be installed. Street improvements shall conform to standard detail R3. New sidewalks shall be constructed per standard detail R5.

**YMC 8.64 and 15.06.065 –** Residential driveway approaches are required which meets the requirements of this chapter and standard detail R4. Driveway width shall be a max. of 20'.

**YMC 12.06.020 –** Right of way – Applicant shall determine adequate dedication of right of way for all new/proposed roads.

**YMC 15.05.040 –** Clear vision triangle shall be maintained per this chapter.

**YMC 12.06.080 -** Street lighting - Street lights shall be installed per this chapter.

**YMC 12.02 –** Easements shall be established and maintained per this chapter.

**YMC 8.72 –** An excavation and street break permit shall be obtained for all work within the public right of way.

An ENG permit is required for all civil work to be performed on site. Professional engineered civil plans with PE stamp shall be submitted for review and approval. All improvements shall be completed prior to Certificate of Occupancy.

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# D4



**COMMUNITY DEVELOPMENT DEPARTMENT**

*Code Administration Division*

*129 North Second Street, 2nd Floor Yakima, Washington 98901*

*Phone (509) 575-6126 • Fax (509) 576-6576*

*codes@yakimawa.gov • www.buildingyakima.com*

November 17, 2023

Conner Kennedy  
City of Yakima Planning Division  
129 N 2<sup>nd</sup> St.  
Yakima, WA 98901

From: Glenn Denman, City of Yakima Building Official

Re: DST Comments: PLP#002-23, 4607 & 4701 Lower Ahtanum Rd

Pursuant to the Chapter 5 of the Washington State Fire Code (WSFC), publicly available fire hydrants will be required along streets spaced at intervals that will provide required fire flow coverage for proposed structures in accordance with WSFC Appendix C.

Required items such as, but not limited to, fire department apparatus access roads, turnarounds, hammerheads, sanitary sewer systems, fire hydrants or other required fire/life/safety site improvements shall be installed and approved prior to final plat approval.

Bonding (if applicable) in lieu of required improvements is subject to approval of the City Engineer.

These findings are not intended to be an exhaustive review of this proposal.

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COMMUNITY DEVELOPMENT DEPARTMENT

Joan Davenport, AICP, Director

Glenn Denman, Manager

Code Administration Division

129 North Second Street, 2nd Floor Yakima, Washington 98901

Phone (509) 575-6126 • Fax (509) 576-6576 E-mail: codes@yakimawa.gov

70

October 25, 2023

To: City of Yakima Planning Division

From: Lisa Maxey, Community Development Administrative Assistant

Re: Preliminary Addressing for PLP#002-23 – Plat of Champions Park Phase 1  
Subdivide 2 parcels into 93 single-family lots in the vicinity of 4607/4701 Ahtanum Rd  
181204-13016 & -13018

**Preliminary Addressing for this Proposal:**

- All addresses shall be clearly shown on the face of the Final Plat (RCW 58.17.280). Additionally, a note shall be shown on the face of the Final Plat stating: "The addresses shown on this plat are accurate as of the date of recording, but may be subject to change. The City of Yakima Code Administration Division is responsible for the confirmation or reassignment of addresses at the time of building permit issuance." The following addresses shall be utilized for the created lots:

Lot 1:	2533 S 47 <sup>th</sup> Ave	Lot 28:	4611 W Larch Ave / 2401 S 47 <sup>th</sup> Ave
Lot 2:	2531 S 47 <sup>th</sup> Ave	Lot 29:	4701 W Larch Ave / 2400 S 47 <sup>th</sup> Ave
Lot 3:	2529 S 47 <sup>th</sup> Ave	Lot 30:	4703 W Larch Ave
Lot 4:	2527 S 47 <sup>th</sup> Ave	Lot 31:	4705 W Larch Ave
Lot 5:	2525 S 47 <sup>th</sup> Ave	Lot 32:	4707 W Larch Ave
Lot 6:	2523 S 47 <sup>th</sup> Ave	Lot 33:	4709 W Larch Ave
Lot 7:	2521 S 47 <sup>th</sup> Ave	Lot 34:	4801 W Larch Ave
Lot 8:	2519 S 47 <sup>th</sup> Ave	Lot 35:	4803 W Larch Ave
Lot 9:	2517 S 47 <sup>th</sup> Ave	Lot 36:	4805 W Larch Ave
Lot 10:	2515 S 47 <sup>th</sup> Ave	Lot 37:	4807 W Larch Ave
Lot 11:	2513 S 47 <sup>th</sup> Ave	Lot 38:	4809 W Larch Ave
Lot 12:	2511 S 47 <sup>th</sup> Ave	Lot 39:	4811 W Larch Ave / 4901 Woolsey Rd
Lot 13:	2509 S 47 <sup>th</sup> Ave	Lot 40:	4824 W Oak Ave / 4900 Woolsey Rd
Lot 14:	2507 S 47 <sup>th</sup> Ave	Lot 41:	4822 W Oak Ave
Lot 15:	2505 S 47 <sup>th</sup> Ave	Lot 42:	4820 W Oak Ave
Lot 16:	2503 S 47 <sup>th</sup> Ave	Lot 43:	4818 W Oak Ave
Lot 17:	2501 S 47 <sup>th</sup> Ave / 4612 W Oak Ave	Lot 44:	4816 W Oak Ave
Lot 18:	4610 W Oak Ave	Lot 45:	4814 W Oak Ave
Lot 19:	4608 W Oak Ave	Lot 46:	4812 W Oak Ave
Lot 20:	4606 W Oak Ave	Lot 47:	4810 W Oak Ave
Lot 21:	4604 W Oak Ave	Lot 48:	4808 W Oak Ave
Lot 22:	4602 W Oak Ave	Lot 49:	4806 W Oak Ave
Lot 23:	4600 W Oak Ave / 4600 Woolsey Rd	Lot 50:	4804 W Oak Ave
Lot 24:	4601 W Larch Ave / 4601 Woolsey Rd	Lot 51:	4802 W Oak Ave
Lot 25:	4603 W Larch Ave	Lot 52:	4800 W Oak Ave
Lot 26:	4605 W Larch Ave	Lot 53:	4708 W Oak Ave
Lot 27:	4609 W Larch Ave	Lot 54:	4706 W Oak Ave

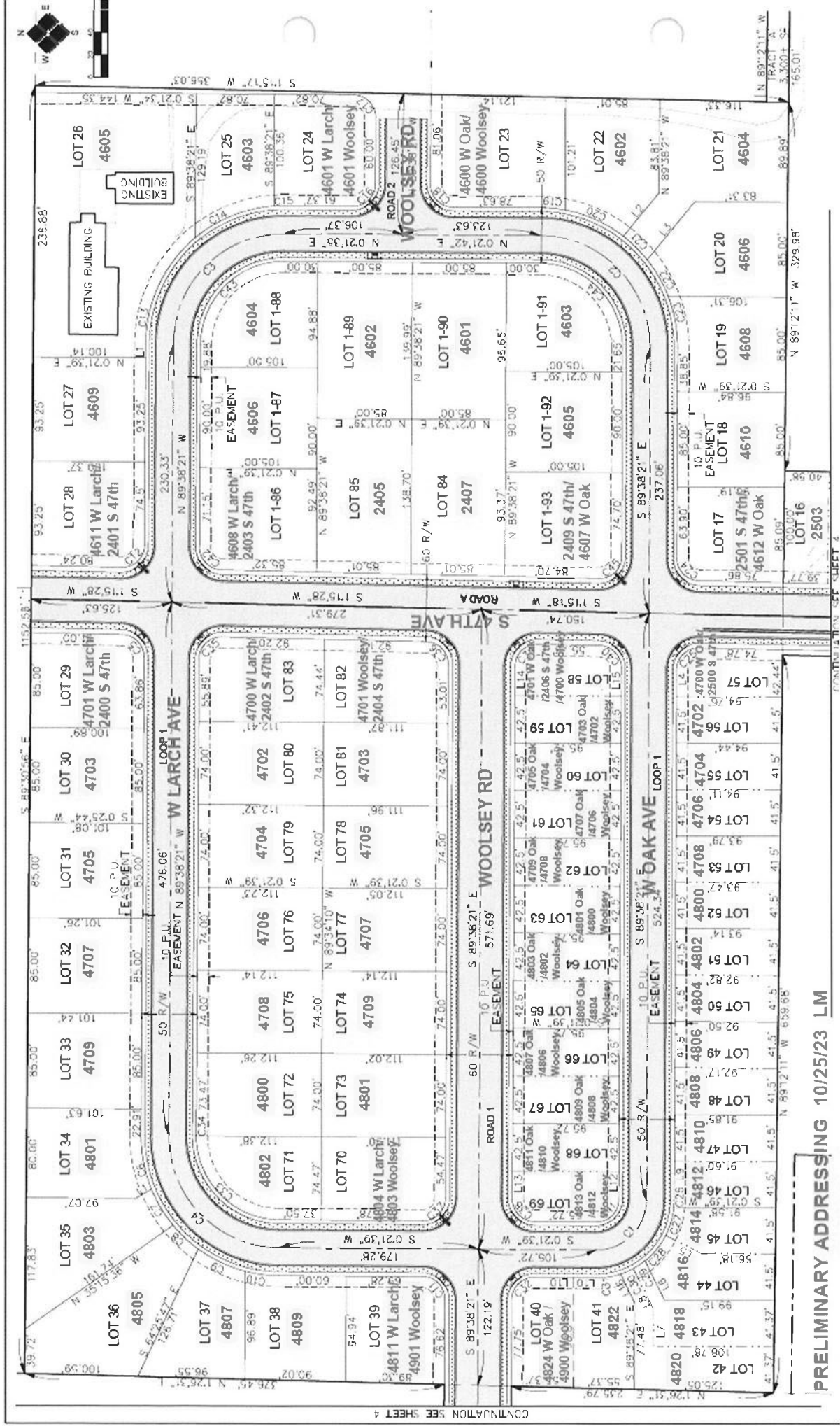
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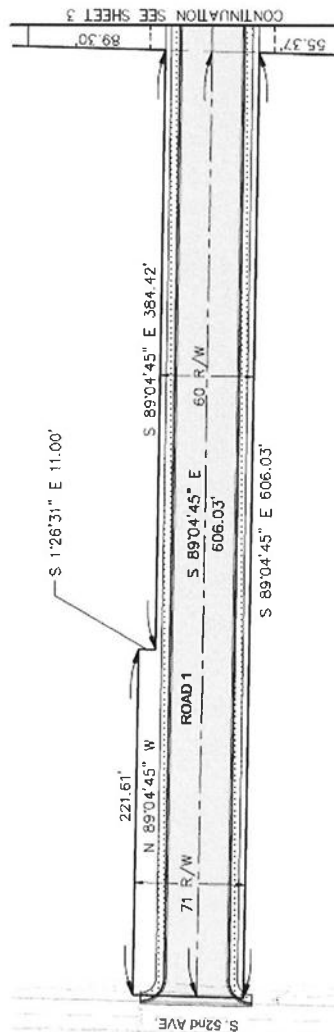
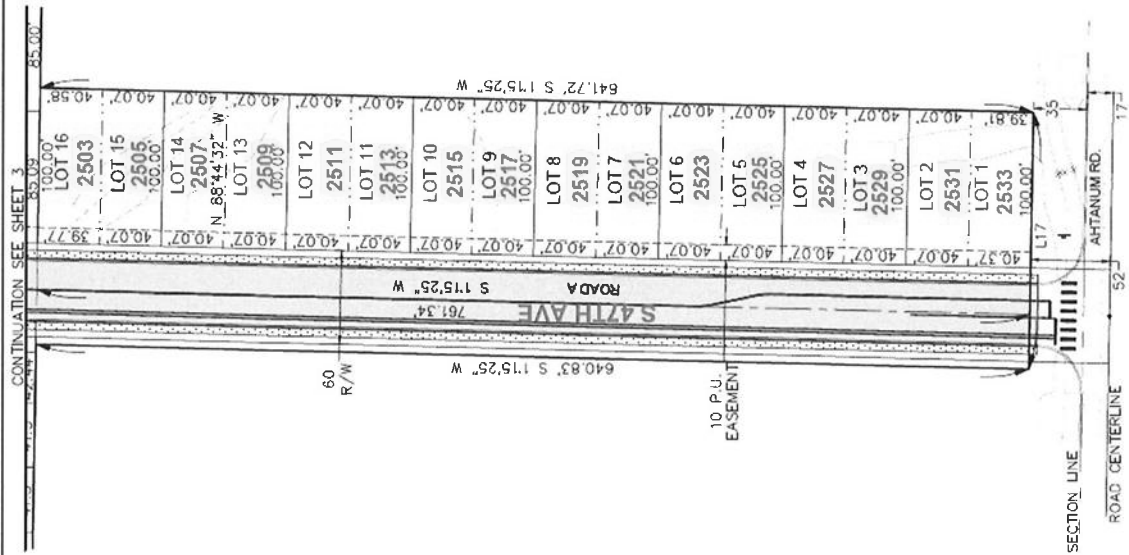
Lot 55:	4704 W Oak Ave	Lot 75:	4708 W Larch Ave
Lot 56:	4702 W Oak Ave	Lot 76:	4706 W Larch Ave
Lot 57:	4700 W Oak Ave / 2500 S 47 <sup>th</sup> Ave	Lot 77:	4707 Woolsey Rd
Lot 58:	4701 W Oak Ave / 2406 S 47 <sup>th</sup> Ave / 4700 Woolsey Rd	Lot 78:	4705 Woolsey Rd
Lot 59:	4703 W Oak Ave / 4702 Woolsey Rd	Lot 79:	4704 W Larch Ave
Lot 60:	4705 W Oak Ave / 4704 Woolsey Rd	Lot 80:	4702 W Larch Ave
Lot 61:	4707 W Oak Ave / 4706 Woolsey Rd	Lot 81:	4703 Woolsey Rd
Lot 62:	4709 W Oak Ave / 4708 Woolsey Rd	Lot 82:	4701 Woolsey Rd / 2404 S 47 <sup>th</sup> Ave
Lot 63:	4801 W Oak Ave / 4800 Woolsey Rd	Lot 83:	4700 W Larch Ave / 2402 S 47 <sup>th</sup> Ave
Lot 64:	4803 W Oak Ave / 4802 Woolsey Rd	Lot 84:	2407 S 47 <sup>th</sup> Ave
Lot 65:	4805 W Oak Ave / 4804 Woolsey Rd	Lot 85:	2405 S 47 <sup>th</sup> Ave
Lot 66:	4807 W Oak Ave / 4806 Woolsey Rd	Lot 1-86:	4608 W Larch Ave / 2403 S 47 <sup>th</sup> Ave
Lot 67:	4809 W Oak Ave / 4808 Woolsey Rd	Lot 1-87:	4606 W Larch Ave
Lot 68:	4811 W Oak Ave / 4810 Woolsey Rd	Lot 1-88:	4604 W Larch Ave
Lot 69:	4813 W Oak Ave / 4812 Woolsey Rd	Lot 1-89:	4602 W Larch Ave
Lot 70:	4804 W Larch Ave / 4803 Woolsey Rd	Lot 1-90:	4601 W Oak Ave
Lot 71:	4802 W Larch Ave	Lot 1-91:	4603 W Oak Ave
Lot 72:	4800 W Larch Ave	Lot 1-92:	4605 W Oak Ave
Lot 73:	4801 Woolsey Rd	Lot 1-93:	4607 W Oak Ave / 2409 S 47 <sup>th</sup> Ave
Lot 74:	4709 Woolsey Rd		

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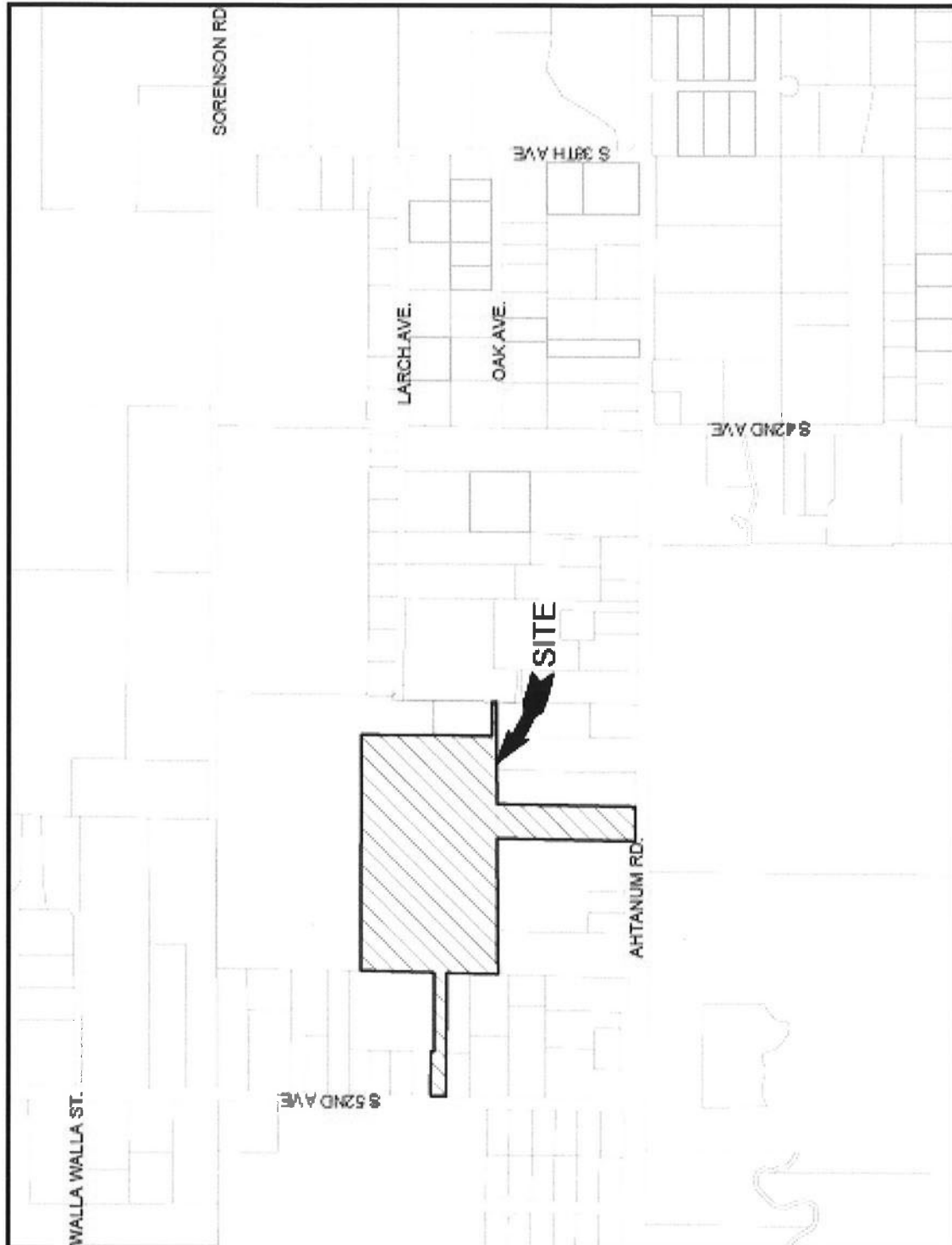
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VICINITY MAP

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# D2



**City of Yakima Development Services Team  
Request For Comments  
November 7, 2023**

<b>To:</b>	City of Yakima Development Services Team
<b>From:</b>	Connor Kennedy, Assistant Planner
<b>Subject:</b>	Request for Comments
<b>Applicant:</b>	HLA Engineering & Surveying
<b>File Numbers:</b>	PLP#002-23
<b>Location:</b>	4607 & 4701 AHTANUM RD
<b>Parcel Number(s):</b>	18120413018, 18120413016
<b>DST MEETING DATE:</b>	11/14/2023

**Proposal**

Proposed preliminary long plat to subdivide 21.06 acres into 93 single-family lots and environmental review in the R-1 and R-2 zoning districts.

Please review the attached application and site plan and prepare any written comments you might have regarding this proposal. This project will come up for discussion at the weekly DST meeting to be held **November 14, 2023 at 2:00 p.m.** As always, should you have comments, but find you are unable to attend, please submit your comments prior to the meeting. Should you have any questions, or require additional information, please contact me at [connor.kennedy@yakimawa.gov](mailto:connor.kennedy@yakimawa.gov) or (509) 575-6162.

**Comments:**


\_\_\_\_\_  
Contact Person

\_\_\_\_\_  
Department/Agency

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# 0-1

## CHAPTER E

### Applications

[illegible]



# LAND USE APPLICATION

CITY OF YAKIMA, DEPARTMENT OF COMMUNITY DEVELOPMENT  
129 NORTH SECOND STREET, 2ND FLOOR, YAKIMA, WA 98901

PHONE: (509) 575-6183 EMAIL: ask.planning@yakimawa.gov

RECEIVED

OCT 20 2023

CITY OF YAKIMA  
PLANNING DIV.

## INSTRUCTIONS -- PLEASE READ FIRST AND ANSWER ALL QUESTIONS COMPLETELY.

If you have any questions about this form or the application process, please ask to speak with a planner. All necessary attachments and the filing fee are required upon submittal. Filing fees are not refundable. This application consists of four parts. PART I - GENERAL INFORMATION AND PART V - CERTIFICATION are on this page. PART II, III, and IV contain additional information specific to your proposal and MUST be attached to this page to complete the application.

## PART I - GENERAL INFORMATION

1. Applicant's Information:	Name:	HLA Civil Engineering c/o Mike Heit						
	Mailing Address:	2803 River Road						
	City:	Yakima	St:	WA	Zip:	98902	Phone:	( 509 ) 966-7000
	E-Mail:	mheit@hlacivil.com						
2. Applicant's Interest in Property:	Check One:	<input type="checkbox"/> Owner	<input checked="" type="checkbox"/> Agent	<input type="checkbox"/> Purchaser	<input type="checkbox"/> Other _____			
3. Property Owner's Information (If other than Applicant):	Name:	Prickly Pear Holdings LLC						
	Mailing Address:	2550 Borton Road						
	City:	Yakima	St:	WA	Zip:	98903	Phone:	( 509 ) 945-3438
	E-Mail:	byron@bortonfruit.com						

4. Subject Property's Assessor's Parcel Number(s): 18120413016

5. Legal Description of Property. (if lengthy, please attach it on a separate document)

See attached

6. Property Address: 4701 Ahtanum Road

7. Property's Existing Zoning:

☐ SR ☒ R-1 ☐ R-2 ☐ R-3 ☐ B-1 ☐ B-2 ☐ HB ☐ SCC ☐ LCC ☐ CBD ☐ GC ☐ AS ☐ RD ☐ M-1 ☐ M-2

8. Type Of Application: (Check All That Apply)

☒ Type (2) Review ☐ Administrative Adjustment ☐ Environmental Checklist (SEPA Review)  
☐ Transportation Concurrency ☐ Critical Areas Review ☐ Other: \_\_\_\_\_  
☐ Master Application  
(select if submitting two or more applications under Title 15)

PART II - LAND USE DESIGNATION (See attached page)

PART III - ATTACHMENTS INFORMATION (See attached page)

PART IV - WRITTEN NARRATIVE (See attached page)

## PART V - CERTIFICATION

I certify that the information on this application and the required attachments are true and correct to the best of my knowledge.

Property Owner's Signature

10-18-23  
Date

Applicant's Signature

Date

FILE/APPLICATION(S)#

CL2#030-23

DATE FEE PAID:

10/20/2023

RECEIVED BY:

online

AMOUNT PAID:

\$1,372.00

RECEIPT NO:

00123.003437





Supplemental Application For:  
**TYPE (2) REVIEW**  
 YAKIMA URBAN AREA ZONING ORDINANCE, CHAPTER 15.14

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CITY OF YAKIMA  
PLANNING DIV.
**PART II – LAND USE DESIGNATION AS LISTED ON TABLE 4-1 PERMITTED LAND USES**

1. PROPOSED LAND USE TYPE: (See YMC § 15.04.030)

Attached Single-Family Dwelling, Common Wall (\*)

**PART III - ATTACHMENTS INFORMATION**

2. SITE PLAN REQUIRED (Please use the City of Yakima Site Plan Checklist, attached)

3. TRAFFIC CONCURRENCY (if required, see YMC Ch. 12.08, Traffic Capacity Test)

4. ENVIRONMENTAL CHECKLIST (if required by the Washington State Environmental Policy Act)

**PART IV - WRITTEN NARRATIVE: (Please submit a written response to the following questions)**

A. Fully describe the proposed development, including number of dwelling units and parking spaces. If the proposal is for a business, describe hours of operation, days per week and all other relevant information related the business.

The proposed Champions Park Phase I subdivision will subdivide approximately 21.06 acres into 93 lots, 46 of those are proposed to be attached single-family, common wall dwellings, which span two zoning districts, Single-Family and Two-Family. In the Single-Family Residential zoning district, 16 lots are proposed to be common wall.

B. How is the proposal compatible to neighboring properties?

The neighboring property to the west is a manufactured home park which includes higher density residential, the property to the north is being developed as part of this application and will include similar densities, lot sizes, and future common wall dwellings. The property to the east is a single family residential home outside of city limits.

C. What mitigation measures are proposed to promote compatibility?

No other deviations to development standards are proposed. The lots will meet density allowances, setbacks, lot coverage, and all other requirements of the zoning district.

D. How is your proposal consistent with current zoning of your property?

Attached, common wall single-family dwelling units are an allowed use in the Single-Family (R-1) zoning district under a Type 2 level review.

E. How is your proposal consistent with uses and zoning of neighboring properties?

The surrounding zoning of neighboring properties is Two-Family Residential or otherwise in the county and not in city limits. The property to the north proposes to be developed similarly, with attached, single-family common wall dwelling units.

F. How is your proposal in the best interest of the community?

This proposal meets several of the city's goals and policies of the 2040 Comprehensive Plan, including, but not limited to, Goal 2.3, Policies 2.3.1, 2.3.2, 2.3.4, 2.3.5.

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# City of Yakima, Washington

## TRANSPORTATION CAPACITY ANALYSIS

CITY OF YAKIMA  
PLANNING DIV.

The Washington State Growth Management Act (RCW 36.70A.70) requires all new development to be consistent with the existing or planned street system capacities. The City of Yakima adopted YMC Ch. 12.08 to implement this local requirement. The information you provide with this application will be used to estimate the impact of your development upon the PM Peak Hour traffic on the City of Yakima arterial streets.

### APPLICATION INFORMATION

**Applicant Name:** HLA Civil Engineering      **Project Address:** 4607 Lower Ahtanum/ 4701 Ahtanum

**Contact Person:** Mike Heit

**Mailing Address:** 2803 River Road

Yakima, WA 98902      **Parcel No(s):** 181204-13018 & 13016

Please fill out the appropriate column for your proposed use:

For RESIDENTIAL Use:	For COMMERCIAL Use:	For INDUSTRIAL Use:
Housing Type* <u>Single Family</u> (Single-Family, Apartments, etc)	Describe Use* _____	Describe Use* _____
Special Population* _____ (Nursing Homes, etc)	Gross Floor Area _____	Gross Floor Area _____
Other* _____ (Group Home, Daycare, Church, etc.)	Parking Spaces _____ (Required/Provided)	Parking Spaces _____ (Required/Provided)
Number of Units <u>93</u>	Number of Employees _____	Number of Employees _____

\*Uses must match up with YMC Ch. 15.04, Table 4-1

**Project Description:** The proposed Champions Park Phase 1 subdivision will subdivide approximately 21.06 acres into

93 single family lots that will have access to south on Ahtanum and to the west on to S. 52th Avenue.

Submit this form with a site plan, the application fee, and any attachments to the City of Yakima, Permit Center, Yakima City Hall, 129 N. 2nd Street, Yakima, WA 98901. You will receive a Notice of Decision explaining the Findings of the resulting analysis. Please review the Decision when it is sent to you, as you only have 14 days to file a Request for Reconsideration or an Appeal.

**Questions?** Contact the City of Yakima, Planning Division, 129 N. 2nd Street, Yakima, WA 98901 - (509) 575-6183

<b>FILE/APPLICATION #:</b> <u>TCO#008-23</u>			
<b>DATE FEE PAID:</b> <u>10/12/2023</u>	<b>RECEIVED BY:</b> <u>Online</u>	<b>AMOUNT PAID:</b> <u>\$325.00</u>	<b>RECEIPT NO:</b> <u>CR23-003339</u>

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CITY OF YAKIMA  
PLANNING DIV.

## PROJECT DESCRIPTION TRAFFIC CONCURRENCY

The Plat of Champions Park Phase 1 will subdivide approximately 21.06 acres into 93 single family lots. The lot sizes vary in size from approximately 3,818 square feet to 30,746 square feet. The lots will have frontage onto a public roadway that will be constructed as part of this project.

Access to the plat will be from extensions off Ahtanum Road and S. 52<sup>nd</sup> Avenue. Nob Hill Water will serve the lots with domestic water. City of Yakima sewer will serve the sewerage needs. Storm water will be contained on-site in underground infiltration.

There are no existing surface bodies of water within the development.

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# E-3

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**ENVIRONMENTAL CHECKLIST** 09 2023

STATE ENVIRONMENTAL POLICY ACT (SEPA)

(AS TAKEN FROM WAC 197-11-960)

YAKIMA MUNICIPAL CODE CHAPTER 6.88

CITY OF YAKIMA  
PLANNING DIV.**PURPOSE OF CHECKLIST**

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

**INSTRUCTIONS FOR APPLICANTS**

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help you describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

**USE OF CHECKLIST FOR NONPROJECT PROPOSALS**

For non-project proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D). Please completely answer all questions that apply and note that the words "project", "applicant", and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B – Environmental Elements – that do not contribute meaningfully to the analysis of the proposal.

**A. BACKGROUND INFORMATION (To be completed by the applicant.)****1. Name Of Proposed Project (If Applicable):**

Prickly Pear Holdings, LLC

**2. Applicant's Name & Phone:**

HLA Engineering &amp; Land Surveying, Inc | Mike Heit | 509-966-7000

**3. Applicant's Address:**

2803 River Road, Yakima, WA 98902

**4. Contact Person & Phone:**

Mike Heit | 509-966-7000

**5. Agency Requesting Checklist:** City of Yakima**6. Proposed Timing Or Schedule (Including Phasing, If Applicable):**

The SEPA is in conjunction with a Preliminary Plat Application for Champions Park Phase 1 and proposed construction of residential buildings. Phase 1 property will be fully developed upon completion of this project.

**7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain:**

The SEPA is in conjunction with a Preliminary Plat Application for Phase I of Champions Park and proposed construction of residential buildings. Property will be fully developed upon completion of this project.

**8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal:**

There is no know environmental information that has been performed on this property.

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CITY OF YAKIMA  
PLANNING DIV.**A. BACKGROUND INFORMATION (To be completed by the applicant.)**

- 9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain:**

There are no known pending applications.

- 10. List any government approvals or permits that will be needed for your proposal, if known:**

City of Yakima – Preliminary Plat Approval

City of Yakima - SEPA Determination.

City of Yakima - Stormwater Approval.

City of Yakima - Building Permit Approval.

City of Yakima - Plan review and approval, and construction approval for municipal facilities constructed by private parties

- 11. Give a brief, but complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.):**

The proposed Champions Park Phase I subdivision will subdivide approximately 21.06 acres into 93 lots single family lots (46 being common wall). The lot sizes will vary in size from approximately 3,818 square feet to 30,746 square feet. The lots will have frontage onto a public roadway which will be improved as part of this project.

Access to the plat will be from Ahtanum and S 52nd Ave. Nob Hill Water will serve the lots with domestic water. City of Yakima sewer will serve sewage needs. Stormwater will all be contained on-site in underground filtration. Stormwater will all be contained on-site in underground filtration.

- 12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist:**

Phase I of Champions Park will occur over two parcels 18120413016 and -413018. They are addressed as follows, 4701 Ahtanum Road and 4607 Lower Ahtanum Road. See attached legal description.

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# E-2

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**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)**

OCT 09 2023

**EARTH****1. General description of the site (✓ one):**
☒ flat ☐ rolling ☐ hilly ☐ steep slopes ☐ mountainous ☐ other:
CITY OF YAKIMA  
PLANNING DIV.**2. What is the steepest slope on the site (approximate percent slope)?**

The steepest slope is approximately 1 percent.

**3. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.**

National Resources Conservation Service Soil Mapping was consulted regarding the on-site soils at the plant site. The USDA Soil Conservation Service (SCS) indicated the primary soil for the site is a Umapine Silt Loam which is a CL, ML or A-4 soil type. The remainder of the site is Track Loam, which is a CL, SC or A-4 soil type. The Umapine Silt Loam, and Track Loam are considered prime farmland if irrigated.

**4. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.**

There are no known indications of unstable soils on site or in the immediate vicinity. The finish elevations of the roadways will be graded to match the existing ground elevations within the floodplain so there will be no net rise. No net increase or decrease in quantity of material is anticipated, so the same floodplain volume is available after the project is completed.

**5. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.**

The project consists of usual and normal embankment construction for new streets and building lots.

**6. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.**

It is possible erosion could occur during the construction phase of the development, but it is not expected. After construction is completed, each individual residential lot will be landscaped, and long-term erosion is unlikely to occur.

**7. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?**

Lot coverage allowances in the R-1 and R-2 is 60%, plus public roads and frontage improvements.

**8. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:**

During the site development and construction activities, the contractor will be required to utilize appropriate erosion control Best Management Practices, and regulatory erosion control stormwater management plans will be implemented. Silt fencing and dust control measures will be implemented. The site will be permanently stabilized post-construction by sodding and landscaping.

**AIR****1. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.**

Typical emissions of dust and automobile odors will be generated during construction. Dust is not expected after construction as the site will be fully landscaped and irrigated, or will be covered with asphalt concrete pavement. After project completion, there will be no adverse effects on the air, the emissions will be from automobiles belonging to local residents and staff. Minimal emissions from commercial heating devices may occur after project completion. Approximate quantities are not known.

**2. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.**

None are known to exist.

**3. Proposed measures to reduce or control emissions or other impacts to air, if any:**

The contractor shall comply with Yakima County Clean Air Authority regulatory requirements. The contractor may be required to use dust control measures such as watering of the construction area to eliminate wind-borne erosion if a problem arises. The contractor will also be required to clean mud and dust from public roadways as necessary. In addition, construction equipment will be well maintained to prevent excessive exhaust emissions.

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CITY OF YAKIMA  
PLANNING DIV.**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****SURFACE WATER**

1. Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

There are no existing surface bodies of water within the development.

2. Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

There will be no work over or in any bodies of water.

3. Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

No fill or dredge material will be placed or removed from any surface water or wetlands.

4. Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

The new development will not require any surface water withdrawals or diversions.

5. Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

Phase I of Champions Park does not lie within the 100-year floodplain.

6. Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

The proposal will not discharge any waste material to surface waters.

**GROUND WATER**

1. Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

The proposal will not withdraw or discharge to ground water. Temporary dewatering during construction of the sewer line is likely to occur, quantities are unknown. Domestic water supply is proposed from the Nob Hill Water which has deep source water wells.

2. Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

Waste materials will not be discharged from any source into the ground. The projects will be connected to City of Yakima public sanitary sewer.

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**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)**

CITY OF YAKIMA  
PLANNING DIV.

**WATER RUNOFF (INCLUDING STORM WATER)**

1. Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

The sources of water runoff will be primarily from rainfall and snowmelt. The runoff is proposed to be collected and managed on-site via surface retention and infiltration facilities or underground infiltration facilities. Stormwater treatment and disposal facilities will be designed and sized in accordance with the Eastern Washington Storm Water Manual and City of Yakima standards. This project will not result in the discharge of storm water into a surface water body.

2. Could waste materials enter ground or surface waters? If so, generally describe.

No waste materials are anticipated to enter ground or surface waters.

3. Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

The development does not propose to alter or affect drainage patterns.

4. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

Stormwater runoff from the roads will be retained, treated, and disposed of on-site via underground infiltration facilities. Stormwater from homes will be directed onto landscaped areas on each residential lot. Accepted BMP engineering practices for stormwater drainage systems will be implemented to collect and manage the surface and runoff water impacts.

**PLANTS**

1. Check (✓) types of vegetation found on the site:

Deciduous Trees:	Evergreen Trees:	Wet Soil Plants:	Water Plants:	Other:
<input type="checkbox"/> Alder	<input type="checkbox"/> Fir	<input type="checkbox"/> Cattail	<input type="checkbox"/> Milfoil	<input type="checkbox"/> Shrubs
<input type="checkbox"/> Maple	<input type="checkbox"/> Cedar	<input type="checkbox"/> Buttercup	<input type="checkbox"/> Eelgrass	<input type="checkbox"/> Grass
<input type="checkbox"/> Aspen	<input type="checkbox"/> Pine	<input type="checkbox"/> Bulrush	<input type="checkbox"/> Water Lily	<input checked="" type="checkbox"/> Pasture
<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> Skunk Cabbage	<input type="checkbox"/> Other	<input type="checkbox"/> Crop Or Grain
		<input type="checkbox"/> Other		<input type="checkbox"/> Orchards, vineyards, or other permanent crops
				<input type="checkbox"/> Other types of vegetation

2. What kind and amount of vegetation will be removed or altered?

The development will be cleared of existing natural occurring pasture grasses and trees where necessary for the construction of the street, utility improvements, and home construction.

3. List threatened or endangered species known to be on or near the site.

There are no listed endangered or threatened plants on the project site or within the general project vicinity.

4. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

The completed residential homesites will be landscaped with typical residential lawns, trees, flowers, and shrubs.

5. List all noxious weeds and invasive species known to be on or near the site.

Invasive grasses.



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**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)**CITY OF YAKIMA  
PLANNING DIV.**ANIMALS**

1. List any birds or other animals which have been observed on or near the site or are known to be on or near the site.

*Examples include:*

*birds: hawk, heron, eagle, songbirds, other:*

*mammals: deer, bear, elk, beaver, other:*

*fish: bass, salmon, trout, herring, shellfish, other:*

Songbirds

2. List any threatened or endangered species known to be on or near the site.

There are no known endangered or threatened species on or near the project site.

3. Is the site part of a migration route? If so, explain.

Most of Washington State is part of the Pacific Flyway migratory route for birds.

4. Proposed measures to preserve or enhance wildlife, if any:

None.

5. List any invasive animal species known to be on or near the site.

None.

**ENERGY AND NATURAL RESOURCES**

1. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

It is anticipated that electricity will be the primary sources of cooling and heating the residences. Electricity will also be used for normal residential demands of lighting, etc. During construction: equipment fuel.

2. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

The project will not affect the potential use of solar energy by adjacent properties.

3. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

New construction will be built to Washington State Energy Codes and as required by the International Building Code.

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**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)**CITY OF YAKIMA  
PLANNING DIV.**ENVIRONMENTAL HEALTH**

1. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste that could occur as a result of this proposal? If so, describe.

There are no known environmental health hazards that could occur as a result of proposal. A fuel spill may occur as a result of construction activities.

2. Describe any known or possible contamination at the site from present or past uses.

There are no known contamination issues at the site, past or present.

3. Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

There are no known existing hazardous chemicals or conditions on the site or in the vicinity.

4. Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

There are no proposed toxic or hazardous chemicals that will be used in conjunction of this development.

5. Describe special emergency services that might be required.

There are no known emergency services that would be needed as a result of this new building. Emergency medical aid may be required should an injury occur during construction.

6. Proposed measures to reduce or control environmental health hazards, if any:

There are no known environmental health hazards associated with this proposal, therefore there are no proposed measures. The site is a historic pasture and the land was tested for arsenic during previous development and shown to be below the thresholds of concern.

**NOISE**

1. What types of noise exist in the area, which may affect your project (for example: traffic, equipment, operation, other)?

Traffic noise from adjacent public streets.

2. What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Short-term noise consists of construction activities associated with commercial construction. Construction noise can be expected from approximately 7:00 a.m. to 7:00 p.m.

Long-term noise is expected from the typical residential maintenance equipment, i.e. lawn mowers, leaf blowers, power trimmers, snow blowers, etc. during daylight hours.

3. Proposed measures to reduce or control noise impacts, if any:

No adverse noise impacts are anticipated; however, we propose to restrict construction to 7:00 a.m. to 7:00 p.m.. In addition, we will comply with the City of Yakima and Yakima County Noise Ordinance, as it applies to this project.

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CITY OF YAKIMA  
PLANNING DIV.**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****LAND AND SHORELINE USE**

1. **What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.**

The project area consists of unused open land. There will be a residential subdivision located immediately to the north and east as Phase 4 and Phase 5 of the development. There is a manufactured home community just to the west and south of the proposed development.

2. **Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?**

The site has not been used for agriculturally for fruit production. The site has been used to pasture cows or grow alfalfa. The site is a historic pasture and the land was tested for arsenic during previous development and shown to be below the thresholds of concern.

3. **Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:**

This proposed development will not adversely affect the surrounding areas.

4. **Describe any structures on the site.**

There are currently existing structures onsite. The two existing buildings on parcel 18120413018 will remain on their own independent parcel. The buildings on 18120413016 will be demolished.

5. **Will any structures be demolished? If so, what?**

Three buildings on 18120413016 will be removed through a demo permit process.

6. **What is the current zoning classification of the site?**

Single-Family Residential (R-1) and Two-Family Residential District (R-2)

7. **What is the current comprehensive plan designation of the site?**

Future Land Use: Low Density and Mixed Residential

8. **If applicable, what is the current shoreline master program designation of the site?**

N/A

9. **Has any part of the site been classified as a critical area by the city or county? If so, specify.**

Phase I of Champions Park does not have any critical areas.

10. **Approximately how many people would reside or work in the completed project?**

251 or (2.7 people per home with 93 homes proposed)

11. **Approximately how many people would the completed project displace?**

None.

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CITY OF YAKIMA  
PLANNING DIV.**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****LAND AND SHORELINE USE**

12. **Proposed measures to avoid or reduce displacement impacts, if any.**  
N/A

13. **Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:**  
The current zoning for these properties is determined that the properties are suitable for uses permitted in the respective single-family and two- family zoning districts.

14. **Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any:**  
N/A

**HOUSING**

1. **Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.**  
Approximately 93 units are proposed; a mix of 46 common wall single family homes and 47 single family units.

2. **Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.**  
2 residential units on one parcel would be removed.

3. **Proposed measures to reduce or control housing impacts, if any:**  
The proposed development increases housing options in the city and helps meet projected housing unit goals as described by the City's 2040 Comprehensive Plan.

**AESTHETICS**

1. **What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?**  
35'

2. **What views in the immediate vicinity would be altered or obstructed?**  
None known.

3. **Proposed measures to reduce or control aesthetic impacts, if any:**  
The proposed buildings will be similar in appearance as neighboring buildings to further control aesthetic impacts. Compliance with zoning and building code regulations regarding building height, lot coverage and setbacks will also be in effect.

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CITY OF YAKIMA  
PLANNING DIV.**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****LIGHT AND GLARE**

1. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Typical and normal residential security night lighting from dusk until dawn.

2. Could light or glare from the finished project be a safety hazard or interfere with views?

The light or glare is not expected to pose any safety hazards or interfere with any views.

3. What existing off-site sources of light or glare may affect your proposal?

None.

4. Proposed measures to reduce or control light and glare impacts, if any:

Proposed street lighting, security lighting, and possible accent lighting will be directed downward throughout the development. Encourage the use of lowest necessary wattage.

**RECREATION**

1. What designated and informal recreational opportunities are in the immediate vicinity?

There are several recreational opportunities nearby including Randall Park, Sozo Sports Complex, West Valley Community Park, and Apple Tree Golf Course.

2. Would the proposed project displace any existing recreational uses? If so, describe.

No.

3. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

None needed.

**HISTORIC AND CULTURAL PRESERVATION**

1. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe.

The only proposed buildings being removed are two manufactured homes, the oldest being installed in 1976.

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CITY OF YAKIMA  
PLANNING DIV.**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)****HISTORIC AND CULTURAL PRESERVATION**

2. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

According to the Department of Archaeology & Historic Preservation's (DAHP) Washington Information System for Architectural and Archeological Records Data (WISAARD), there are no registered properties within or adjacent to the project limits.

3. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

There are no known impacts, therefore no measures are proposed. If, during construction, artifacts are found, then work within the area will cease and the proper authority will be notified.

**TRANSPORTATION**

1. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

Current access to the site is through S 52nd Ave and Ahtanum Road. The site will also have future access via Sorenson Road.

2. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

The nearest bus stop is just under two miles away along Washington Ave and S. 64th Ave.

3. How many parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

This proposal will not eliminate any existing parking spaces. Each residential dwelling unit will meet the 2 car minimum requirement and there will be on-street parallel parking along the public roadway within the development.

4. Will the proposal require any new or improvements to existing roads, streets, pedestrian bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

The project does have frontage on Ahtanum and S 52nd Ave.

5. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No.

6. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?

Single Family Residential homes are estimated to make approximately 9.57 vehicle trips per weekday per residence. This equates to approximately 890 vehicle trips per weekday. The estimated volume during the A.M. peak hour (7:00 a.m. to 9:00 a.m.) of adjacent street traffic is 0.74 trips per residence or 69 trips at full build-out of all homesites (25% entering, 75% exiting). The estimated volume during the P.M. peak hour (4:00 p.m. to 6:00 p.m.) of adjacent street traffic is 1.01 trips per residence or 94 trips at full build-out of all homesites (63% entering, 37% exiting).

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CITY OF YAKIMA  
PLANNING DIV.

**B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant)**

**TRANSPORTATION**

7. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe:

None identified.

8. Proposed measures to reduce or control transportation impacts, if any:

No measures are planned. Adjacent roadways have capacity for the proposed development.

**PUBLIC SERVICES**

1. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe:

The project will have probable incremental increased demand for fire and police protection, public safety services and schools could be anticipated, relative to the potential population increase.

2. Proposed measures to reduce or control direct impacts on public services, if any.

None proposed.

**UTILITIES**

1. Check (✓) utilities currently available at the site:

☒ electricity ☒ natural gas ☒ water ☒ refuse service ☒ telephone

☒ sanitary sewer ☐ septic system ☐ other \_\_\_\_\_

2. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Domestic Water: Nob Hill Water Association | Sanitary Sewer: City of Yakima | Refuse: City of Yakima or private company  
Power: Pacific Power | Telephone: Qwest or Charter | Irrigation: Ahtanum | Natural Gas: Cascade Natural Gas

**C. SIGNATURE (To be completed by the applicant.)**

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

*Michael R. Heit*

Digitally signed by Michael R Heit  
Date: 2023.10.09 15:42:48-07'00'

Property Owner or Agent Signature

Date Submitted

Michael Heit

HLA Engineering

Name of Signee

Position and Agency/Organization

**PLEASE COMPLETE SECTION "D" ON THE NEXT PAGES  
IF THERE IS NO PROJECT RELATED TO THIS ENVIRONMENTAL REVIEW**

**D. SUPPLEMENTAL SECTION FOR NONPROJECT ACTIONS ONLY (to be completed by the applicant)**

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment. When answering these questions, be aware of the extent the proposal, or the types of activities that would likely result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

Proposed measures to avoid or reduce such increases are:

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

3. How would the proposal be likely to deplete energy or natural resources?

Proposed measures to protect or conserve energy and natural resources are:

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

Proposed measures to protect such resources or to avoid or reduce impacts are:



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PLANNING DIV**D. SUPPLEMENTAL SECTION FOR NONPROJECT ACTIONS ONLY (to be completed by the applicant)**

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?


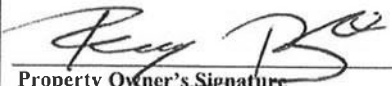

Proposed measures to avoid or reduce shoreline and land use impacts are:

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

Proposed measures to reduce or respond to such demand(s) are:

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

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		<b>LAND USE APPLICATION</b> CITY OF YAKIMA, DEPARTMENT OF COMMUNITY DEVELOPMENT 129 NORTH SECOND STREET, 2ND FLOOR, YAKIMA, WA 98901 PHONE: (509) 575-6183 EMAIL: ask.planning@yakimawa.gov		CITY OF YAKIMA PLANNING DIV.	
<b>INSTRUCTIONS – PLEASE READ FIRST Please type or print your answers clearly.</b> Answer all questions completely. If you have any questions about this form or the application process, please ask a Planner. Remember to bring all necessary attachments and the required filing fee when the application is submitted. The Planning Division cannot accept an application unless it is complete and the filing fee paid. Filing fees are not refundable. This application consists of four parts. PART I - GENERAL INFORMATION AND PART IV – CERTIFICATION are on this page. PART II and III contain additional information specific to your proposal and MUST be attached to this page to complete the application.					
<b>PART I – GENERAL INFORMATION</b>					
1. Applicant's Information:		Name: HLA Civil Engineering c/o Mike Heit			
		Mailing Address: 2803 River Road			
		City: Yakima	St: WA	Zip: 98902	Phone: (509) 966-7000
		E-Mail: mheit@hlacivil.com			
2. Applicant's Interest in Property:		Check One: <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Purchaser <input type="checkbox"/> Other _____			
3. Property Owner's Information (If other than Applicant):		Name: Prickly Pear Holdings, LLC			
		Mailing Address: 2550 Borton Road			
		City: Yakima	St: WA	Zip: 98903	Phone: (509) 945-3438
		E-Mail: byron@bortonfruit.com			
4. Subject Property's Assessor's Parcel Number(s): 18120413018 and 18120413016					
5. Legal Description of Property. (if lengthy, please attach it on a separate document) See attached					
6. Property Address: 4701 Ahtanum Road and 4607 Lower Ahtanum Road					
7. Property's Existing Zoning: <input type="checkbox"/> SR <input checked="" type="checkbox"/> R-1 <input checked="" type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> B-1 <input type="checkbox"/> B-2 <input type="checkbox"/> HB <input type="checkbox"/> SCC <input type="checkbox"/> LCC <input type="checkbox"/> CBD <input type="checkbox"/> GC <input type="checkbox"/> AS <input type="checkbox"/> RD <input type="checkbox"/> M-1 <input type="checkbox"/> M-2					
8. Type Of Application: (Check All That Apply) <input checked="" type="checkbox"/> Preliminary Long Plat <input checked="" type="checkbox"/> Environmental Checklist (SEPA Review) <input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Transportation Concurrence <input type="checkbox"/> Other: _____ <input type="checkbox"/> Other: _____					
<b>PART II – SUPPLEMENTAL APPLICATION &amp; PART III – REQUIRED ATTACHMENTS</b> SEE ATTACHED SHEETS					
<b>PART IV – CERTIFICATION</b> I certify that the information on this application and the required attachments are true and correct to the best of my knowledge.					
 Property Owner's Signature		10-9-23 Date			
 Applicant's Signature		Digitally signed by Michael R Heit Date: 2023.10.09 15:41:54-07'00' Date			
FILE/APPLICATION(S)# PLP#00223					
DATE FEE PAID: 10/12/2023	RECEIVED BY: online	AMOUNT PAID: \$3,278.00	RECEIPT NO: CR23003339		

DOC.

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OCT 09 2023



Supplemental Application For:  
**PRELIMINARY LONG PLAT**  
CITY OF YAKIMA, SUBDIVISION ORDINANCE, TITLE 14

CITY OF YAKIMA  
PLANNING DIV.**PART II - APPLICATION INFORMATION**

1. PROPERTY OWNERS (attach if long): List all parties and financial institutions having an interest in the property.  
Prickly Pear Holdings, LLC

2. SURVEYOR AND/OR CONTACT PERSON WITH THEIR CONTACT INFORMATION:

Tim Fries/Michael R. Heit, HLA Engineering and Land Surveying, Inc., (509)966-7000

3. NAME OF SUBDIVISION: Champions Park Phase 1

4. NUMBER OF LOTS AND THE RANGE OF LOT SIZES: 93 lots | 3,818 SF to 30,746 SF

5. SITE FEATURES:

A. General Description: ☒ Flat ☐ Gentle Slopes ☐ Steepened Slopes

B. Describe any indication of hazards associated with unstable soils in the area, i.e. slides or slipping?

N/A

C. Is the property in a 100-Year Floodplain or other critical area as mapped by any local, state, or national maps or as defined by the Washington State Growth Management Act or the Yakima Municipal Code? No

6. UTILITY AND SERVICES: (Check all that are available)

☒ Electricity ☒ Telephone ☒ Natural Gas ☒ Sewer ☒ Cable TV ☒ Water Nob Hill ☐ Irrigation \_\_\_\_\_

7. OTHER INFORMATION:

A. Distance to Closest Fire Hydrant: 372 ft to the nearest hydrant

B. Distance to Nearest School (and name of school): 3.7 miles, West Valley Junior High School

C. Distance to Nearest Park (and name of park): 1.8 miles, Randall Park (SOZO adjacent)

D. Method of Handling Stormwater Drainage: On site underground infiltration

E. Type of Potential Uses: (check all that apply)

☒ Single-Family Dwellings ☐ Two-Family Dwellings ☐ Multi-Family Dwellings ☐ Commercial ☐ Industrial

**PART III - REQUIRED ATTACHMENTS**

1. PRELIMINARY PLAT REQUIRED: (Please use the attached City of Yakima Preliminary Plat Checklist)

2. TRAFFIC CONCURRENCY: (if required, see YMC Ch. 12.08, Traffic Capacity Test)

3. ENVIRONMENTAL CHECKLIST (required):

I hereby authorize the submittal of the preliminary plat application to the City of Yakima for review. I understand that conditions of approval such as dedication of right-of-way, easements, restrictions on the type of buildings that may be constructed, and access restrictions from public roads may be imposed as a part of preliminary plat approval and that failure to meet these conditions may result in denial of the final plat.

Property Owner Signature (required)

10-9-23  
Date

**PRICKLY PEAR HOLDINGS LLC "PLAT OF  
CHAMPIONS PARK PHASE 1"  
PLP#002-23, CL2#038-23, SEPA#011-23**

**EXHIBIT LIST**

**CHAPTER F  
Public Notices**

<b>DOC INDEX #</b>	<b>DOCUMENT</b>	<b>DATE</b>
<b>F-1</b>	<b>Land Use Action Installation Certificate</b>	<b>11/10/2023</b>
<b>F-2</b>	<b>Notice of Complete Application</b>	<b>11/07/2023</b>
<b>F-3</b>	<b>Notice of Application &amp; Environmental Review</b> <b>F-3a:</b> Press Release & Distribution Email <b>F-3b:</b> Parties and Agencies Notified <b>F-3c:</b> Affidavit of Mailing	<b>11/17/2023</b>
<b>F-4</b>	<b>Notice of Public Hearing &amp; DNS</b> <b>F-4a:</b> Legal Ad <b>F-4b:</b> Press Release and Distribution Email <b>F-4c:</b> Parties and Agencies Notified <b>F-4d:</b> Affidavit of Mailing	<b>12/13/2023</b>
<b>F-5</b>	<b>HE Agenda &amp; Packet Distribution List</b>	<b>01/04/2024</b>
<b>F-6</b>	<b>HE Agenda &amp; Sign-in Sheet</b>	<b>01/11/2024</b>
<b>F-7</b>	<b>TCO Decision</b>	<b>01/05/2024</b>
<b>F-8</b>	<b>Notice of Hearing Examiner's Recommendation</b> (See DOC INDEX#AA-1 for HE Recommendation) <b>F-8a:</b> Parties and Agencies Notified <b>F-8b:</b> Affidavit of Mailing	<b>01/29/2024</b>
<b>F-9</b>	<b>Letter of Transmittal to City Clerk: City Council Hearing</b> (Mailing Labels, Plat Map, Vicinity Map)	<b>02/21/2024</b>

## CITY OF YAKIMA, PLANNING DIVISION

## LETTER OF TRANSMITTAL

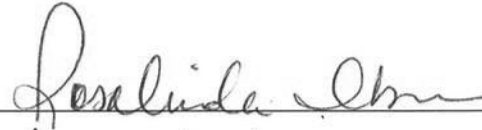
I, Eva Rivera, as an employee of the City of Yakima, Planning Division, have transmitted to: Rosalinda Ibarra, City Clerk, by hand delivery, the following documents:

1. Mailing labels for PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS PARK PHASE 1" including labels for SEPA Reviewing Agencies.
2. E-mail distribution lists for In-House, SEPA Reviewing Agencies, Local Media, and Interested Parties and Parties of Record.
3. Site Plan and Vicinity Map

Signed this 21st day of February 2024.



Eva Rivera  
Planning Technician

Received By: 

Date: 2/21/2024

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**Rivera, Eva**

**From:** Rivera, Eva  
**Sent:** Wednesday, February 21, 2024 9:13 AM  
**To:** Ibarra, Rosalinda  
**Subject:** Mailing for City Council Hearing - Plat of Champions Park Ph. 1 - PLP#002-23, CL2# 038-23, SEPA#0011-23  
**Attachments:** In-House Distribution E-mail List\_ updated 02.26.2024; SEPA Reviewing Agencies E-mail Distribution List\_Updated 02.15.2024; Local Media List \_04.14.2023

Hello Rosalinda – on the 20<sup>th</sup> of February City Council set March 19 as the public hearing date for “Plat of Champions Park Ph. 1”.

Please provide the City Council public hearing notice to the attached e-mail distribution lists:

- In-house Distribution
- SEPA Reviewing Agencies
- Local Media List

Please also email the notice to the following parties of record/interested parties/project representatives:

Email

[mheit@hlacivil.com](mailto:mheit@hlacivil.com)

[byron@bortonfruit.com](mailto:byron@bortonfruit.com)

[crosepacoordinator@ecy.wa.gov](mailto:crosepacoordinator@ecy.wa.gov)

[nellie.soptich@co.yakima.wa.us](mailto:nellie.soptich@co.yakima.wa.us)

[avitionlanduse@wsdot.wa.gov](mailto:avitionlanduse@wsdot.wa.gov)

Mail

Ahtanum Irrigation District  
 10705 Gilbert Rd., Suite B  
 Yakima, WA 98903



Eva Rivera  
 Planning Technician  
 Phone: 509-575-6261  
[eva.rivera@yakimawa.gov](mailto:eva.rivera@yakimawa.gov)

*This email is a public record of the City of Yakima and is subject to public disclosure unless exempt under the Washington Public Records Act. This email is subject to the State Retention Schedule.*

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18120424003  
LITTLEFIELD LIVING TRUST  
2405 S 52ND AVE  
YAKIMA, WA 98903

18120424016  
LITTLEFIELD LIVING TRUST  
2405 S 52ND AVE  
YAKIMA, WA 98903

18120414409 100  
PRICKLY PEAR HOLDING LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120411002  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120412001  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413016  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413018  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120424014  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120424015  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18133433401  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413003  
ROLAND & BETTY HOLWEGNER LIVING  
TRUST  
4603 AHTANUM RD  
YAKIMA, WA 98903

18133433402  
SOZO SPORTS OF CENTRAL  
WASHINGTON  
PO BOX 10786  
YAKIMA, WA 98909

18120413009  
STOOTHOFF REVOCABLE TRUST  
4907 AHTANUM RD  
YAKIMA, WA 98903

18120413403  
SUN MEADOWS TP YAKIMA LLC  
222 S 1ST ST  
YAKIMA, WA 98901

18120421010  
TRAMMELLS BAR 71 RANCH LLC  
205 N 86TH AVE  
YAKIMA, WA 98908

18120424013  
YAKIMA BIBLE MISSIONARY CHURCH  
803 FRIEDLINE RD  
YAKIMA, WA 98908

18120421007  
BRYNN & DEREK SIDES  
2305 S 52ND AVE  
YAKIMA, WA 98903

18120414410  
CHAD D & JENNIFER M NULL  
4503 AHTANUM RD  
YAKIMA, WA 98903

18120424007  
CHRISTOPHER DANIEL JEWETT  
4905 LOWER AHTANUM RD  
YAKIMA, WA 98903

18120441007  
COLE W HANSEN  
5008 AHTANUM RD  
YAKIMA, WA 98903

18120442009  
COLE W HANSEN  
5008 AHTANUM RD  
YAKIMA, WA 98903

18133344426  
FILEMON GUZMAN & FLOR DE MARIA  
VELAZQUEZ  
2211 S 52ND AVE  
YAKIMA, WA 98903

18120424422  
FREDA ROBINSON  
9571 W TERRAN  
WESTWEGO, LA 70094

18120421004  
GEORGE RAY & TANA L COLLINS  
2401 S 52ND AVE  
YAKIMA, WA 98903

18120424412  
GERALD D JR & KAREN R POOL  
2502 S 52ND AVE  
YAKIMA, WA 98903

18120414400  
HOWARD & JEANIE ALEXANDER  
4507 W LARCH AVE  
YAKIMA, WA 98903

18120424418  
JAMES C & KIMBLEY R MARTIN  
PO BOX 18711  
RAYTOWN, MO 64133

18120421014  
JASON BRIGHT  
2309 S 52ND AVE  
YAKIMA, WA 98903

18120413402  
JOE M MARQUEZ  
4901 AHTANUM RD  
YAKIMA, WA 98903

18120424420  
LEONARD JR & ERRIN CUSHING  
2511 S 52ND AVE  
YAKIMA, WA 98903

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18120421400  
LESLI FARNSWORTH  
2301 S 52ND AVE  
YAKIMA, WA 98903

18120424423  
MICHAEL & OLLA GOODEN & GOODEN  
135 FIELDVIEW DR  
CRANDALL, TX 75114

18120413005  
MICHAEL W & NITA M FERREIRA  
4609 AHTANUM RD  
YAKIMA, WA 98903

101

18120413014  
RANDY & MARYELLEN E MAY  
4601 AHTANUM RD  
YAKIMA, WA 98903

18120421012  
RICHARD & CHERYL WENTZ  
2307 S 52ND AVE  
YAKIMA, WA 98902

18120413004  
RICHARD STEVEN ISAAC  
4605 AHTANUM RD  
Yakima, WA 98903

18120421005  
ROBERT H BARTSCH  
3017 W LAKESIDE DR  
MOSES LAKE, WA 98837

18120424002  
ROBERT H BARTSCH  
3017 W LAKESIDE DR  
MOSES LAKE, WA 98837

18120414405  
ROGER HOVLAND  
PO BOX 775  
YAKIMA, WA 98901

18120424419  
SHANNON LEA NOWLIN  
2507 S 52ND AVE  
YAKIMA, WA 98903

18133344005  
TORRIE J & MICHAEL W MELTON  
2209 S 52ND AVE  
YAKIMA, WA 98903

41  
Total Parcels - Prickly Pear Holdings LLC  
"Plat of Champions Park Ph. 1"

MIKE HEIT  
2803 RIVER RD  
YAKIMA, WA 98902

*NTC of CC Hearing*  
*RP#100223, CL#03823, SRA#01123*  
*Date of Hearing: 03/19/2024*

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Ahtanum Irrigation District  
Beth Ann Brulotte  
10705-B Gilbert Road  
Yakima, WA 98903-9203  
bethb@ahtanum.net

Cascade Natural Gas  
8113 W Grandridge Blvd  
Kennewick, WA 99336

Century Link  
8 South 2nd Ave, Rm#304  
Yakima, WA 98902

Charter Communications  
1005 North 16th Ave  
Yakima, WA 98902

City of Union Gap  
Dennis Henne  
P.O. Box 3008  
Union Gap, WA 98903  
dennis.henne@uniongapwa.gov

City of Yakima - Airport  
Jaime Vera  
2400 West Washington Ave  
Yakima, WA 98903  
jaime.vera@yakimawa.gov

City of Yakima - Engineering Division  
Dan Riddle  
129 N 2nd Street  
Yakima, WA 98901  
Dan.Riddle@yakimawa.gov

City of Yakima - Wastewater Division  
Dana Kallevig  
2220 East Viola Ave  
Yakima, WA 98901  
dana.kallevig@yakimawa.gov

City of Yakima - Wastewater Division  
Marc Cawley  
2220 East Viola Ave  
Yakima, WA 98901  
marc.cawley@yakimawa.gov

Federal Aviation Administration  
2200 W. Washington Ave  
Yakima, WA 98903

Greater Yakima Chamber of Commerce  
10 North 9th Street  
Yakima, WA 98901  
chamber@yakima.org

Naches Cowiche Canal Association  
PO Box 9635  
Yakima, WA 98909  
NachesCowicheCanal@gmail.com

North Yakima Conservation District  
1606 Perry Street, Ste. C  
Yakima, WA 98902

Office of Rural and Farm Worker Housing  
Marty Miller  
1400 Summitview Ave, Ste# 203  
Yakima, WA 98902  
Martym@orfh.org

Pacific Power  
Mike Paulson  
500 North Keys Rd  
Yakima, WA 98901

United States Postal Service  
David James  
205 W Washington Ave  
Yakima, WA 98903  
david.r.james@usps.gov

Yakima Valley Trolleys  
PO Box 796  
Yakima, WA 98907  
info@yakimavalleytrolleys.org

WA State Attorney General's Office  
1433 Lakeside Court, Ste# 102  
Yakima, WA 98902

WA State Department of Agriculture  
Kelly McLain  
PO Box 42560  
Olympia, WA 98504  
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DOC.

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Yakima, WA 98908

**SEPA REVIEWING AGENCIES**  
**\_UPDATED 01/24/2024**

Type of Notice: Notice of CC Hearing  
File Number: DP#007-23, CL#038-23, SEPA#011-23  
Date of ~~Mailing~~: 03/19/2024  
Hearing

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In-House Distribution E-mail List		Revised 02/26/2024
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Matt Murray	Police	Matthew.murray@yakimawa.gov
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Randy Layman	Refuse	Randy.Layman@yakimawa.gov
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Anabel Chavez	Utilities	anabel.chavez@yakimawa.gov
Dana Kallevig	Wastewater	Dana.Kallevig@yakimawa.gov
Randy Meloy	Wastewater	Randy.Meloy@yakimawa.gov
Mike Shane	Water/Irrigation	Mike.Shane@yakimawa.gov

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Name	Address	Notified?
(Subdivision notices ONLY) Pacific Power Attn: Estimating Department	500 N Keys Rd, Yakima, WA 98901	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
(Projects Adjacent to BNSF Right of Way ONLY) Central Washington Railroad	111 University Parkway, Suite 200 Yakima, WA 98901 (509) 453-9166 Tim Marshall, General Manager, tmarshall@cbrr.com Kim Yeager, Real Estate Manager, kyeager@ihdlc.com	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> E-mail
(Shoreline notices ONLY) Department of Ecology	crosepa@ecy.wa.gov	<input type="checkbox"/> E-mail

Additional Parties of Record or Interested Parties Notified		
Name	Address	E-mail
Nellie Soptich - Yakima County		Nellie.Soptich@co.yakima.wa.us
Jay Espinoza		crosepa@coordinator@ecy.wa.gov
WSDOT		aviation.landuse@wsdot.wa.gov
Antanum Irrigation	10705 Gilbert Rd, Suite B, Yakima	

Type of Notice: NTC of CC Hearing  
File Number(s): DRP#00223, CR#03823, SRP# 01123  
Date of Mailing: 03/19/2024  
Hearing

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# PRELIMINARY PLAT OF CHAMPIONS PARK PHASE 1

(A PORTION OF THE N 1/2, SECTION 04,  
TOWNSHIP 12 NORTH, RANGE 18 EAST, W.M.)

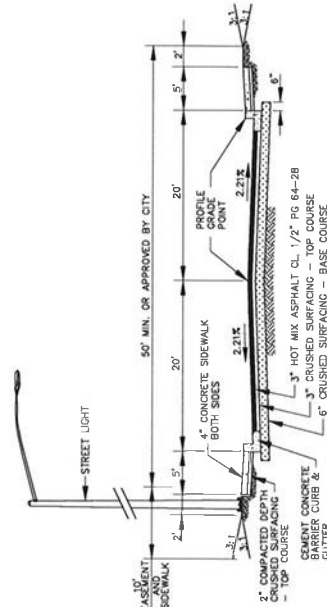
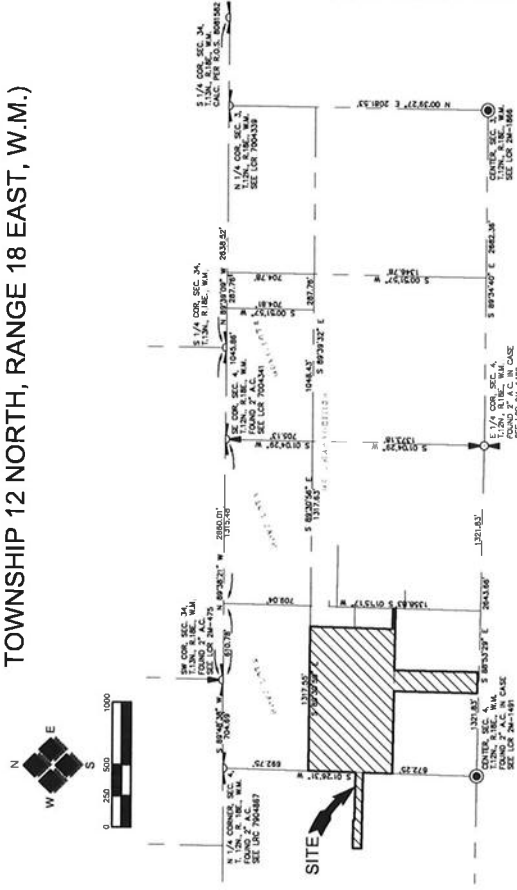
## NOTES

- SUBJECT PROPERTY IS ZONED R-1 SINGLE-FAMILY RESIDENTIAL.
- STREET IMPROVEMENTS SHALL CONFORM TO CITY OF YAKIMA STANDARDS FOR PLAT REVIEW.
- SEWER IS PROVIDED BY CITY OF YAKIMA.
- ALL STORM WATER GENERATED BY NEW IMPROVED SURFACES TO BE RETAINED AND DISPOSED OF ON SITE AND NOT ALLOWED TO ENTER EXISTING STORMWATER ENGINEERING DIVISION REQUIREMENTS.
- WATER IS PROVIDED BY JOB HILL WATER.
- POWER, TV CABLES, TELEPHONE CABLES AND OTHER UTILITIES SHALL BE LOCATED WITHIN THE 10' UTILITY EASEMENT. DEVELOPER TO COORDINATE WITH CITY OF YAKIMA FOR DESIGN AND INSTALLATION OF THEIR FACILITIES.
- TYPICAL BUILDING SETBACKS - 20' FRONT SETBACK FROM PROPERTY LINE, 5' SIDE SETBACK PROPERTY LINE, AND 10' REAR SETBACK FROM PROPERTY LINE.

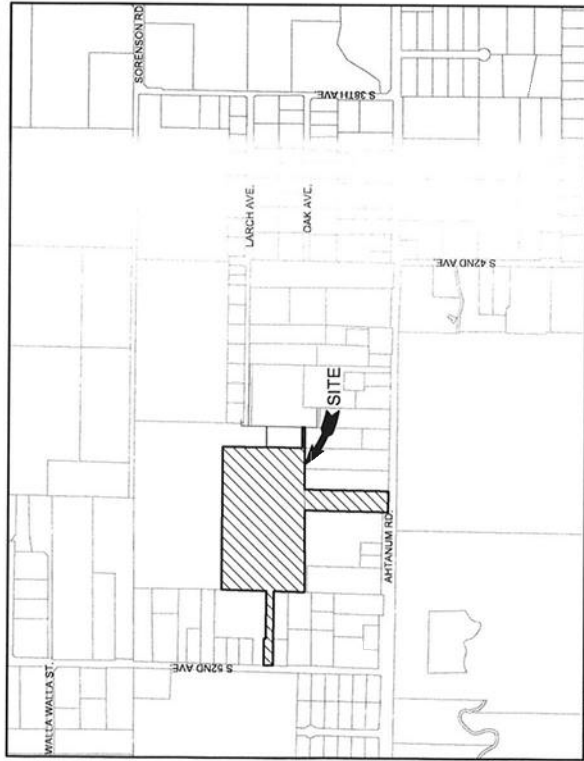
## LEGAL DESCRIPTION

PARCEL NO. 181204-13018  
THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 12 NORTH, RANGE 18, E.M.A., EXCEPT THE EAST 165 FEET  
AND  
THE SOUTH 20 FEET OF THE EAST 165 FEET OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 12 NORTH, RANGE 18, E.M.A.  
AND  
THE NORTH 71 FEET OF THE SOUTH 879 FEET OF THE WEST 321.6 FEET OF THE EAST 606 FEET OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 12 NORTH, RANGE 18, E.M.A., RECORDS OF YAKIMA COUNTY, WASHINGTON.

AND  
THE NORTH 80 FEET OF THE SOUTH 869 FEET OF THE EAST 606 FEET OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 12 NORTH, RANGE 18, E.M.A., EXCEPT ANY PORTIONS THEREOF WHICH MAY LIE WITHIN THE NORTH 1059 FEET OF SAID NORTHWEST 1/4.  
SITUATED IN YAKIMA COUNTY, STATE OF WASHINGTON.  
PARCEL NO. 181204-13019  
THE SOUTH 879 FEET OF THE EAST 606 FEET OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 12 NORTH, RANGE 18, E.M.A., RECORDS OF YAKIMA COUNTY, WASHINGTON.  
EXCEPT CONVEYED TO YAKIMA COUNTY BY QUIT CLAIM DEED RECORDED UNDER AUDITOR'S FILE NO. 803847, SITUATED IN YAKIMA COUNTY, STATE OF WASHINGTON.



CITY OF YAKIMA - LOCAL ACCESS (RESIDENTIAL)  
NOT TO SCALE



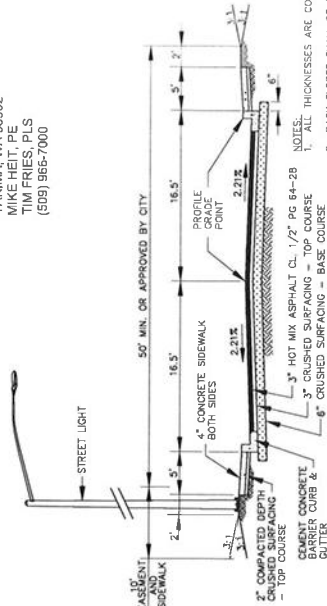
VICINITY MAP

## DEVELOPER

PRICKLY PEAR HOLDINGS, LLC

## ENGINEER/SURVEYOR

HLA ENGINEERING & LAND SURVEYING, INC.  
2803 RIVER ROAD  
YAKIMA, WA 98902  
MIKE HEIT, PE  
TIM FRIES, PLS  
(509) 966-7000



CITY OF YAKIMA - LOCAL ACCESS (RESIDENTIAL)  
NOT TO SCALE



2803 River Road  
Yakima, WA 98902  
509-966-7000  
Fax 509-965-3800  
www.hlaengineers.com



JOB NUMBER: 22115  
DATE: 10-06-23  
FILE NAME: 22115.dwg  
DRAWING: 22115.dwg

DESIGNED BY: MRH  
ENTURED BY: MRH  
REVISION: DATE

PRICKLY PEAR HOLDINGS, LLC  
PARCEL NO. 181204-13018 & 181204-13019  
CITY OF YAKIMA, YAKIMA COUNTY, WASHINGTON

PRELIMINARY PLAT

SHEET 1 OF 4

PARCEL NO. 181204-13018 & 181204-13019

**Project Name:** PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS PARK PHASE 1"

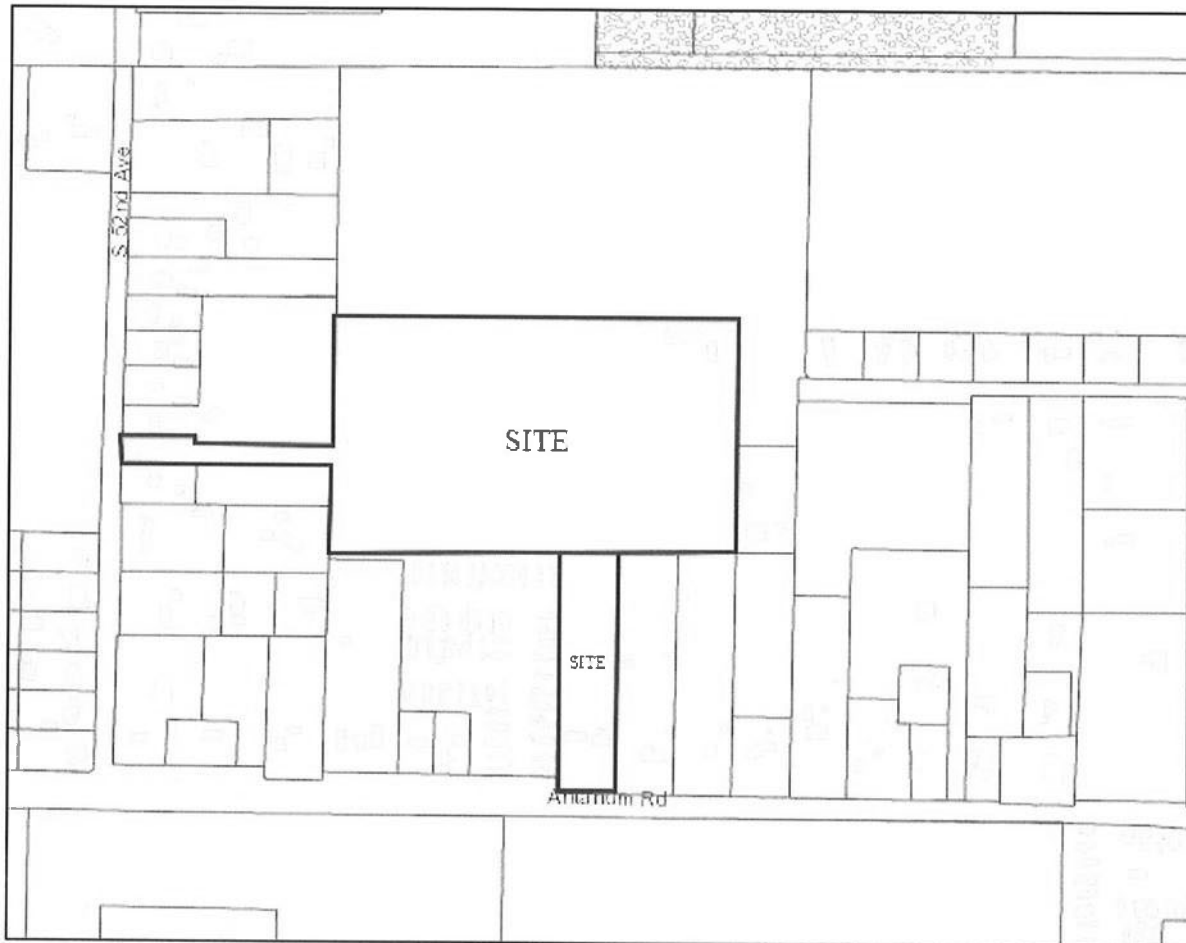
**Site Address:** 4607 & 4701 LOWER AHTANUM RD

**File Number(s):** PLP#002-23, CL2#038-23, SEPA#011-23, TCO#008-23

**Proposal:** Proposed preliminary long plat to subdivide 21.06 acres into 93 single-family lots and environmental review in the R-1 and R-2 zoning districts.



## VICINITY MAP



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Map Disclaimer: Information shown on this map is for planning and illustration purposes only. The City of Yakima assumes no liability for any errors, omissions, or inaccuracies in the information provided or for any action taken, or action not taken by the user in reliance upon any maps or information provided herein.  
Date Created: 10/25/2023



**AFFIDAVIT OF MAILING**

STATE OF WASHINGTON

CITY OF YAKIMA

RE: PLP#001-23, CL2#038-23, SEPA#011-23PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS PARK PHASE 1"4607 & 4701 LOWER AHTANUM RD

I, Eva Rivera, as an employee of the City of Yakima Planning Division, have dispatched through the United States Mails, a **Notice of Hearing Examiner's Recommendation**; a true and correct copy of which is enclosed herewith; that said notice was addressed to the applicant, parties of record, and all property owners of record within a radius of 300 feet of subject property; that said property owners are individually listed on the mailing list retained by the Planning Division; and that said notices were mailed by me on this 29th day of January 2023.

That I mailed said notices in the manner herein set forth and that all of the statements made herein are just and true.



Eva Rivera

Planning Technician

DOC.

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# 786

18120424003  
LITTLEFIELD LIVING TRUST  
2405 S 52ND AVE  
YAKIMA, WA 98903

18120424016  
LITTLEFIELD LIVING TRUST  
2405 S 52ND AVE  
YAKIMA, WA 98903

18120414409  
PRICKLY PEAR HOLDING LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120411002  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120412001  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413016  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413018  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120424014  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120424015  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18133433401  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413003  
ROLAND & BETTY HOLWEGNER LIVING  
TRUST  
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YAKIMA, WA 98903

18133433402  
SOZO SPORTS OF CENTRAL  
WASHINGTON  
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STOOTHOFF REVOCABLE TRUST  
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18120421010  
TRAMMELLS BAR 71 RANCH LLC  
205 N 86TH AVE  
YAKIMA, WA 98908

18120424013  
YAKIMA BIBLE MISSIONARY CHURCH  
803 FRIEDLINE RD  
YAKIMA, WA 98908

18120421007  
BRYNN & DEREK SIDES  
2305 S 52ND AVE  
YAKIMA, WA 98903

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4503 AHTANUM RD  
YAKIMA, WA 98903

18120424007  
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4905 LOWER AHTANUM RD  
YAKIMA, WA 98903

18120441007  
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5008 AHTANUM RD  
YAKIMA, WA 98903

18120442009  
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5008 AHTANUM RD  
YAKIMA, WA 98903

18133344426  
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VELAZQUEZ  
2211 S 52ND AVE  
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18120424422  
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9571 W TERRAN  
WESTWEGO, LA 70094

18120421004  
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2401 S 52ND AVE  
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18120424412  
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YAKIMA, WA 98903

18120424420  
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YAKIMA, WA 98903

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18120421400  
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18120424423  
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CRANDALL, TX 75114

110  
18120413005  
MICHAEL W & NITA M FERREIRA  
4609 AHTANUM RD  
YAKIMA, WA 98903

18120413014  
RANDY & MARYELLEN E MAY  
4601 AHTANUM RD  
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18120421012  
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YAKIMA, WA 98902

18120413004  
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18120421005  
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MOSES LAKE, WA 98837

18120424002  
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MOSES LAKE, WA 98837

18120414405  
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18133344005  
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YAKIMA, WA 98903

41  
Total Parcels - Prickly Pear Holdings LLC  
"Plat of Champions Park Ph. 1"

MIKE HEIT  
2803 RIVER RD  
YAKIMA, WA 98902

NTC of HE Rec.  
Plat #00223, CL#03823, SRA#01123  
Sent 01/29/2004

DOC.  
INDEX  
# F-8b

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Leovardo Cruz	Refuse	<a href="mailto:Leovardo.Cruz@yakimawa.gov">Leovardo.Cruz@yakimawa.gov</a>
Randy Layman	Refuse	<a href="mailto:Randy.Layman@yakimawa.gov">Randy.Layman@yakimawa.gov</a>
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Dana Kallevig	Wastewater	<a href="mailto:Dana.Kallevig@yakimawa.gov">Dana.Kallevig@yakimawa.gov</a>
Randy Meloy	Wastewater	<a href="mailto:Randy.Meloy@yakimawa.gov">Randy.Meloy@yakimawa.gov</a>
Mike Shane	Water/Irrigation	<a href="mailto:Mike.Shane@yakimawa.gov">Mike.Shane@yakimawa.gov</a>

Outside Distribution		
Name	Address	Notified?
(Subdivision notices ONLY) Pacific Power Attn: Estimating Department	500 N Keys Rd, Yakima, WA 98901	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
(Projects Adjacent to BNSF Right of Way ONLY) Central Washington Railroad	111 University Parkway, Suite 200 Yakima, WA 98901 (509) 453-9166 Tim Marshall, General Manager, <a href="mailto:tmarshall@cbrr.com">tmarshall@cbrr.com</a> Kim Yeager, Real Estate Manager, <a href="mailto:kyeager@ihdlc.com">kyeager@ihdlc.com</a>	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> E-mail
(Shoreline notices ONLY) Department of Ecology	<a href="mailto:crosepa@ecy.wa.gov">crosepa@ecy.wa.gov</a>	<input type="checkbox"/> E-mail

Additional Parties of Record or Interested Parties Notified		
Name	Address	E-mail
Ahtanum Irrigation	10705 Gilbert Rd. Ste. B, Yakima	
WSDOT Aviation		<a href="mailto:WASAviationlanduse@wsdot.wa.gov">WASAviationlanduse@wsdot.wa.gov</a>
Jay Espinoza		<a href="mailto:crosepa@ecy.wa.gov">crosepa@ecy.wa.gov</a>
Nellie Sophia - Yakima County		<a href="mailto:nellie.sophia@co.yakima.wa.us">nellie.sophia@co.yakima.wa.us</a>

Type of Notice:

File Number(s):

Date of Mailing:

Attn of HE Rec  
 UP#100783, CL#103083, SDA#10173  
 01/29/2024

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INDEX

# F-8a

**Rivera, Eva**

---

**From:** Rivera, Eva  
**Sent:** Monday, January 29, 2024 12:30 PM  
**To:** Nellie Soptich - Yakima County Water Resources; 'crosepacoordinator@ecy.wa.gov'; 'aviationlanduse@wsdot.wa.gov'; Bradburn, Trace; Calhoun, Joseph; Chavez, Anabel; Contreras, Pedro; Corona, Silvia; Cruz, Leovardo; Davenport, Joan; DeBusschere, Suzanne; Denman, Glenn; Kallevig, Dana; Layman, Randy; Markham, Aaron; Maxey, Lisa; McPherson, Kirsten; Meloy, Randy; Murray, Matthew; Preston, Bill; Reynoso, Patty; Riddle, Dan; Rivera, Eva; Schafer, Scott; Shane, Mike; Story, Gregory; Vera, Jaime; Watkins, Sara; Zabell, John  
**Cc:** Kennedy, Connor; 'mheit@hlacivil.com'; 'byron@bortonfruit.com'  
**Subject:** Ntc of HE Recommendation - Prickly Pear Holdings LLC - Plat of Champions Park Ph. 1 - PLP#002-23, CL2#038-23, SEPA#011-23  
**Attachments:** NTC OF HE REC\_PLP#002-23.pdf

Good afternoon,

Attached is a Notice of Hearing Examiner's Recommendation regarding the above-entitled project. If you have any questions about this proposal, please contact the assigned planner, Connor Kennedy at [connor.kennedy@yakimawa.gov](mailto:connor.kennedy@yakimawa.gov).

Thank you!



*Eva Rivera*

**Planning Technician**

**Phone:** 509-575-6261

**Email:** [eva.rivera@yakimawa.gov](mailto:eva.rivera@yakimawa.gov)

---

*This email is a public record of the City of Yakima and is subject to public disclosure unless exempt under the Washington Public Records Act. This email is subject to the State Retention Schedule.*



Planning Division  
Joseph Calhoun, Manager  
129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901  
ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

## NOTIFICATION OF HEARING EXAMINER'S RECOMMENDATION TO THE YAKIMA CITY COUNCIL

**DATE:** January 29, 2024  
**TO:** Applicant, Adjoining Property Owners and Parties of Record  
**SUBJECT:** Notice of the Hearing Examiner's Recommendation  
**FILE #(S):** PLP#002-23, SEPA#011-23, & CL2#038-23  
**APPLICANT:** HLA Engineering & Surveying on behalf of Prickly Pear Holdings LLC  
**PROJECT LOCATION:** 4607 & 4701 Ahtanum Rd

On January 25, 2024, the City of Yakima Hearing Examiner rendered their recommendation on **PLP#002-23, SEPA#011-23, & CL2#038-23**, a preliminary long plat to subdivide approximately 21.06 acres into 93 single-family lots, including 46 common wall dwellings (Type 2 Review), and environmental review, in the R-1 and R-2 zoning districts. The application was reviewed at an open record public hearing held on January 11, 2024.

Enclosed is a copy of the Hearing Examiner's Recommendation. The Hearing Examiner's Recommendation will be considered by the Yakima City Council in a public hearing to be scheduled. The City Clerk will notify you of the date, time, and place of the public hearing.

For further information or assistance, you may contact Assistant Planner, Connor Kennedy at (509) 575-6162 or email: [connor.kennedy@yakimawa.gov](mailto:connor.kennedy@yakimawa.gov)

Eva Rivera  
Planning Technician

Date of Mailing: **January 29, 2024**  
Enclosures: Hearing Examiner's Recommendation

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# F-8a



## DEPARTMENT OF UTILITIES AND ENGINEERING

*Engineering Division  
129 North Second Street  
Yakima, Washington 98901  
(509) 575-6111 • Fax (509) 576-6305*

January 4, 2024

Mike Heit  
HLA Engineering & Surveying, Inc.  
2803 River Road  
Yakima, WA 98902

Subject: Notice of Decision for Transportation Concurrency – TCO#008-23  
ITE Trip Generation Code 210 – Single Family Homes

Mike,

Enclosed is the Transportation Concurrency Analysis Decision for the proposed Champions Park Phase 1 housing development, in the vicinity of 4607 Lower Ahtanum/4701 Ahtanum, within the City of Yakima, Washington. This development has been APPROVED for Concurrency Analysis. Concurrency review done in coordination with Yakima County determined that reserve capacity is available on all impacted city and county arterial streets. Concurrency review does not evaluate impact to local access streets or street intersections. This review does not include safety or site design issues which will be addressed at the project review level of zoning and SEPA. This review concluded that the proposed development will not exceed the capacity of the arterial street system and reserve capacity exists on all impacted arterial streets.

Please review the enclosed report. You may appeal the Findings of this report or request Administrative Reconsideration within fifteen (15) days from the date of mailing of this Notice. Appeal forms and procedures are available at the Department of Community Development. If you have any questions, please call me at (509) 576-6754.

Sincerely,

Bill Preston, P.E.  
City Engineer

Enclosure

Cc: Planning  
TC File

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# F-7



# DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

## CITY OF YAKIMA HEARING EXAMINER AGENDA

**Thursday, January 11, 2024**

**Yakima City Hall Council Chambers – 129 N 2<sup>nd</sup> Street, Yakima, WA**

**Beginning at 9:00 a.m.**

### I. CALL TO ORDER

### II. INTRODUCTION

### III. PUBLIC HEARINGS

- A. NOVOBIELSKI SURVIVORS TRUST - "PLAT OF MARYLYN 09/22/2023 PLP#001-23**  
**PLANNER:Eric Crowell SEPA#009-23 CAO#021-23**

**ADDRESS:** Vicinity of Ahtanum Rd. & S. 58th Ave.

**REQUEST:** Proposed preliminary long plat to subdivide approximately 22.1 acres in 83 single-family residential lots, located in the R-2 zoning district and partially within the floodplain.

- B. PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS 10/09/2023 PLP#002-23**  
**PLANNER:Connor Kennedy CL2#038-23 SEPA#011-23**

**ADDRESS:** 4607 & 4701 Lower Ahtanum Rd

**REQUEST:** Proposed preliminary long plat to subdivide approximately 21.06 acres into 93 single-family lots, including 46 common wall dwellings, in the R-1 and R-2 zoning districts.

### IV. ADJOURNMENT

**DOC.**

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**#**

FL6

The staff recommendation report on the listed project(s) is available online at: [www.buildingyakima.com](http://www.buildingyakima.com)



**SIGN-IN SHEET**  
City of Yakima HEARING EXAMINER  
City Hall Council Chambers  
Thursday, January 11, 2024  
Beginning at 9:00 a.m.



**Public Hearings**

CASE	FILE #	PROJECT NAME	SITE ADDRESS
A.	PLP#001-23, SEPA#009-23, CAO#021-23	NOVOBIELSKI SURVIVORS TRUST - "PLAT OF MARYLYN PLACE"	Vicinity of Ahtanum Rd. & S. 58th Ave.
B.	PLP#002-23, CL2#038- 23, SEPA#011-23	PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS PARK PHASE 1"	4607 & 4701 Lower Ahtanum Rd

**PLEASE WRITE LEGIBLY**

Agenda Item of Interest	NAME	MAILING ADDRESS or E-MAIL	ZIP CODE
A/B	HLA		98902
A	Nellie Saptich-County		98901

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# E-5

**Hearing Examiner AGENDA ONLY**  
**Distribution List – 05-17.2023**

*Add Interested – Parties of Record*

**All YPAC**

[randy.beehler@yakimawa.gov](mailto:randy.beehler@yakimawa.gov)  
[mike.brown@yakimawa.gov](mailto:mike.brown@yakimawa.gov)  
[bonnie.lozano@yakimawa.gov](mailto:bonnie.lozano@yakimawa.gov)  
[john.fannin@yakimawa.gov](mailto:john.fannin@yakimawa.gov)

**Police Chief – Matthew Murray**

[Matthew.murray@yakimawa.gov](mailto:Matthew.murray@yakimawa.gov)

**Fire Chief – Aaron Markham**

[Aaron.markham@yakimawa.gov](mailto:Aaron.markham@yakimawa.gov)

**Rosalinda Ibarra**

City Clerk

[rosalinda.ibarra@yakimwa.gov](mailto:rosalinda.ibarra@yakimwa.gov)

**Bob Harrison**

City Manager

[bob.harrison@yakimawa.gov](mailto:bob.harrison@yakimawa.gov)  
[cally.price@yakimawa.gov](mailto:cally.price@yakimawa.gov)

**Radio KDNA**

P.O. Box 800

Granger, WA 98932

**KAPP TV**

Attn: Newsroom

PO Box 1749

Yakima, WA 98907-1749

**Reed C. Pell**

31 Chicago Avenue #4

Yakima, WA 98902

**Yakima Valley C.O.G.**

311 N. 4<sup>th</sup> Street #204

Yakima, WA 98901

**Yakima Assoc. of Realtors**

Gov. Affairs Committee

2707 River Road

Yakima, WA 98902-1165

**KCYU-FOX 68**

David Okowski

1205 West Lincoln Ave.

Yakima, WA 98902

**Pacific Power**

Mike Paulson

500 N. Keys Rd.

Yakima, WA 98901

**Office of Rural FWH**

Marty Miller

1400 Summitview #203

Yakima, WA 98902

**Yakima School Dist. #7**

Superintendent

104 North 4<sup>th</sup> Street

Yakima, WA 98902

**Business Times**

Bruce Smith

P.O. Box 2052

Yakima, WA 98907

**David Ison**

Aviation Planner

[David.ison@wsdot.wa.gov](mailto:David.ison@wsdot.wa.gov)

**KIT-KATS Radio**

4010 Summitview, Suite 200

Yakima, WA 98908

**KIMA TV**

2801 Terrace Heights Drive

Yakima, WA 98901

**KNDO TV**

216 West Yakima Avenue

Yakima, WA 98902

**Yakima Herald-Republic**

P.O. Box 9668

Yakima, WA 98909

**Patrick D. Spurgin**

PO Box 1768

Yakima, WA 98907

**Gary Cuillier**

314 N. 2<sup>nd</sup> Street

Yakima, WA 98901

**Maud Scott**

309 Union Street

Yakima, WA 98901

**Joy Espinoza**

SEPA Coordinator

[crosepacoordinator@ecy.wa.gov](mailto:crosepacoordinator@ecy.wa.gov)

*George D. Marshal*

*Ahtanum Irrigation District*

*10705 Gilbert Rd*

*Yakima, WA 98903*

**DOC.**  
**INDEX**

# FS



**Hearing Examiner Packet AGENDA,  
STAFF REPORT, SITE PLAN AND  
MAPS...Updated 08/17/2022**

**INCLUDE APPLICANT & PROPERTY  
OWNER(S)**

Sara Watkins  
City Legal Department  
[Sara.watkins@yakimawa.gov](mailto:Sara.watkins@yakimawa.gov)

Archie Matthews  
ONDS  
[Archie.matthews@yakimawa.gov](mailto:Archie.matthews@yakimawa.gov)

Dana Kallevig  
Wastewater Division  
[Dana.kallevig@yakimawa.gov](mailto:Dana.kallevig@yakimawa.gov)

Joan Davenport  
Community Development  
[Joan.davenport@yakimawa.gov](mailto:Joan.davenport@yakimawa.gov)

Bill Preston  
City Engineer  
[Bill.preston@yakimawa.gov](mailto:Bill.preston@yakimawa.gov)

Lisa Maxey  
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Joseph Calhoun  
Planning Manager  
[Joseph.calhoun@yakimawa.gov](mailto:Joseph.calhoun@yakimawa.gov)

Yakima County Planning Manager  
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Yakima County Public Services  
Lisa Freund  
[Lisa.Freund@co.yakima.wa.us](mailto:Lisa.Freund@co.yakima.wa.us)

Yakima County Commissioners  
[Commissioners.web@co.yakima.wa.us](mailto:Commissioners.web@co.yakima.wa.us)

Eva Rivera  
Planning Technician  
[Eva.rivera@yakimawa.gov](mailto:Eva.rivera@yakimawa.gov)

Mike Heit  
HLA Engineering & Surveying  
2803 River Rd.  
Yakima, WA 98902  
[mheit@hlacivil.com](mailto:mheit@hlacivil.com)

Prickly Pear Holdings LLC  
2550 Borton Rd  
Yakima, WA 98903  
[byron@bortonfruit.com](mailto:byron@bortonfruit.com)

Binder Copy / For the Record / File

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# AFFIDAVIT OF MAILING

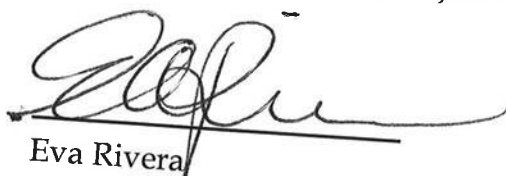
STATE OF WASHINGTON

CITY OF YAKIMA

RE: PLP#002-23, SEPA#011-23, CL2#038-23  
PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS  
PARK PHASE 1"  
4607 & 4701 LOWER AHTANUM RD

I, Eva Rivera, as an employee of the City of Yakima Planning Division, have dispatched through the United States Mails, a **Notice of Public Hearing & Determination of NonSignificance (DNS)**, true and correct copies of which are enclosed herewith; that said notices were addressed to the applicant, SEPA Reviewing Agencies, all parties of record, and all property owners of record within a radius of 300 feet of subject property; that said property owners are individually listed on the mailing list retained by the Planning Division, and that said notices were mailed by me on this 13<sup>th</sup> day of December, 2023.

That I mailed said notices in the manner herein set forth and that all of the statements made herein are just and true.



Eva Rivera  
 Planning Technician

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18120424003  
LITTLEFIELD LIVING TRUST  
2405 S 52ND AVE  
YAKIMA, WA 98903

18120424016  
LITTLEFIELD LIVING TRUST  
2405 S 52ND AVE  
YAKIMA, WA 98903

18120414409  
PRICKLY PEAR HOLDING LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120411002  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120412001  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413016  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413018  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120424014  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120424015  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18133433401  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413003  
ROLAND & BETTY HOLWEGNER LIVING  
TRUST  
4603 AHTANUM RD  
YAKIMA, WA 98903

18133433402  
SOZO SPORTS OF CENTRAL  
WASHINGTON  
PO BOX 10786  
YAKIMA, WA 98909

18120413009  
STOOTHOFF REVOCABLE TRUST  
4907 AHTANUM RD  
YAKIMA, WA 98903

18120413403  
SUN MEADOWS TP YAKIMA LLC  
222 S 1ST ST  
YAKIMA, WA 98901

18120421010  
TRAMMELLS BAR 71 RANCH LLC  
205 N 86TH AVE  
YAKIMA, WA 98908

18120424013  
YAKIMA BIBLE MISSIONARY CHURCH  
803 FRIEDLINE RD  
YAKIMA, WA 98908

18120421007  
BRYNN & DEREK SIDES  
2305 S 52ND AVE  
YAKIMA, WA 98903

18120414410  
CHAD D & JENNIFER M NULL  
4503 AHTANUM RD  
YAKIMA, WA 98903

18120424007  
CHRISTOPHER DANIEL JEWETT  
4905 LOWER AHTANUM RD  
YAKIMA, WA 98903

18120441007  
COLE W HANSEN  
5008 AHTANUM RD  
YAKIMA, WA 98903

18120442009  
COLE W HANSEN  
5008 AHTANUM RD  
YAKIMA, WA 98903

18133344426  
FILEMON GUZMAN & FLOR DE MARIA  
VELAZQUEZ  
2211 S 52ND AVE  
YAKIMA, WA 98903

18120424422  
FREDA ROBINSON  
9571 W TERRAN  
WESTWEGO, LA 70094

18120421004  
GEORGE RAY & TANA L COLLINS  
2401 S 52ND AVE  
YAKIMA, WA 98903

18120424412  
GERALD D JR & KAREN R POOL  
2502 S 52ND AVE  
YAKIMA, WA 98903

18120414400  
HOWARD & JEANIE ALEXANDER  
4507 W LARCH AVE  
YAKIMA, WA 98903

18120424418  
JAMES C & KIMBLEY R MARTIN  
PO BOX 18711  
RAYTOWN, MO 64133

18120421014  
JASON BRIGHT  
2309 S 52ND AVE  
YAKIMA, WA 98903

18120413402  
JOE M MARQUEZ  
4901 AHTANUM RD  
YAKIMA, WA 98903

18120424420  
LEONARD JR & ERRIN CUSHING  
2511 S 52ND AVE  
YAKIMA, WA 98903

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18120421400  
LESLI FARNSWORTH  
2301 S 52ND AVE  
YAKIMA, WA 98903

18120424423  
MICHAEL & OLLA GOODEN & GOODEN  
135 FIELDVIEW DR  
CRANDALL, TX 75114

121  
18120413005  
MICHAEL W & NITA M FERREIRA  
4609 AHTANUM RD  
YAKIMA, WA 98903

18120413014  
RANDY & MARYELLEN E MAY  
4601 AHTANUM RD  
YAKIMA, WA 98903

18120421012  
RICHARD & CHERYL WENTZ  
2307 S 52ND AVE  
YAKIMA, WA 98902

18120413004  
RICHARD STEVEN ISAAC  
4605 AHTANUM RD  
Yakima, WA 98903

18120421005  
ROBERT H BARTSCH  
3017 W LAKESIDE DR  
MOSES LAKE, WA 98837

18120424002  
ROBERT H BARTSCH  
3017 W LAKESIDE DR  
MOSES LAKE, WA 98837

18120414405  
ROGER HOVLAND  
PO BOX 775  
YAKIMA, WA 98901

18120424419  
SHANNON LEA NOWLIN  
2507 S 52ND AVE  
YAKIMA, WA 98903

18133344005  
TORRIE J & MICHAEL W MELTON  
2209 S 52ND AVE  
YAKIMA, WA 98903

41  
Total Parcels - Prickly Pear Holdings LLC  
"Plat of Champions Park Ph. 1"

MIKE HEIT  
2803 RIVER RD  
YAKIMA, WA 98902

Ntc of Pub. Hearing + DNS  
PLP# 000-23, SEPA# 011-23, CL# 038-23  
Sent 12/13/2023

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# F-4C

Ahtanum Irrigation District  
Beth Ann Brulotte  
10705-B Gilbert Road  
Yakima, WA 98903-9203  
bethb@ahatanum.net

Cascade Natural Gas  
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Kennewick, WA 99336

Century Link  
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Yakima, WA 98902

Charter Communications  
1005 North 16th Ave  
Yakima, WA 98902

City of Union Gap  
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dennis.henne@uniongapwa.gov

City of Yakima - Airport  
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jaime.vera@yakimawa.gov

City of Yakima - Engineering Division  
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Dan.Riddle@yakimawa.gov

City of Yakima - Wastewater Division  
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City of Yakima - Wastewater Division  
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Yakima, WA 98903

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10 North 9th Street  
Yakima, WA 98901  
chamber@yakima.org

Naches Cowiche Canal Association  
PO Box 9635  
Yakima, WA 98909  
NachesCowicheCanal@gmail.com

North Yakima Conservation District  
1606 Perry Street, Ste. C  
Yakima, WA 98902

Office of Rural and Farm Worker Housing  
Marty Miller  
1400 Summitview Ave, Ste# 203  
Yakima, WA 98902  
Martym@orfh.org

Pacific Power  
Mike Paulson  
500 North Keys Rd  
Yakima, WA 98901

United States Postal Service  
David James  
205 W Washington Ave  
Yakima, WA 98903  
david.r.james@usps.gov

Yakima Valley Trolleys  
PO Box 796  
Yakima, WA 98907  
info@yakimavalleytrolleys.org

WA State Attorney General's Office  
1433 Lakeside Court, Ste# 102  
Yakima, WA 98902

WA State Department of Agriculture  
Kelly McLain  
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kmclain@agr.wa.gov

WA State Department of Archaeology &  
Historic Preservation  
1063 S Capitol Way, Ste 106  
Olympia, WA 98504-8343  
Sepa@dahp.wa.gov

WA State Department of Commerce  
Review Team  
1011 Plum St SE  
Olympia, WA 98504-3172  
reviewteam@commerce.wa.gov

WA State Department of Ecology  
Annie Szvetcz  
P.O. Box 47703  
Olympia, WA 98504-7703  
Upload Docs to SEPA Register

WA State Department of Ecology  
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1250 W Alder St  
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crosepacoordinator@ecy.wa.gov

WA State Department of Ecology  
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lori.white@ecy.wa.gov

WA State Department of Ecology  
Rhonda Luke  
FormerOrchards@ecy.wa.gov

WA State Department of Ecology  
sepaunit@ecy.wa.gov

WA State Department of Energy Facility  
Site Evaluation Council -EFSEC  
PO Box 43172  
Olympia, WA 98504-3172  
efsec@utc.wa.gov

WA State Department of Fish and Wildlife  
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Yakima, WA 98902  
Eric.Bartrand@dfw.wa.gov

WA State Department of Fish and Wildlife  
Scott Downes  
Scott.Downes@dfw.wa.gov

WA State Department of Fish and Wildlife  
TeamYakima@dfw.wa.gov

DOC.  
INDEX

#

F4C

WA State Department of Fish and Wildlife,  
SEPA Desk  
PO Box 43200  
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R3planning@dfw.wa.gov

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Kelly Cooper  
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Kelly.cooper@doh.wa.gov

WA State Department of Health, Office of  
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Spokane Valley, WA 99216  
Jamie.gardipe@doh.wa.gov

WA State Department of Health, Office of  
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SEPA.reviewteam@doh.wa.gov

WA State Department of Natural  
Resources, SEPA Center  
PO Box 47015  
Olympia, WA 98504  
sepacenter@dnr.wa.gov

WA State Department of Social & Health  
Services, Office of Capital Programs  
Larry Covey  
P.O. Box 45848  
Olympia, WA 98504  
larry.covey@dshs.wa.gov

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Paul Gonseth  
2809 Rudkin Road  
Union Gap, WA 98903  
gonsetp@wsdot.wa.gov

WA State Department Transportation South  
Central Region Planning Office  
SCplanning@wsdot.wa.gov

WA State Department Transportation,  
Aviation Division  
AviationLandUse@wsdot.wa.gov

West Valley School District  
Dr. Peter Finch  
8902 Zier Road  
Yakima, WA 98908  
finchp@wvwd208.org

WA State Governor's Office of Indian Affairs  
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Olympia, WA 98504

WA State Parks & Recreation Commission  
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P.O. Box 42650  
Olympia, WA 98504  
sepa@parks.wa.gov

Yakama Bureau of Indian Affairs  
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Toppenish, WA 98948  
Rocco.clark@bia.gov

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Yakima, WA 98908-9299  
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Yakama Bureau of Indian Affairs  
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Toppenish, WA 98948

Yakama Indian Nation, Yakima Tribal  
Council  
Ruth Jim  
P.O. Box 151  
Toppenish, WA 98948

Yakama Nation Environmental Management  
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Elizabeth Sanchez  
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esanchez@yakama.com

Yakama Indian Nation, Cultural Resources  
Program  
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Toppenish, WA 98948

Yakima County Building Department  
Marivel Garcia  
128 North 2nd Street, 4th Floor  
Yakima, WA 98901  
marivel.garcia@co.yakima.wa.us

Yakima County Commissioners  
Commissioners.web@co.yakima.wa.us

Yakama-Klickitat Fisheries Project  
John Marvin  
760 Pence Road  
Yakima, WA 98909  
marj@yakamafish-nsn.gov  
jmarvin@yakama.com

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Yakima, WA 98908

Yakima Greenway Foundation  
Kellie Connaughton  
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Yakima, WA 98901  
kellie@yakimagreenway.org

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Yakima School District  
Stacey Locke  
104 North 4th Ave  
Yakima, WA 98902  
locke.stacey@ysd7.org

Yakima Regional Clean Air Agency  
Hasan Tahat  
186 Iron Horse Ct # 101  
Yakima, WA 98901  
hasan@yrcaa.org

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Yakima, WA 98902  
baucom.jay@yakimaschools.org

Yakima Valley Museum  
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Yakima, WA 98902  
peter@yvmuseum.org

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greene.trevor@ysd7.org

Yakima Valley Canal Co  
Robert Smoot  
1640 Garretson Lane  
Yakima, WA 98908

Yakima Valley Trolleys  
Paul Edmondson  
313 North 3rd Street  
Yakima, WA 98901

**SEPA REVIEWING AGENCIES**  
**\_UPDATED 12/07/2022**

Type of Notice: Ntc of Pub. Hearing + DNS  
File Number: PLP#007-23, SEPA#011-23, CWA#008-23  
Date of Mailing: 10/13/2023

**DOC.**  
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**Rivera, Eva**

---

**From:** NoReply@ecy.wa.gov  
**Sent:** Wednesday, December 13, 2023 10:42 AM  
**To:** Ask Planning  
**Subject:** Your SEPA Record Has Been Submitted!

The Department of Ecology has received a new SEPA record from Yakima City at Yakima City of with a File Number of: PLP002-23, SEPA011-23, CL2 038-23.

Your record is being reviewed by an administrator.

From: Yakima City  
Email: ask.planning@yakimawa.gov  
Phone number: (509) 575-6261



In-House Distribution E-mail List		Revised 11/21/2023
Name	Division	E-mail Address
Jaime Vera	Air Terminal	Jaime.Vera@yakimawa.gov
Silvia Corona	Clerk's Office	Silvia.Corona@yakimawa.gov
Glenn Denman	Code Administration	Glenn.Denman@yakimawa.gov
John Zabell	Code Administration	John.Zabell@yakimawa.gov
Pedro Contreras	Code Administration	Pedro.Contreras@yakimawa.gov
Suzanne DeBusschere	Code Administration	Suzanne.Debusschere@yakimawa.gov
Tony Doan	Code Administration	Tony.Doan@yakimawa.gov
Patty Reynoso	Code Administration	Patty.Reynoso@yakimawa.gov
Joan Davenport	Community Development	Joan.Davenport@yakimawa.gov
Lisa Maxey	Community Development	Lisa.Maxey@yakimawa.gov
Bill Preston	Engineering	Bill.preston@yakimawa.gov
Kirsten McPherson	Engineering	Kirsten.McPherson@yakimawa.gov
Dan Riddle	Engineering	Dan.Riddle@yakimawa.gov
Aaron Markham	Fire	Aaron.markham@yakimawa.gov
Jeremy Rodriguez	Fire	Jeremy.Rodriguez@yakimawa.gov
Sara Watkins	Legal	Sara.Watkins@yakimawa.gov
Joseph Calhoun	Planning	Joseph.Calhoun@yakimawa.gov
Eva Rivera	Planning	Eva.rivera@yakimawa.gov
Matt Murray	Police	Matthew.murray@yakimawa.gov
Scott Schafer	Public Works	Scott.Schafer@yakimawa.gov
Leovardo Cruz	Refuse	Leovardo.Cruz@yakimawa.gov
Randy Layman	Refuse	Randy.Layman@yakimawa.gov
Gregory Story	Transit	Gregory.Story@yakimawa.gov
Vanesa Sanchez	Utilities	vanesa.sanchez@yakimawa.gov
Dana Kallevig	Wastewater	Dana.Kallevig@yakimawa.gov
Randy Meloy	Wastewater	Randy.Meloy@yakimawa.gov
Mike Shane	Water/Irrigation	Mike.Shane@yakimawa.gov

Outside Distribution		
Name	Address	Notified?
(Subdivision notices ONLY) Pacific Power Attn: Estimating Department	500 N Keys Rd, Yakima, WA 98901	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
(Projects Adjacent to BNSF Right of Way ONLY) Central Washington Railroad	111 University Parkway, Suite 200 Yakima, WA 98901 (509) 453-9166 Tim Marshall, General Manager, <a href="mailto:tmarshall@cbrr.com">tmarshall@cbrr.com</a> Kim Yeager, Real Estate Manager, <a href="mailto:kyeager@ihdlc.com">kyeager@ihdlc.com</a>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> E-mail
(Shoreline notices ONLY) Department of Ecology	<a href="mailto:crosepa@ecy.wa.gov">crosepa@ecy.wa.gov</a>	<input type="checkbox"/> E-mail

Additional Parties of Record or Interested Parties Notified		
Name	Address	E-mail

Type of Notice:

File Number(s):

Date of Mailing:

NTC of Pub. Hearing + DNS  
 PLP#002-23, SEPA#011-23, CL#03023  
 12/13/2023

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# F-4C

**Rivera, Eva**

**From:** Rivera, Eva  
**Sent:** Wednesday, December 13, 2023 10:36 AM  
**To:** 'mheit@hlacivil.com'; 'byron@bortonfruit.com'; Bradburn, Trace; Calhoun, Joseph; Contreras, Pedro; Corona, Silvia; Cruz, Leovardo; Davenport, Joan; DeBusschere, Suzanne; Denman, Glenn; Doan, Tony; Kallevig, Dana; Layman, Randy; Markham, Aaron; Maxey, Lisa; McPherson, Kirsten; Meloy, Randy; Murray, Matthew; Preston, Bill; Reynoso, Patty; Riddle, Dan; Rivera, Eva; Sanchez, Vanesa; Schafer, Scott; Shane, Mike; Story, Gregory; Vera, Jaime; Watkins, Sara; Zabell, John; El Mundo; El Sol de Yakima; Fannin, John; KAPP TV News; KDNA Radio - Francisco Rios; KEPR TV News; KIMA TV News; KIT News; KIT/KATS/DMVW/KFFM - Lance Tormey; KNDO TV News; KNDU TV News; KUNW-TV Univision; KVEW TV News; La Casa Hogar; La Voz; Linos, Irene; Lozano, Bonnie; NWPR - Anna King; RCDR - Maria DJ Rodriguez; Tu Decides - Albert Torres; West Valley School District - Joe Connolly; Yakima Herald - Business; Yakima Herald Republic Newspaper; Yakima School District - Stacey Locke; Yakima School District - Trevor Greene; Yakima Valley Business Times; YPAC - Randy Beehler; Ahtanum Irrigation District - Beth Brulotte; Cawley, Marc; Greater Yakima Chamber of Commerce; Henne, Dennis; Jack Wells - Yakima County Water Resources; Linos, Irene; Office Rural Farmworker Housing - Marty Miller; Rivera, Eva; United States Postal Service - David James; WA State Dept Agriculture - Kelly McLain; WA State Dept Archaeology Historic Pres - SEPA; WA State Dept Commerce - Review Team; WA State Dept Ecology - CRO SEPA; WA State Dept Ecology - Former Orchards; WA State Dept Ecology - Lori White; WA State Dept Ecology - SEPA Unit; WA State Dept Energy Facility Site Eval; WA State Dept Fish and Wildlife - Eric Bartrand; WA State Dept Fish and Wildlife - Scott Downes; WA State Dept Fish and Wildlife - SEPA; WA State Dept Fish and Wildlife - Team Yakima; WA State Dept Health - Jamie Gardipe; WA State Dept Health - Kelly Cooper; WA State Dept Health - SEPA ; WA State Dept Natural Resources - SEPA Center; WA State Dept Social Health Svcs - Larry Covey; WA State Dept Transportation- South Central Region; WA State Dept Transportation - Paul Gonseth; WA State Parks and Recreation - SEPA; West Valley School District - Peter Finch; WSDOT Aviation ; Yakama Bureau of Indian Affairs - Rocco Clark; Yakama Nation Environmental Mgmt Program - Elizabeth Sanchey; Yakama-Klickitat Fisheries Project - John Marvin; Yakama-Klickitat Fisheries Project - John Marvin; Yakima County Building Dept - Marivel Garcia; Yakima County Commissioners; Yakima County Health District; Yakima County Health District - Ryan Ibach; Yakima County Planning Division - Jason Earles; Yakima County Planning Division - Thomas Carroll; Yakima County Public Services - Lisa Freund; Yakima County Water Resources Div - Troy Havens; Yakima Greenway Foundation - Kellie Connaughton; Yakima Regional Clean Air Agency - Hasan Tahat; Yakima Valley Museum - Peter Arnold; Yakima Valley Trolleys; Yakima Waste Systems; Gary Cuillier; Pat Spurgin (pds@spurginlawoffice.com)  
**Cc:** Kennedy, Connor  
**Subject:** NTC OF PUB. HEARING & DNS - Prickly Pear Holdings LLC - Plat of Champions Park Ph. 1 - PLP#002-23, CL2#038-23, SEPA#011-23  
**Attachments:** DNS\_SEPA#011-23, PLP#002-23.pdf; NTC OF PUB HEARING\_PLP#002-23.pdf

Good morning,

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# F-4b

Attached is a Notice of Public Hearing and DNS regarding the above-entitled project. If you have<sup>128</sup> any questions about this proposal, please contact the assigned planner, Connor Kennedy at [connor.kennedy@yakimawa.gov](mailto:connor.kennedy@yakimawa.gov).

Thank you!



*Eva Rivera*  
**Planning Technician**  
**Phone:** 509-575-6261  
**Email:** [eva.rivera@yakimawa.gov](mailto:eva.rivera@yakimawa.gov)

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*This email is a public record of the City of Yakima and is subject to public disclosure unless exempt under the Washington Public Records Act. This email is subject to the State Retention Schedule.*

**CITY OF YAKIMA  
NOTICE OF PUBLIC  
HEARING**

**DATE:** 12/13/2023; **FROM:** Joan Davenport, AICP, Community Development Director; **APPLICANT:** HLA Engineering & Surveying Inc. on behalf of Prickly Pear Holdings LLC (2803 River Rd., Yakima, WA 98902); **FILE NUMBER:** PLP#002-23, SEPA#011-23, CL2#038-23; **LOCATION:** 4607 & 4701 Ahtanum Road.; **TAX PARCEL NUMBER(S):** 181204-13018, 181204-13016; **DATE OF APPLICATION:** 10/09/2023; **DATE OF COMPLETENESS:** 11/7/2023; **PROJECT**

**DESCRIPTION** Preliminary long plat to subdivide approximately 21.06 acres into 93 single-family lots and environmental review in the R-1 and R-2 zoning districts.

**NOTICE OF PUBLIC**

**HEARING** This preliminary long plat and environmental review will require two public hearings; one open record hearing before the Hearing Examiner to be followed by a closed record hearing before the Yakima City Council. **A separate notice will be provided for the public hearing before the Yakima City Council.** The public hearing before the Hearing Examiner has been scheduled for **Thursday, January 11, 2024, beginning at 9:00 a.m. in the City Hall Council Chambers.** Any person desiring to express their views on the matter is invited to attend the hearing to provide testimony. **NOTICE OF**

**RECOMMENDATION**

Following the public hearing, the Hearing Examiner will issue his recommendation within ten (10) business days. When available, a copy of the decision will be mailed to parties of record. The file containing the complete application is available for public review at the City of Yakima Planning Division, City Hall – 2nd Floor, 129 N. 2nd St., Yakima, WA. If you have questions regarding this proposal, please call Connor Kennedy, Assistant Planner, at (509) 575-6162, or email to: [connor.kennedy@yakimawa.gov](mailto:connor.kennedy@yakimawa.gov).

(68571) December 13, 2023

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#

F-4a

RECEIVED

DEC 19 2023

FINANCE DEPT.



El Sol de Yakima

**AFFIDAVIT OF PUBLICATION**

Eva Rivera  
 City Of Yakima Planning  
 129 N 2nd Street  
 Yakima WA 98901

**STATE OF WASHINGTON, COUNTIES OF YAKIMA**

The undersigned, on oath states that he/she is an authorized representative of Yakima Herald-Republic, Inc., publisher of Yakima Herald-Republic and El Sol de Yakima, of general circulation published daily in Yakima County, State of Washington. Yakima Herald-Republic and El Sol de Yakima have been approved as legal newspapers by orders of the Superior Court of Yakima County.

The notice, in the exact form annexed, was published in the regular and entire issue of said paper or papers and distributed to its subscribers during all of the said period.

12/13/2023

Agent

JACKIE CHAPMAN

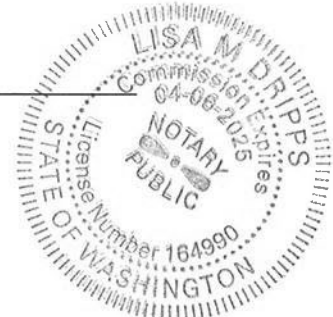
Signature

Jackie Chapman

Subscribed and sworn to before me on

December 13, 2023Lisa M. Driggs

(Notary Signature) Notary Public in and for the State of Washington, residing at Yakima



Publication Cost: \$131.35  
 Order No: 68571  
 Customer No: 23222  
 PO #:

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# F-4a

**CITY OF YAKIMA  
NOTICE OF PUBLIC  
HEARING**

**DATE:** 12/13/2023; **FROM:**

Joan Davenport, AICP,  
Community Development  
Director; **APPLICANT:** HLA  
Engineering & Surveying Inc.  
on behalf of Prickly Pear  
Holdings LLC (2803 River Rd.,  
Yakima, WA 98902); **FILE**

**NUMBER:** PLP#002-23,  
SEPA#011-23, CL2#038-23;

**LOCATION:** 4607 & 4701  
Ahtanum Road.; **TAX**

**PARCEL NUMBER(S):**  
181204-13018, 181204-

13016; **DATE OF**

**APPLICATION:** 10/09/2023;

**DATE OF COMPLETENESS:**

11/7/2023; **PROJECT**

**DESCRIPTION** Preliminary  
long plat to subdivide  
approximately 21.06 acres  
into 93 single-family lots and  
environmental review in the R-  
1 and R-2 zoning districts.

**NOTICE OF PUBLIC**

**HEARING** This preliminary  
long plat and environmental  
review will require two public  
hearings; one open record  
hearing before the Hearing  
Examiner to be followed by a  
closed record hearing before  
the Yakima City Council. A

separate notice will be  
provided for the public  
hearing before the Yakima  
City Council. The public  
hearing before the Hearing  
Examiner has been scheduled  
for **Thursday, January 11,**  
**2024, beginning at 9:00 a.m.**  
**in the City Hall Council**

**Chambers.** Any person  
desiring to express their views  
on the matter is invited to  
attend the hearing to provide  
testimony. **NOTICE OF**

**RECOMMENDATION**

Following the public hearing,  
the Hearing Examiner will  
issue his recommendation  
within ten (10) business days.  
When available, a copy of the  
decision will be mailed to  
parties of record. The file  
containing the complete  
application is available for  
public review at the City of  
Yakima Planning Division, City  
Hall – 2nd Floor, 129 N. 2nd  
St., Yakima, WA. If you have  
questions regarding this  
proposal, please call Connor  
Kennedy, Assistant Planner,  
at (509) 575-6162, or email to:  
connor.kennedy  
@yakimawa.gov.

(68571) December 13, 2023

Publication Cost: \$131.35

Order No: 68571

Customer No: 23222

PO #:

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# DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

[ask.planning@yakimawa.gov](mailto:ask.planning@yakimawa.gov) · [www.yakimawa.gov/services/planning](http://www.yakimawa.gov/services/planning)

## NOTICE OF PUBLIC HEARING

**DATE:** December 13, 2023  
**TO:** SEPA Reviewing Agencies, Applicant, and Adjoining Property Owners  
**FROM:** Joan Davenport, AICP, Community Development Director  
**SUBJECT:** Preliminary Long Plat and Environmental Review  
**File Numbers:** PLP#002-23, SEPA#011-23, and CL2#038-23  
**Project Applicant:** HLA Engineering & Land Surveying on behalf of Prickly Pear Holdings LLC (2803 River Rd., Yakima, WA 98902)  
**Project Location:** 4607 & 4701 Ahtanum Road  
**Parcel Number:** 181204-13018, 181204-13016

**PROJECT DESCRIPTION** Preliminary long plat to subdivide approximately 21.06 acres into 93 single-family lots and environmental review in the R-1 and R-2 zoning districts.

**NOTICE OF PUBLIC HEARING** This preliminary long plat and environmental review will require two public hearings; one open record hearing before the Hearing Examiner to be followed by a closed record hearing before the Yakima City Council. **A separate notice will be provided for the public hearing before the Yakima City Council.** The public hearing before the Hearing Examiner has been scheduled for **Thursday, January 11, 2024, beginning at 9:00 a.m. in the City Hall Council Chambers.** Any person desiring to express their views on the matter is invited to attend the hearing to provide testimony.

**NOTICE OF RECOMMENDATION** Following the public hearing, the Hearing Examiner will issue his recommendation within ten (10) business days. When available, a copy of the recommendation will be mailed to parties of record and entities who were provided this notice.

The file containing the complete application is available for public review at the City of Yakima Planning Division, City Hall – 2nd Floor, 129 N. 2nd St., Yakima, WA. If you have questions regarding this proposal, please call Connor Kennedy, Assistant Planner, at (509) 575-6162, or email to: [connor.kennedy@yakimawa.gov](mailto:connor.kennedy@yakimawa.gov).

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## DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

**FECHA OTORGADA:** 13 de diciembre, 2023  
**PARA:** Agencias de Revisión Ambiental, Solicitante y Propietarios Adyacentes  
**DE:** Joan Davenport, AICP, Directora de Desarrollo Comunitario  
**ASUNTO:** Propuesta Preliminar para Subdividir y Revisión Ambiental  
**No. DE ARCHIVO:** PLP#002-23, SEPA#011-23, y CL2#038-23  
**SOLICITANTE:** HLA Engineering & Land Surveying por parte de Prickly Pear Holdings LLC (2803 River Rd., Yakima, WA 98902)  
**UBICACIÓN:** 4607 y 4701 Ahtanum Road  
**No. DE PARCELA:** 181204-13018, 181204-13016

**DESCRIPCIÓN DEL PROYECTO** Propuesta para una subdivisión preliminar para dividir una parcela de aproximadamente 21.06 acres en 93 lotes unifamiliares y revisión ambiental en la zona residencial R-1 y R-2.

**AVISO DE AUDIENCIA PUBLICA:** Esta solicitud de propuesta para una subdivisión preliminar requerirá dos audiencias públicas; una audiencia de registro abierto ante el Examinador de Audiencias seguido por una de audiencia de registro cerrado ante el Concejo Municipal de Yakima. **Se proporcionará un aviso por separado para la audiencia pública ante el Concejo Municipal de Yakima.** La audiencia pública ante el Examinador de Audiencias ha sido programada para el **jueves 11 de enero 2024, comenzando las 9:00 a.m.** en la Sala del Concejo Municipal en el Ayuntamiento. Cualquier persona que desee expresar su opinión sobre este asunto está invitada a asistir a la audiencia para presentar testimonio.

**AVISO DE LA RECOMENDACION:** Después de la audiencia pública, el Examinador de Audiencias emitirá su recomendación dentro de diez días hábiles. Cuando la recomendación este disponible, una copia será enviada a las personas que mandaron comentarios o que recibieron este aviso inicial.

El archivo que contiene la aplicación completa está disponible para inspección pública en la Oficina de Planificación de la Ciudad de Yakima en el 129 al Norte la Calle 2da, Yakima, WA. Si tiene cualquier pregunta sobre esta propuesta, puede contactar a la Oficina de Planificación al (509) 575-6183 o por correo electrónico al: [ask.planning@yakimawa.gov](mailto:ask.planning@yakimawa.gov)

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DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

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**WASHINGTON STATE ENVIRONMENTAL POLICY ACT  
DETERMINATION OF NONSIGNIFICANCE  
CITY OF YAKIMA, WASHINGTON  
December 13, 2023**

**PROJECT DESCRIPTION:** Preliminary long plat to subdivide approximately 21.06 acres parcel into 93 single-family residential lots, located in the R-1 and R-2 zoning district.

**LOCATION:** 4607 & 4701 Ahtanum Road.

**PARCEL NUMBER:** 181204-13018, 181204-13016

**PROPONENT:** HLA Engineering & Land Surveying

**PROPERTY OWNER:** Prickly Pear Holdings LLC

**LEAD AGENCY:** City of Yakima

**FILE NUMBERS:** PLP#002-23, SEPA#011-23, CL2#038-23

**DETERMINATION:** The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request.

☒ This DNS is issued after using the optional DNS process in WAC 197-11-355.  
There is no further comment period on the DNS.

Responsible Official: Joan Davenport

Position/Title: SEPA Responsible Official

Phone: (509) 575-6183

Address: 129 N. 2nd Street, Yakima, WA 98901

**Date:** December 13, 2023

**Signature**

☒ You may appeal this determination to: Joan Davenport, AICP, Director of Community Development, at 129 N. 2nd Street, Yakima, WA 98901.

No later than: **December 27, 2023.**

By method: Complete appeal application form and payment of appeal fee.

You should be prepared to make specific factual objections. Contact the City of Yakima Planning Division to read or ask about the procedures for SEPA appeals.

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**AFFIDAVIT OF MAILING**

STATE OF WASHINGTON

CITY OF YAKIMA

RE: PLP#002-23, SEPA#011-23, CL2#038-23PRICKLY PEAR HOLDINGS LLC "PLAT OF CHAMPIONS PARK PHASE 1"  
4607 & 4701 LOWER AHTANUM RD

I, Eva Rivera, as an employee of the Yakima City Planning Division, have dispatched through the United States Mails, a **Notice of Application and Environmental Review**; a true and correct copy of which is enclosed herewith; that said notice was addressed to the applicant, SEPA reviewing agencies, and all property owners of record within a radius of 300 feet of subject property; that said property owners are individually listed on the mailing list retained by the Planning Division; and that said notices were mailed by me on the 17<sup>th</sup> day of **November 2023**.

That I mailed said notices in the manner herein set forth and that all of the statements made herein are just and true.



Eva Rivera

Planning Technician

DOC.

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18120424003  
LITTLEFIELD LIVING TRUST  
2405 S 52ND AVE  
YAKIMA, WA 98903

18120424016  
LITTLEFIELD LIVING TRUST  
2405 S 52ND AVE  
YAKIMA, WA 98903

18120414409  
PRICKLY PEAR HOLDING LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120411002  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120412001  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413016  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413018  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120424015  
PRICKLY PEAR HOLDINGS LLC  
2550 BORTON RD  
YAKIMA, WA 98903

18120413003  
ROLAND & BETTY HOLWEGNER LIVING  
TRUST  
4603 AHTANUM RD  
YAKIMA, WA 98903

18120413009  
STOOTHOFF REVOCABLE TRUST  
4907 AHTANUM RD  
YAKIMA, WA 98903

18120413403  
SUN MEADOWS TP YAKIMA LLC  
222 S 1ST ST  
YAKIMA, WA 98901

18120421010  
TRAMMELLS BAR 71 RANCH LLC  
205 N 86TH AVE  
YAKIMA, WA 98908

18120424014  
BRIAN A AKERS  
3300 S 99TH AVE  
YAKIMA, WA 98903

18120414410  
CHAD D & JENNIFER M NULL  
4503 AHTANUM RD  
YAKIMA, WA 98903

18120441007  
COLE W HANSEN  
5008 AHTANUM RD  
YAKIMA, WA 98903

18120442009  
COLE W HANSEN  
5008 AHTANUM RD  
YAKIMA, WA 98903

18120424422  
FREDA ROBINSON  
1953 E 123RD ST  
COMPTON, CA 90222

18120421004  
GEORGE RAY & TANA L COLLINS  
2401 S 52ND AVE  
YAKIMA, WA 98903

18120414400  
HOWARD & JEANIE ALEXANDER  
4507 W LARCH AVE  
YAKIMA, WA 98903

18120424418  
JAMES C & KIMBLEY R MARTIN  
PO BOX 18711  
RAYTOWN, MO 64133

18120421014  
JASON BRIGHT  
2309 S 52ND AVE  
YAKIMA, WA 98903

18120424423  
MICHAEL & OLLA GOODEN & GOODEN  
135 FIELDVIEW DR  
CRANDALL, TX 75114

18120413005  
MICHAEL W & NITA M FERREIRA  
4609 AHTANUM RD  
YAKIMA, WA 98903

18120413014  
RANDY & MARYELLEN E MAY  
4601 AHTANUM RD  
YAKIMA, WA 98903

18120413004  
RICHARD STEVEN ISAAC  
4605 AHTANUM RD  
Yakima, WA 98903

18120424002  
ROBERT H BARTSCH  
3017 W LAKESIDE DR  
MOSES LAKE, WA 98837

18120424419  
SHANNON LEA NOWLIN  
2507 S 52ND AVE  
YAKIMA, WA 98903

27  
Total Parcels - Prickly Pear Holdings LLC  
"Plat of Champions Park Ph. 1"

MIKE HEIT  
2803 RIVER RD  
YAKIMA, WA 98902

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Ntc of Appt Enviro. Review  
PLP#002.23, SEP#011.23, CL#038.23  
Sent 11/17/2023

Ahtanum Irrigation District  
Beth Ann Brulotte  
10705-B Gilbert Road  
Yakima, WA 98903-9203  
bethb@ahtanum.net

Cascade Natural Gas  
8113 W Grandridge Blvd  
Kennewick, WA 99336

Century Link  
8 South 2nd Ave, Rm#304  
Yakima, WA 98902

Charter Communications  
1005 North 16th Ave  
Yakima, WA 98902

City of Union Gap  
Dennis Henne  
P.O. Box 3008  
Union Gap, WA 98903  
dennis.henne@uniongapwa.gov

City of Yakima - Airport  
Jaime Vera  
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Yakima, WA 98903  
jaime.vera@yakimawa.gov

City of Yakima - Engineering Division  
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Yakima, WA 98901  
Dan.Riddle@yakimawa.gov

City of Yakima - Wastewater Division  
Dana Kallevig  
2220 East Viola Ave  
Yakima, WA 98901  
dana.kallevig@yakimawa.gov

City of Yakima - Wastewater Division  
Marc Cawley  
2220 East Viola Ave  
Yakima, WA 98901  
marc.cawley@yakimawa.gov

Federal Aviation Administration  
2200 W. Washington Ave  
Yakima, WA 98903

Greater Yakima Chamber of Commerce  
10 North 9th Street  
Yakima, WA 98901  
chamber@yakima.org

Naches Cowiche Canal Association  
PO Box 9635  
Yakima, WA 98909  
NachesCowicheCanal@gmail.com

North Yakima Conservation District  
1606 Perry Street, Ste. C  
Yakima, WA 98902

Office of Rural and Farm Worker Housing  
Marty Miller  
1400 Summitview Ave, Ste# 203  
Yakima, WA 98902  
Martym@orfh.org

Pacific Power  
Mike Paulson  
500 North Keys Rd  
Yakima, WA 98901

United States Postal Service  
David James  
205 W Washington Ave  
Yakima, WA 98903  
david.r.james@usps.gov

Yakima Valley Trolleys  
PO Box 796  
Yakima, WA 98907  
info@yakimavalleytrolleys.org

WA State Attorney General's Office  
1433 Lakeside Court, Ste# 102  
Yakima, WA 98902

WA State Department of Agriculture  
Kelly McLain  
PO Box 42560  
Olympia, WA 98504  
kmcclain@agr.wa.gov

WA State Department of Archaeology &  
Historic Preservation  
1063 S Capitol Way, Ste 106  
Olympia, WA 98504-8343  
Sepa@dahp.wa.gov

WA State Department of Commerce  
Review Team  
1011 Plum St SE  
Olympia, WA 98504-3172  
reviewteam@commerce.wa.gov

WA State Department of Ecology  
Annie Szvetcz  
P.O. Box 47703  
Olympia, WA 98504-7703  
Upload Docs to SEPA Register

WA State Department of Ecology  
Gwen Clear  
1250 W Alder St  
Union Gap, WA 98903  
crosepacoordinator@ecy.wa.gov

WA State Department of Ecology  
Lori White  
lori.white@ecy.wa.gov

WA State Department of Ecology  
Rhonda Luke  
FormerOrchards@ecy.wa.gov

WA State Department of Ecology  
sepaunit@ecy.wa.gov

WA State Department of Energy Facility  
Site Evaluation Council -EFSEC  
PO Box 43172  
Olympia, WA 98504-3172  
efsec@utc.wa.gov

WA State Department of Fish and Wildlife  
Eric Bartrand  
1701 South 24th Ave  
Yakima, WA 98902  
Eric.Bartrand@dfw.wa.gov

WA State Department of Fish and Wildlife  
Scott Downes  
Scott.Downes@dfw.wa.gov

WA State Department of Fish and Wildlife  
TeamYakima@dfw.wa.gov

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WA State Department of Fish and Wildlife,  
SEPA Desk  
PO Box 43200  
Olympia, WA 98504  
R3planning@dfw.wa.gov

WA State Department of Health, Office of  
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SEPA.reviewteam@doh.wa.gov

WA State Department of Transportation  
Paul Gonseth  
2809 Rudkin Road  
Union Gap, WA 98903  
gonsetp@wsdot.wa.gov

West Valley School District  
Dr. Peter Finch  
8902 Zier Road  
Yakima, WA 98908  
finchp@wvwd208.org

Yakama Bureau of Indian Affairs  
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Toppenish, WA 98948  
Rocco.clark@bia.gov

Yakama Indian Nation, Yakima Tribal  
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Ruth Jim  
P.O. Box 151  
Toppenish, WA 98948

Yakima County Building Department  
Marivel Garcia  
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Yakima County Health District  
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Union Gap, WA 98903  
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mark.lanter@wasteconnections.com

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WA State Department of Natural  
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WA State Department Transportation South  
Central Region Planning Office  
SCplanning@wsdot.wa.gov

WA State Governor's Office of Indian Affairs  
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Yakama Nation Environmental Management  
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esanchey@yakama.com

Yakima County Commissioners  
Commissioners.web@co.yakima.wa.us

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Troy.Havens@co.yakima.wa.us

Yakima-Tieton Irrigation District  
Sandra Hull  
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Yakima, WA 98908

WA State Department of Health, Office of  
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Jamie.gardipe@doh.wa.gov

WA State Department of Social & Health  
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Olympia, WA 98504  
larry.covey@dshs.wa.gov

WA State Department Transportation,  
Aviation Division  
AviationLandUse@wsdot.wa.gov

WA State Parks & Recreation Commission  
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P.O. Box 42650  
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sepa@parks.wa.gov

Yakama Bureau of Indian Affairs  
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Toppenish, WA 98948

Yakama Indian Nation, Cultural Resources  
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P.O. Box 151  
Toppenish, WA 98948

Yakama-Klickitat Fisheries Project  
John Marvin  
760 Pence Road  
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marj@yakamafish-nsn.gov  
jmarvin@yakama.com

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ryan.ibach@co.yakima.wa.us

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128 North 2nd Street, 4th Floor  
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Thomas.Carroll@co.yakima.wa.us

Yakima Greenway Foundation  
Kellie Connaughton  
111 South 18th Street  
Yakima, WA 98901  
kellie@yakimagreenway.org

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Yakima School District  
Stacey Locke  
104 North 4th Ave  
Yakima, WA 98902  
locke.stacey@ysd7.org

Yakima Regional Clean Air Agency  
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baucom.jay@yakimaschools.org

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peter@yvmuseum.org

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Robert Smoot  
1640 Garretson Lane  
Yakima, WA 98908

Yakima Valley Trolleys  
Paul Edmondson  
313 North 3rd Street  
Yakima, WA 98901

SEPA REVIEWING AGENCIES  
\_UPDATED 12/07/2022

Type of Notice: NTC of App + Enviro. Rev.  
File Number: PLP#002-23, SEPA#011-23, CL2#038-23  
Date of Mailing: 11/17/2023

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**Rivera, Eva**

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**From:** NoReply@ecy.wa.gov  
**Sent:** Friday, November 17, 2023 11:51 AM  
**To:** Ask Planning  
**Subject:** Your SEPA Record Has Been Submitted!

The Department of Ecology has received a new SEPA record from Yakima City at Yakima City of with a File Number of: .  
Your record is being reviewed by an administrator.

From: Yakima City  
Email: ask.planning@yakimawa.gov  
Phone number: (509) 575-6261

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In-House Distribution E-mail List		Revised 05/12/2023
Name	Division	E-mail Address
Jaime Vera	Air Terminal	<a href="mailto:Jaime.Vera@yakimawa.gov">Jaime.Vera@yakimawa.gov</a>
Silvia Corona	Clerk's Office	<a href="mailto:Silvia.Corona@yakimawa.gov">Silvia.Corona@yakimawa.gov</a>
Glenn Denman	Code Administration	<a href="mailto:Glenn.Denman@yakimawa.gov">Glenn.Denman@yakimawa.gov</a>
John Zabell	Code Administration	<a href="mailto:John.Zabell@yakimawa.gov">John.Zabell@yakimawa.gov</a>
Pedro Contreras	Code Administration	<a href="mailto:Pedro.Contreras@yakimawa.gov">Pedro.Contreras@yakimawa.gov</a>
Suzanne DeBusschere	Code Administration	<a href="mailto:Suzanne.Debusschere@yakimawa.gov">Suzanne.Debusschere@yakimawa.gov</a>
Tony Doan	Code Administration	<a href="mailto:Tony.Doan@yakimawa.gov">Tony.Doan@yakimawa.gov</a>
Patty Reynoso	Code Administration	<a href="mailto:Patty.Reynoso@yakimawa.gov">Patty.Reynoso@yakimawa.gov</a>
Joan Davenport	Community Development	<a href="mailto:Joan.Davenport@yakimawa.gov">Joan.Davenport@yakimawa.gov</a>
Lisa Maxey	Community Development	<a href="mailto:Lisa.Maxey@yakimawa.gov">Lisa.Maxey@yakimawa.gov</a>
Bill Preston	Engineering	<a href="mailto:Bill.preston@yakimawa.gov">Bill.preston@yakimawa.gov</a>
Kirsten McPherson	Engineering	<a href="mailto:Kirsten.McPherson@yakimawa.gov">Kirsten.McPherson@yakimawa.gov</a>
Dan Riddle	Engineering	<a href="mailto:Dan.Riddle@yakimawa.gov">Dan.Riddle@yakimawa.gov</a>
Aaron Markham	Fire	<a href="mailto:Aaron.markham@yakimawa.gov">Aaron.markham@yakimawa.gov</a>
Jeremy Rodriguez	Fire	<a href="mailto:Jeremy.Rodriguez@yakimawa.gov">Jeremy.Rodriguez@yakimawa.gov</a>
Sara Watkins	Legal	<a href="mailto:Sara.Watkins@yakimawa.gov">Sara.Watkins@yakimawa.gov</a>
Joseph Calhoun	Planning	<a href="mailto:Joseph.Calhoun@yakimawa.gov">Joseph.Calhoun@yakimawa.gov</a>
Eva Rivera	Planning	<a href="mailto:Eva.rivera@yakimawa.gov">Eva.rivera@yakimawa.gov</a>
Matt Murray	Police	<a href="mailto:Matthew.murray@yakimawa.gov">Matthew.murray@yakimawa.gov</a>
Scott Schafer	Public Works	<a href="mailto:Scott.Schafer@yakimawa.gov">Scott.Schafer@yakimawa.gov</a>
Leovardo Cruz	Refuse	<a href="mailto:Leovardo.Cruz@yakimawa.gov">Leovardo.Cruz@yakimawa.gov</a>
Randy Layman	Refuse	<a href="mailto:Randy.Layman@yakimawa.gov">Randy.Layman@yakimawa.gov</a>
Gregory Story	Transit	<a href="mailto:Gregory.Story@yakimawa.gov">Gregory.Story@yakimawa.gov</a>
James Dean	Utilities	<a href="mailto:James.Dean@yakimawa.gov">James.Dean@yakimawa.gov</a>
Dana Kallevig	Wastewater	<a href="mailto:Dana.Kallevig@yakimawa.gov">Dana.Kallevig@yakimawa.gov</a>
Randy Meloy	Wastewater	<a href="mailto:Randy.Meloy@yakimawa.gov">Randy.Meloy@yakimawa.gov</a>
Mike Shane	Water/Irrigation	<a href="mailto:Mike.Shane@yakimawa.gov">Mike.Shane@yakimawa.gov</a>

Outside Distribution		
Name	Address	Notified?
<i>(Subdivision notices ONLY)</i> Pacific Power Attn: Estimating Department	500 N Keys Rd, Yakima, WA 98901	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<i>(Projects Adjacent to BNSF Right of Way ONLY)</i> Central Washington Railroad	111 University Parkway, Suite 200 Yakima, WA 98901 (509) 453-9166 Tim Marshall, General Manager, <a href="mailto:tmarshall@cbr.com">tmarshall@cbr.com</a> Kim Yeager, Real Estate Manager, <a href="mailto:kyeager@ihdlc.com">kyeager@ihdlc.com</a>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> E-mail
<i>(Shoreline notices ONLY)</i> Department of Ecology	<a href="mailto:crosepa@ecy.wa.gov">crosepa@ecy.wa.gov</a>	<input type="checkbox"/> E-mail

Additional Parties of Record or Interested Parties Notified		
Name	Address	E-mail

Type of Notice: Ntc of App + Enviro. Rev.  
File Number(s): DLP#00223, SEPA#011-23, CL2#638-23  
Date of Mailing: \_\_\_\_\_

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**Rivera, Eva**

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**From:** Rivera, Eva  
**Sent:** Friday, November 17, 2023 11:33 AM  
**To:** 'mheit@hlacivil.com'; 'byron@bortonfruit.com'; Bradburn, Trace; Calhoun, Joseph; Contreras, Pedro; Corona, Silvia; Cruz, Leovardo; Davenport, Joan; Dean, James; DeBusschere, Suzanne; Denman, Glenn; Doan, Tony; Kallevig, Dana; Layman, Randy; Markham, Aaron; Maxey, Lisa; McPherson, Kirsten; Meloy, Randy; Murray, Matthew; Preston, Bill; Reynoso, Patty; Riddle, Dan; Rivera, Eva; Schafer, Scott; Shane, Mike; Story, Gregory; Vera, Jaime; Watkins, Sara; Zabell, John; Ahtanum Irrigation District - Beth Brulotte; Cawley, Marc; Greater Yakima Chamber of Commerce; Henne, Dennis; Jack Wells - Yakima County Water Resources; Linos, Irene; Office Rural Farmworker Housing - Marty Miller; Rivera, Eva; United States Postal Service - David James; WA State Dept Agriculture - Kelly McLain; WA State Dept Archaeology Historic Pres - SEPA; WA State Dept Commerce - Review Team; WA State Dept Ecology - CRO SEPA; WA State Dept Ecology - Former Orchards; WA State Dept Ecology - Lori White; WA State Dept Ecology - SEPA Unit; WA State Dept Energy Facility Site Eval; WA State Dept Fish and Wildlife - Eric Bartrand; WA State Dept Fish and Wildlife - Scott Downes; WA State Dept Fish and Wildlife - SEPA; WA State Dept Fish and Wildlife - Team Yakima; WA State Dept Health - Jamie Gardipe; WA State Dept Health - Kelly Cooper; WA State Dept Health - SEPA ; WA State Dept Natural Resources - SEPA Center; WA State Dept Social Health Svcs - Larry Covey; WA State Dept Transportation- South Central Region; WA State Dept Transportation - Paul Gonseth; WA State Parks and Recreation - SEPA; West Valley School District - Joe Connolly; West Valley School District - Peter Finch; WSDOT Aviation ; Yakama Bureau of Indian Affairs - Rocco Clark; Yakama Nation Environmental Mgmt Program - Elizabeth Sanchey; Yakama-Klickitat Fisheries Project - John Marvin; Yakama-Klickitat Fisheries Project - John Marvin; Yakima County Building Dept - Marivel Garcia; Yakima County Commissioners; Yakima County Health District; Yakima County Health District - Ryan Ibach; Yakima County Planning Division - Jason Earles; Yakima County Planning Division - Thomas Carroll; Yakima County Public Services - Lisa Freund; Yakima County Water Resources Div - Troy Havens; Yakima Greenway Foundation - Kellie Connaughton; Yakima Regional Clean Air Agency - Hasan Tahat; Yakima School District - Stacey Locke; Yakima School District - Trevor Greene; Yakima Valley Museum - Peter Arnold; Yakima Valley Trolleys; Yakima Waste Systems  
**Cc:** Kennedy, Connor  
**Subject:** NTC OF APP & ENVIRO. REVIEW - PRICKLY PEAR HOLDINGS LLC/PLAT OF CHAMPIONS PARK PH.1 - PLP#002-23, SEPA#011-23, CL2#038-23  
**Attachments:** NTC OF APP AND ENVIRO. REV\_PLP#002-23.pdf

Good morning,

I have attached a Notice of Application and Environmental Review for the abovementioned project. If you have any inquiries about this proposal, please feel free to contact the assigned planner, Connor Kennedy, at [connor.kennedy@yakimawa.gov](mailto:connor.kennedy@yakimawa.gov).

Thank you,

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# DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

## NOTICE OF APPLICATION AND ENVIRONMENTAL REVIEW

**DATE:** November 17, 2023  
**TO:** SEPA Reviewing Agencies, Applicant, and Adjoining Property Owners  
**FROM:** Joan Davenport, AICP, Community Development Director  
**APPLICANT:** HLA Engineering & Land Surveying Inc. on behalf of Prickly Pear Holdings LLC  
**FILE NUMBER:** PLP#002-23, SEPA#011-23, CL2#038-23  
**LOCATION:** 4607 & 4701 Ahtanum Rd  
**TAX PARCEL NUMBER(S):** 181204-13018, 18204-13016  
**DATE OF APPLICATION:** October 9, 2023  
**DATE OF COMPLETENESS:** November 7, 2023

**PROJECT DESCRIPTION** Preliminary long plat to subdivide approximately 21.06 acres into 93 single-family lots, including 46 common wall dwellings, in the R-1 and R-2 zoning districts.

**DETERMINATION OF CONSISTENCY** Pursuant to YMC § 16.06.020(A), the project considerations are determined to be consistent with applicable development regulations, as follows:

1. The type of land use: Preliminary Long Plat for 93 single-family lots
2. Level of Development: 93 single-family lots on 13.34 acres
3. Infrastructure and public facilities: The subject property is able to be served by public streets, water garbage collection, etc.
4. Characteristics of development: 93 single-family homes on lots ranging from 3,718 square feet to 30,746 square feet

Pursuant to YMC § 16.06.020(B), the development regulations and comprehensive plan considerations are found to be consistent, as follows:

1. The type of land use: Preliminary Long Plat for 93 single-family lots
2. Density of Development: Approximately 6.97 dwelling units per net residential acre
3. Availability and adequacy of infrastructure and public utilities: The subject property is able to be served by public facilities.

**NOTICE OF ENVIRONMENTAL REVIEW** This is to notify agencies with jurisdiction and environmental expertise and the public that the City of Yakima, Planning Division, has been established as the lead agency, under WAC § 197-11-928 for this project. The City of Yakima has reviewed the proposed project for probable adverse environmental impacts and expects to issue a Determination of Nonsignificance (DNS) per WAC § 197-11-355. The proposal may include mitigation measures under applicable codes and the project review process may incorporate or require mitigation measures regardless of whether an EIS is prepared. A copy of the subsequent threshold determination may be obtained by request and may be appealed pursuant to YMC § 6.88.170.

**Required Permits:** The following local, state, and federal permits/approvals may or will be needed for this project: Building Permit, Grading Permit

**Required Studies:** N/A

**Existing Environmental Documents:** None

**Development Regulations for Project Mitigation and Consistency Include:** the State Environmental Policy Act, the Yakima Urban Area Zoning Ordinance, YMC Title 12—Development Standards, and the Yakima Urban Area Comprehensive Plan.

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**REQUEST FOR WRITTEN COMMENTS:** Agencies, tribes, and the public are encouraged to review and comment on the proposed project and its probable environmental impacts. There is a 14-day comment period for this review. This may be your only opportunity to comment. All written comments received by 5:00 p.m. on **December 1, 2023**, will be considered prior to issuing the final SEPA determination. Please reference file numbers (PLP#002-23, SEPA#011-23, CL2#038-23) and applicant's name (Prickly Pear Holdings LLC) in any correspondence you submit. You can mail your comments to:

**Joan Davenport, AICP, Community Development Director  
City of Yakima, Department of Community Development  
129 N. 2nd St., Yakima, WA 98901**

**NOTICE OF DECISION** A copy of the decision and the SEPA threshold determination will be mailed to parties of record and entities who were provided this notice once it is rendered.

The file containing the complete application is available for public review at the City of Yakima Planning Division, City Hall – 2nd Floor, 129 N. 2nd St., Yakima, WA. If you have any questions on this proposal, please contact Connor Kennedy, Assistant Planner at (509) 575-6162, or email to: [connor.kennedy@yakimawa.gov](mailto:connor.kennedy@yakimawa.gov).

**Enclosed:** Narratives, Project Descriptions, SEPA Checklist, Site Plans, and Vicinity Map

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Joan Davenport, AICP, Directora

Division de Planificación

Joseph Calhoun, Gerente

129 Norte Calle 2ª, 2º Piso, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

**AVISO DE APLICACIÓN Y REVISIÓN AMBIENTAL**

El Departamento de Desarrollo Comunitario de la Ciudad de Yakima ha recibido una aplicación por parte de un propietario/solicitante y este es un aviso sobre esa solicitud. Información sobre la ubicación de la propiedad en cuestión y la solicitud es la siguiente:

**FECHA OTORGADA:** 17 de noviembre, 2023  
**PARA:** Agencias de Revisión Ambiental, Solicitante y Propietarios Adyacentes  
**DE:** Joan Davenport, AICP, Directora de Desarrollo Comunitario  
**SOLICITANTE:** HLA Engineering & Land Surveying Inc. on behalf of Prickly Pear Holdings LLC  
**No. DE ARCHIVO:** PLP#002-23, SEPA#011-23, CL2#038-23  
**UBICACIÓN:** 4607 & 4701 Ahtanum Rd  
**No. DE PARCELA:** 181204-13018, 18204-13016  
**FECHA DE APLICACIÓN:** 9 de octubre, 2023  
**FECHA DE APLICACIÓN COMPLETA:** 7 de noviembre, 2023

**DESCRIPCIÓN DEL PROYECTO:** Propuesta para una subdivisión preliminar para subdividir aproximadamente 21.06 acres y crear 93 lotes residenciales para viviendas unifamiliares que incluye 46 lotes residenciales unifamiliar de pared-común localizados en la zona residencial R-1 y R-2.

**DETERMINACIÓN DE LA CONSISTENCIA:** Conforme al Código Municipal YMC §16.06.020(A), las consideraciones del proyecto se determinan consistentes a las siguientes normas de desarrollo aplicables:

1. El tipo de uso terrenal: Subdivisión preliminar para 93 lotes residenciales unifamiliares
2. Nivel de desarrollo: 93 lotes unifamiliares en 13.34 acres.
3. Infraestructura e instalaciones públicas: La propiedad puede ser servida por calles públicas, agua, drenaje, recolección de basura, etc.
4. Características del desarrollo: 93 lotes residenciales unifamiliares de aproximadamente 3,718 a 30,746 pies cuadrados en tamaño

Conforme al Código Municipal YMC §16.06.020(B), los reglamentos de desarrollo y las consideraciones del plan comprensivo son coherentes, de la siguiente manera:

1. El tipo del uso terrenal: Subdivisión preliminar para 93 lotes residenciales unifamiliares.
2. Densidad del desarrollo: Aproximadamente 6.97 unidades de vivienda por acre residencial
3. Disponibilidad y adecuación de infraestructura y servicios públicos: La propiedad puede ser servida por instalaciones públicas.

**AVISO DE REVISIÓN AMBIENTAL:** Esto es para notificar a las agencias con jurisdicción y experiencia ambiental y al público que la Ciudad de Yakima, Division de Planificación, se establece como la agencia principal, de acuerdo con la Ley Estatal de Política Ambiental de Washington (SEPA) bajo WAC §197-11-928 para la revisión de este proyecto. La Ciudad de Yakima ha revisado el proyecto propuesto para posibles impactos ambientales adversos y espera emitir una Determinación de No-Significancia (DNS) para este proyecto conforme al proceso DNS opcional en WAC § 197-11-355. La propuesta puede incluir medidas de mitigación bajo los códigos aplicables y el proceso de revisión del proyecto puede incorporar o requerir medidas de mitigación independientemente de si se prepara un EIS (Declaración de Impacto Ambiental). Una copia de la determinación de umbral posterior se puede obtener por solicitud y se puede apelar de acuerdo con el Código Municipal de Yakima YMC § 6.88.170.

**Permisos Requeridos:** Los siguientes permisos/aprobaciones locales, estatales, y federales pueden o serán necesarios para este proyecto: Permiso de Construcción, Permiso de Nivelación Terrenal,

**Estudios Requeridos:** N/A

**Documentos Ambientales Existentes:** Ninguno

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**Los Reglamentos de Desarrollo para la Mitigación y Consistencia de Proyectos Incluyen:** La Ley Estatal de Política Ambiental de Washington, La Ordenanza de Zonificación del Área Urbana de Yakima, Los Estándares de Desarrollo del Título 12, y el Plan Integral del Área Urbana de Yakima.

**SOLICITUD DE COMENTARIOS ESCRITOS:** Se anima a las agencias, tribus, y el público a revisar y comentar sobre el proyecto y sobre sus probables impactos ambientales. Habrá un periodo de catorce días para hacer sus comentarios. Este podría ser su única oportunidad para comentar. Todos los comentarios recibidos por escrito antes de las 5:00 p.m. el **1 de diciembre, 2023** serán considerados antes de emitir la decisión final sobre esta solicitud. Por favor de hacer referencia al número de archivo (PLP#002-23, SEPA#011-23, CL2#038-23) o al nombre del solicitante (Prickly Pear Holdings LLC) en cualquier correspondencia que envíe. Envíe sus comentarios sobre esta propuesta a:

**Joan Davenport, AICP, Community Development Director  
City of Yakima, Department of Community Development  
129 N. 2nd St., Yakima, WA 98901**

**AVISO DE LA DECISIÓN AMBIENTAL (SEPA):** Cuando la Determinación de la Revisión Ambiental sea emitida, una copia será enviada a las personas que mandaron comentarios o que recibieron este aviso.

El archivo que contiene la aplicación completa está disponible para inspección pública en la Oficina de Planificación de la Ciudad de Yakima en el 129 al Norte la Calle 2da, Yakima, WA.

Si tiene cualquier pregunta sobre esta propuesta, puede contactar a la Oficina de Planificación al (509) 575-6183 o por correo electrónico al: [ask.planning@yakimawa.gov](mailto:ask.planning@yakimawa.gov)

**Adjunto:** Narrativa, Descripción del Proyecto, Lista de SEPA, Plan del Sitio, Mapa

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## DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2<sup>nd</sup> Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

November 7, 2023

**FILE NUMBER(S):** PLP#002-23, CL2#038-23, SEPA#011-23  
**APPLICANT:** HLA Engineering & Surveying Inc. – Mike Heit  
**APPLICANT ADDRESS:** 2803 River Road, Yakima, WA 98902  
**PROJECT LOCATION:** 4607 & 4701 Lower Ahtanum Rd  
**TAX PARCEL NO:** 181204-13018, 181204-13016  
**DATE OF REQUEST:** October 9, 2023  
**SUBJECT:** Notice of Complete Application

Mr. Heit:

The application for your Preliminary Long Plat, SEPA, and Class 2 review for 4607 & 4701 Lower Ahtanum Rd. was received on October 9, 2023. As of November 6, 2023, the application is considered **complete** as required by the City of Yakima's Municipal Code (YMC) and site plan checklist, as referenced in YMC §§§ 14.20.030, 15.14.040, and 6.88.090.

**The applicant shall post a Land Use Action sign on the subject property, which may be obtained from the Planning Division. The sign shall be posted and the provided Land Use Action Installation Certificate returned to the Planning Division prior to the scheduling of the public notice.**

The Development Services Team (DST) will be holding a meeting on November 14, 2023 to review your project. Once the sign has been verified as posted, continued processing of your request will include, but is not limited to the following:

1. A Notice of Application will be sent to all property owners within 300 feet of your project. This notice will include a request for public comments as is required by the City of Yakima.
2. A public hearing for your project will be scheduled with the City of Yakima Hearing Examiner to take place in the City of Yakima Council Chambers.

For any questions regarding this matter, please contact me at [connor.kennedy@yakimawa.gov](mailto:connor.kennedy@yakimawa.gov).

Sincerely,

Connor Kennedy  
Assistant Planner

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# CITY OF YAKIMA

## LAND USE ACTION INSTALLATION CERTIFICATE

<b>File Number:</b>	PLP#002-23 SEPA#011-23
<b>Applicant/Project Name:</b>	Champions Park Preliminary Plat
<b>Site Address:</b>	4607 Lower Altamun Rd.
<b>Date of Posting:</b>	11/10/23
<b>Land Use Sign ID#(s):</b>	

Location of Installation (Check One):

☒ Land Use Action Sign is installed per standards described in YMC §15.11.080(C).

☐ Land Use Action Sign is installed in an alternate location on the site.

*Note: this alternate location (if not pre-approved by the Planning Manager) may not be acceptable by the Planning Division and is subject to relocation (at the owner's expense) to a more visible site on the property.*

The alternative location is:

The required notice of application will be sent to the applicant and property owners within a 300-foot radius after the Planning Division has received this Land Use Action Installation Certification. Failure to post a Land Use Action sign and return this form signed in a timely manner may cause a delay in the application review process.

I hereby testify that the installed sign fully complies with the Land Use Action sign installation standards (see pg. 2), that the sign will be maintained until a decision has been rendered, and that the sign will be returned within 30 days from the date the final decision is issued.

Mike Heit  
Applicant's Signature

11/10/23  
Date

Mike Heit  
Applicant's Name (Please Print)

509-966-7000  
Applicant's Phone Number

Please fill out and sign the above certification after posting and deliver to the City of Yakima Planning Division via email to [ask.planning@yakimawa.gov](mailto:ask.planning@yakimawa.gov) or in person/by mail to: City of Yakima, Planning Division, 129 North 2<sup>nd</sup> Street, Yakima, WA 98901.

[illegible]



**Rivera, Eva**

**From:** WSDOT Aviation Land Use Inquiries and Application Submittals  
<AviationLandUse@WSDOT.WA.GOV>  
**Sent:** Wednesday, December 20, 2023 10:22 AM  
**To:** Rivera, Eva  
**Cc:** Kennedy, Connor  
**Subject:** RE: [EXTERNAL] NTC OF PUB. HEARING & DNS - Prickly Pear Holdings LLC - Plat of Champions Park Ph. 1 - PLP#002-23, CL2#038-23, SEPA#011-23

Yakima Planning,

WSDOT Aviation Division reviewed the provided documentation on 12/20/2023. This development is within Compatibility Zone 6 for the Yakima Air Terminal. The WSDOT land use compatibility standards permit such development. We recommend that a real estate disclosure be required to notify individuals that they are in close proximity to the airport (1.2 miles). They may be exposed to aircraft noise and overflights of the property.

If you have any questions or need further guidance, please reach out to me anytime.

Cheers,

David Ison, PhD | Aviation Planner  
 Emerging Aviation Technologies & Land Use Compatibility  
 Washington State Department of Transportation  
[david.ison@wsdot.wa.gov](mailto:david.ison@wsdot.wa.gov) C: 360-890-5258

**From:** Rivera, Eva <Eva.Rivera@yakimawa.gov>  
**Sent:** Wednesday, December 13, 2023 10:36 AM  
**To:** 'mheit@hlacivil.com' <mheit@hlacivil.com>; 'byron@bortonfruit.com' <byron@bortonfruit.com>; Bradburn, Trace <Trace.Bradburn@yakimawa.gov>; Calhoun, Joseph <Joseph.Calhoun@YAKIMAWA.GOV>; Contreras, Pedro <Pedro.Contreras@YAKIMAWA.GOV>; Corona, Silvia <Silvia.Corona@yakimawa.gov>; Cruz, Leovardo <Leovardo.Cruz@YAKIMAWA.GOV>; Davenport, Joan <Joan.Davenport@yakimawa.gov>; DeBusschere, Suzanne <suzanne.debusschere@yakimawa.gov>; Denman, Glenn <Glenn.Denman@yakimawa.gov>; Doan, Tony <Tony.Doan@YAKIMAWA.GOV>; Kallevig, Dana <Dana.Kallevig@yakimawa.gov>; Layman, Randy <Randy.Layman@yakimawa.gov>; Markham, Aaron <aaron.markham@yakimawa.gov>; Maxey, Lisa <Lisa.Maxey@YAKIMAWA.GOV>; McPherson, Kirsten <Kirsten.McPherson@yakimawa.gov>; Meloy, Randy <Randy.Meloy@yakimawa.gov>; Murray, Matthew <matt.murray@yakimawa.gov>; Preston, Bill <Bill.Preston@yakimawa.gov>; Reynoso, Patty <Patty.Reynoso@yakimawa.gov>; Riddle, Dan <Dan.Riddle@yakimawa.gov>; Rivera, Eva <Eva.Rivera@yakimawa.gov>; Sanchez, Vanesa <Vanesa.Sanchez@YAKIMAWA.GOV>; Schafer, Scott <Scott.Schafer@yakimawa.gov>; Shane, Mike <Mike.Shane@yakimawa.gov>; Story, Gregory <Gregory.Story@yakimawa.gov>; Vera, Jaime <Jaime.Vera@yakimawa.gov>; Watkins, Sara <Sara.Watkins@YAKIMAWA.GOV>; Zabell, John <John.Zabell@yakimawa.gov>; El Mundo <info@elmundous.com>; El Sol de Yakima <gibanez@yakimaherald.com>; Fannin, John <John.Fannin@YAKIMAWA.GOV>; KAPP TV <kappnews@kapptv.com>; KDNA Radio - Francisco Rios <frios@kdna.org>; KEPR TV - Tri Cities <Newsroom@KEPRTV.com>; KIMA TV <tips@kimatv.com>; KIT News <kitnews@townsquaremedia.com>; KIT Radio <lancetormey@townsquaremedia.com>; KNDO TV <news@kndo.com>; KNDU <news@kndu.com>; KUNW-TV Univision <noticias@kunwtv.com>; KVEW TV <kvewnews@kvewtv.com>; La Casa Hogar <info@lacasahogar.org>; La Voz <lavoznewspaper@gmail.com>; Linos, Irene <Irene.Linos@yakimawa.gov>; Lozano, Bonnie <Bonnie.Lozano@yakimawa.gov>; NWPR - Anna King <aking@wsu.edu>; RCDR - Maria DJ Rodriguez <mdjrodriguez@rcdr.biz>; Tu Decides - Albert Torres <albert@tudecidesmedia.com>; West Valley School District - Joe

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STATE OF WASHINGTON  
DEPARTMENT OF ECOLOGY

Central Region Office  
1250 West Alder St., Union Gap, WA 98903-0009 • 509-575-2490

RECEIVED  
NOV 29 2023  
CITY OF  
PLANNING DIV

November 29, 2023

Connor Kennedy  
City of Yakima  
129 N. 2<sup>nd</sup> Street  
Yakima, WA 98901

**RE: 202305505; PLP002-23, SEPA011-23, CL2 038-23**

Dear Connor Kennedy:

Thank you for the opportunity to comment on the Notice of Application for the Prickly Pear Holdings LLC "Plat of Champions Park Phase 1". We have reviewed the application and have the following comment.

**Water Resources**

**Dust Control from a Well**

If you plan to use water for dust suppression at your project site, be sure that you have a legal right. In Washington State, prospective water users must obtain authorization from the Department of Ecology before diverting surface water or withdrawing ground water, with one exception. Ground water withdrawals of up to 5,000 gallons per day used for single or group domestic supply, up to 5,000 gallons per day used for industrial purposes, stock watering, and for the irrigation of up to one-half acre of non-commercial lawn and garden are exempt from the permitting process. Water use under the RCW 90.44.050 exemption establishes a water right that is subject to the same privileges, restrictions, laws and regulations as a water right permit or certificate obtained directly from Ecology. Temporary permits may be obtainable in a short time-period. The concern of Water Resources is for existing water rights. In some instances water may need to be obtained from a different area and hauled in or from an existing water right holder.

If you have any questions or would like to respond to these Water Resources comments, please contact Christopher Kossik at 509-379-1826 or email at [christopher.kossik@ecy.wa.gov](mailto:christopher.kossik@ecy.wa.gov).

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### Dam Safety Office

Under RCW 90.03.350, a Dam Safety construction permit is required for those dams or ponds that can impound a volume of 10 acre-feet or more of water or other liquids above ground level. The Prickly Pear Holdings LLC "Plat of Champions Park Phase 1" development references the construction of stormwater facilities, if this includes a stormwater pond(s) that can meet or exceed the above referenced criteria, you will need to apply for a dam construction permit. To determine if a Dam Safety construction permit is required for your project, the applicant must submit a set of construction plans to:

WA Department of Ecology  
Dam Safety Office  
P.O. Box 47600  
Olympia, WA 98504-7600

The construction permit application can be found by entering the following link into your search engine:

<https://apps.ecology.wa.gov/publications/summarypages/ecy07038.html>

For additional information, please contact Charlotte Lattimore by e-mail at [clat461@ecy.wa.gov](mailto:clat461@ecy.wa.gov) or by telephone at 360-407-6066.

Sincerely,



Joy Espinoza  
SEPA Coordinator  
Central Regional Office  
509-379-3967  
[crosepacoordinator@ecy.wa.gov](mailto:crosepacoordinator@ecy.wa.gov)

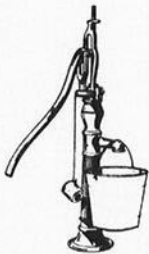
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NOV 29 2023

CITY OF  
PLANNING DIV

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## AHTANUM IRRIGATION DISTRICT

10705 Gilbert Rd Ste B, Yakima, Washington 98903-9203  
Phone (509) 249-0226 ~ Fax (509) 249-0233

November 22, 2023

RECEIVED

NOV 29 2023

CITY OF YAKIMA  
PLANNING DIV.

City of Yakima Planning Division  
Attention: Joan Davenport, AICP, Community Development Director  
129 North Second Street - 2<sup>nd</sup> Floor  
Yakima, Washington 98901

Subject: PLP#002-23, SEPA#011-23, CL2#038-23 Prickly Pear Holdings, LLC  
(Champions Park Phase I) Parcels: 181204-13018 & 181204-13016

Dear Ms. Davenport:

We are submitting written comments regarding the Notice of Application and Environmental Review dated November 17, 2023 concerning the above-mentioned long plat.

The above parcels have no surface water rights established in the Final Decree (2019), the Conditional Final Order Subbasin No. 23 (Ahtanum) (2019), and the Final Schedule of Rights dated May 9, 2019 in State of Washington, Dept. of Ecology v. Acquavella, et al (2019).

No irrigation water will be provided by our District to these parcels.

However, our Board must sign off on the plat for this subdivision. The surveyor will need to provide us with the original Mylar, as well as one copy, for District signature. As our Board meets once per month, please telephone in advance for meeting dates to avoid delays.

If any further information is required, you can contact us at (509) 249-0226.

Sincerely,

AHTANUM IRRIGATION DISTRICT

*George D. Marshall*

George D. Marshall, Stream Patrolman

GM:bab

Cc: Prickly Pear Holdings, LLC  
HLA Engineering and Land Surveying Inc. (Mike Heit)

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**Rivera, Eva**

**From:** WSDOT Aviation Land Use Inquiries and Application Submittals  
<AviationLandUse@WSDOT.WA.GOV>  
**Sent:** Monday, November 27, 2023 10:05 AM  
**To:** Rivera, Eva; Kennedy, Connor  
**Subject:** RE: [EXTERNAL] NTC OF APP & ENVIRO. REVIEW - PRICKLY PEAR HOLDINGS LLC/PLAT OF CHAMPIONS PARK PH.1 - PLP#002-23, SEPA#011-23, CL2#038-23

M. Kennedy,

WSDOT Aviation Division reviewed the provided documentation on 11/27/23. This development is within Land Use Compatibility Zone 6 in which this type of project is permitted. Due to the proximity to the Yakima Air Terminal Airport, it is *recommended* that a real estate disclosure about the airport to be required for all sales of homes within this site.

If you have any questions, please feel free to contact me.

Cheers,

David Ison, PhD | Aviation Planner  
Emerging Aviation Technologies & Land Use Compatibility  
Washington State Department of Transportation  
[isond@wsdot.wa.gov](mailto:isond@wsdot.wa.gov) C: 360-890-5258

**From:** Rivera, Eva <Eva.Rivera@yakimawa.gov>  
**Sent:** Friday, November 17, 2023 11:33 AM  
**To:** 'mheit@hlacivil.com' <mheit@hlacivil.com>; 'byron@bortonfruit.com' <byron@bortonfruit.com>; Bradburn, Trace <Trace.Bradburn@yakimawa.gov>; Calhoun, Joseph <Joseph.Calhoun@YAKIMAWA.GOV>; Contreras, Pedro <Pedro.Contreras@YAKIMAWA.GOV>; Corona, Silvia <Silvia.Corona@yakimawa.gov>; Cruz, Leovardo <Leovardo.Cruz@YAKIMAWA.GOV>; Davenport, Joan <Joan.Davenport@yakimawa.gov>; Dean, James <James.Dean@yakimawa.gov>; DeBusschere, Suzanne <suzanne.debusschere@yakimawa.gov>; Denman, Glenn <Glenn.Denman@yakimawa.gov>; Doan, Tony <Tony.Doan@YAKIMAWA.GOV>; Kallevig, Dana <Dana.Kallevig@yakimawa.gov>; Layman, Randy <Randy.Layman@yakimawa.gov>; Markham, Aaron <aaron.markham@yakimawa.gov>; Maxey, Lisa <Lisa.Maxey@YAKIMAWA.GOV>; McPherson, Kirsten <Kirsten.McPherson@yakimawa.gov>; Meloy, Randy <Randy.Meloy@yakimawa.gov>; Murray, Matthew <matt.murray@yakimawa.gov>; Preston, Bill <Bill.Preston@yakimawa.gov>; Reynoso, Patty <Patty.Reynoso@yakimawa.gov>; Riddle, Dan <Dan.Riddle@yakimawa.gov>; Rivera, Eva <Eva.Rivera@yakimawa.gov>; Schafer, Scott <Scott.Schafer@yakimawa.gov>; Shane, Mike <Mike.Shane@yakimawa.gov>; Story, Gregory <Gregory.Story@yakimawa.gov>; Vera, Jaime <Jaime.Vera@yakimawa.gov>; Watkins, Sara <Sara.Watkins@YAKIMAWA.GOV>; Zabell, John <John.Zabell@yakimawa.gov>; Ahtanum Irrigation District - Beth Brulotte <bethb@htanum.net>; Cawley, Marc <Marc.Cawley@yakimawa.gov>; Greater Yakima Chamber of Commerce <chamber@yakima.org>; Henne, Dennis <Dennis.Henne@uniongapwa.gov>; Jack Wells - Yakima County Water Resources <jack.wells@co.yakima.wa.us>; Linos, Irene <Irene.Linos@yakimawa.gov>; Office Rural Farmworker Housing - Marty Miller <martym@orfh.org>; Rivera, Eva <Eva.Rivera@yakimawa.gov>; United States Postal Service - David James <david.r.james@usps.gov>; WA State Dept Agriculture - Kelly McLain <kmclain@agr.wa.gov>; WA State Dept Archaeology Historic Pres - SEPA <Sepa@dahp.wa.gov>; WA State Dept Commerce - Review Team <reviewteam@commerce.wa.gov>; WA State Dept Ecology - CRO SEPA <crosepacoordinator@ecy.wa.gov>; WA State Dept Ecology - Former Orchards <FormerOrchards@ecy.wa.gov>; WA State Dept Ecology - Lori White <lori.white@ecy.wa.gov>; WA State Dept Ecology - SEPA Unit <sepaunit@ecy.wa.gov>; WA State Dept Energy Facility Site Eval <efsec@utc.wa.gov>; Bartrand, Eric L (DFW) <Eric.Bartrand@dfw.wa.gov>; Downes, Scott G (DFW)