



**ROSA HARATI/ SARAH HARATI
RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22**

**Yakima City Council
Closed Record Public Hearing
March 7, 2023**

EXHIBIT LIST

Applicant: Sarah Harati
File Numbers: RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22
Site Address: 909 La Folette St/ 1406 S Fair Ave
Staff Contact: Joseph Calhoun, Planning Manager

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EXHIBIT LIST

CHAPTER AA
Hearing Examiner's Recommendation

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**City of Yakima, Washington
Hearing Examiner's Recommendations**

January 6, 2023

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| In the Matter of an Application |) | |
| Submitted on Behalf of: |) | RZ#001-22 |
| |) | CL2#025-22 |
| Rosa Harati & Sarah Harati |) | ADJ#024-22 |
| |) | SEPA#017-22 |
| For a Project Rezone from the |) | |
| R-2 Zone to the B-2 Zone and a |) | |
| Class (2) Automotive Dealership |) | |
| Use with Setback and Parking |) | |
| Adjustments at 909 La Follette |) | |
| Street/1406 South Fair Avenue |) | |

A. Introduction. The findings relative to the hearing process for this application may be summarized as follows:

(1) The Hearing Examiner conducted an open record public hearing relative to this application on December 22, 2022.

(2) The thorough staff report presented by the City of Yakima Planning Manager Joseph Calhoun recommended approval of these applications subject to conditions. The applications request a project Rezone from the Two-Family Residential (R-2) zoning district to the Local Business (B-2) zoning district and approval of a Class (2) automotive sales use with building setback and parking lot

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surfacing adjustments. The Rezone application is referred to as a project Rezone because a specific use is proposed for the site if the Rezone is approved.

(3) Thomas Durant, Planning Manager for PLSA Engineering & Surveying who is the representative of the applicant Rosa Harati and the property owner Sarah Harati, testified in favor of the requested Rezone and the proposed Class (2) use with Administrative Adjustments to the side setback and the surfacing of the parking lot for reasons stated in his detailed narratives for the applications. He submitted an additional Exhibit as Document Index AA-1 showing the current surveyed right-of-way width for La Follette Street and requested clarification of two of the recommended conditions. No one else testified at the hearing.

(4) No written public comments from neighbors or nearby property owners were submitted at or before the open record public hearing.

(5) These recommendations are issued within ten (10) business days of the public hearing. They are issued pursuant to Subsection 15.11.100(A)(1) of the Yakima Municipal Code which provides that uses that are usually decided administratively such as Class (2) uses and Administrative Adjustments shall also require a recommendation to the Yakima City Council if any of the requests in the application require a recommendation to the City Council such as this request for a Rezone.

B. Summary of Recommendations. The Hearing Examiner recommends that the Yakima City Council approve the requested project Rezone from the Two-Family Residential (R-2) zoning district to the Local Business (B-2) zoning district and the requested Class (2) automotive sales use with side setback and parking lot surfacing adjustments, subject to conditions.

C. Basis for Recommendations. Based upon a view of the site on December 19, 2022, with no one else present; the application, staff report, exhibits and testimony presented at the open record public hearing on December 22, 2022; and

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a review of both the 2040 Yakima Urban Area Comprehensive Plan and the Yakima Urban Area Zoning Ordinance, Title 15 of the Yakima Municipal Code (YMC); the Hearing Examiner makes and issues the following:

FINDINGS

I. Applicant/Property Owner/Representative. The applicant is Rosa Harati and the property owner is Sarah Harati, P.O. Box 1109, Manhattan Beach, CA, 90267. Their representative for these applications is Thomas R. Durant, Planning Manager of PLSA Engineering & Surveying, 521 North 20th Avenue, #3, Yakima, WA 98902.

II. Location. The location of the 0.16-acre parcel and the adjacent 0.17-acre parcel proposed for a Rezone and for a Class (2) automotive sales use with side setback and parking lot surfacing adjustments is on the northwest corner of 909 La Follette Street and 1406 South Fair Avenue approximately 150 feet south of Nob Hill Boulevard. The County Assessor's Parcel Numbers are 191330-41485 and 41486.

III. Applications. The main aspects of this master application for approval of both a Rezone and a Class (2) automotive sales use with side setback and parking lot surfacing adjustments may be summarized as follows:

(1) These applications were received on September 9, 2022. They are being processed under YMC Chapter 15.23 for Rezone Review, YMC Chapters 15.14

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and 15.15 for Type (3) Review of Class (2) uses, YMC Chapter 15.10 for Administrative Adjustments and YMC Chapter 6.88 for Environmental Review. Pursuant to YMC Chapter 1.43 and YMC §15.23.030, the Hearing Examiner has the authority to hold a public hearing and provide a recommendation to the City Council regarding a Rezone request. Pursuant to YMC §15.11.100(A)(1), all aspects of these applications are decided by the City Council with the aid of these recommendations from the Hearing Examiner.

(2) The Rezone request is to reclassify the two parcels from the Two-Family Residential (R-2) zoning district to the Local Business (B-2) zoning district in order to allow for a Class (2) "Automotive Dealer New and Used Sales" use to be conducted on the parcels with an adjustment of a building setback from 20 feet to 6 feet on one side of a parcel and an adjustment of parking lot surfacing from asphalt to gravel on a portion of one of the parcels in order to comply with the maximum lot coverage standard.

(3) The existing single-family residence on the westernmost parcel along La Follette Street would be either removed, demolished or relocated so as to form an addition to the garage on that parcel. The single-family residence along South Fair Avenue would be used as an office for sales activities including financing and insurance services. The garage with its proposed addition on the westernmost parcel would be used for purposes related to automobile sales such as storage and maintenance. There would be 22 spaces for the inventory of vehicles offered for sale and 4 spaces for employee and customer parking. The parcels are accessed from both South Fair Avenue and La Follette Street. Access could also be provided from the alley along the north side of the parcels.

(4) The requested side setback adjustment from 20 feet to 6 feet would be for an addition to an existing legal nonconforming garage which is about 3 feet from the west property line of the westernmost parcel. The adjustment would allow a portion of the parcel to be used which could not otherwise be used if the addition had to be 20 feet from the west property line. The addition would be behind and to the north of the existing garage and would be 35 to 40 feet from the adjacent residence to the west which is located toward the front of that lot.

(5) The adjustment to allow gravel rather than asphalt surfacing on the northwest rear corner of the site in an area 59 feet by 19-21 feet (1,194.8 square feet) is requested in order to preserve a pervious area on the site so that it will

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comply with the 80% maximum lot coverage standard for the B-2 zoning district. The B-2 zoning district allows less impervious surface than is allowed in other zoning districts where automobile sales lots are permitted.

IV. Notices. Notices for the open record public hearing of December 22, 2022, were given in accordance with YMC Table 11-1 in YMC §15.11.020, YMC §15.11.080 and YMC §16.05.010 as follows:

(1) The subject property was posted with a land use action sign on October 10, 2022.

(2) A Notice of Application, Environmental Review and Public Hearing was sent to the applicant, SEPA agencies and adjoining property owners within 300 feet of the subject property on October 10, 2022.

(3) On November 30, 2022, a Notice of Public Hearing and of a SEPA Determination of Nonsignificance (DNS) was sent to the applicant, SEPA agencies and adjoining property owners within 300 feet of the subject property and published in the Yakima Herald-Republic. No public comments were received from nearby property owners or residents during the 20-day SEPA comment period from October 10 through October 31, 2022. One agency comment was received during the 20-day comment period. The Washington State Department of Ecology (DOE) commented as follows:

This project is located within the Yakima Railroad Area. The Yakima Railroad Area is a six-square mile area identified as having a high likelihood that groundwater is contaminated with tetrachloroethene (also known as PCE, perc, or perchloroethylene) above state cleanup levels. Concentrations of PCE above cleanup levels in the shallow aquifer have the potential to impact indoor air quality.

V. Environmental Review. A Notice of Application and SEPA Environmental Review was mailed to SEPA agencies, the applicant, and adjoining property

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owners within 300 feet of the subject property on October 10, 2022. The DOE comment was the only comment received during the comment period. A SEPA Determination of Nonsignificance (DNS) was issued on November 30, 2022, which was not appealed.

VI. Zoning and Land Uses. The zoning of the two parcels totaling one-third of an acre is presently Two-Family Residential (R-2) which is not consistent with their Comprehensive Plan designation of Community Mixed Use. The requested zoning of Local Business (B-2) would be consistent with the Community Mixed Use designation of the Comprehensive Plan. The two parcels currently each contain a single-family residence. There is a garage on the westernmost parcel. The surrounding properties have the following current zoning and land use characteristics:

| <u>Location</u> | <u>Existing Zoning</u> | <u>Existing Land Use</u> |
|-----------------|------------------------------|-------------------------------|
| North | General Commercial (GC) | Commercial |
| South | Two-Family Residential (R-2) | Single-Family Residences |
| East | General Commercial (GC) | Grocery Store/Shopping Center |
| West | Two-Family Residential (R-2) | Single-Family Residences |

VII. Comprehensive Plan 2040. These two parcels have the Future Land Use Map designation of Community Mixed Use. This designation is intended to allow for a mixture of scaled retail, commercial service, office and high-density residential uses. The current R-2 zoning is not consistent with the Comprehensive Plan designation. The proposed B-2 zoning is consistent with the Comprehensive

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Plan designation and the proposed automobile sales use is consistent with the following Comprehensive Plan Goals and Policies:

(1) Goal 2.2: Provide a mix of land use designations consistent with the community's vision.

(2) Policy 2.2.3(B): Community Mixed-Use Locational Criteria – Existing and planned future neighborhood center areas, sites along key arterials and collector streets, and transitional areas between residential uses and downtown or other mixed-use centers.

(3) Policy 2.2.3(C): Community Mixed-Use Principal uses and density – A mixture of retail, commercial service, office, and high-density residential uses depending on the area's context.

(4) Goal 2.5: Arterial corridors and other mixed-use centers. Enhance the character, function, and economic vitality of Yakima's arterial corridors and mixed-used centers.

(5) Policy 2.5.1: Allow for a mixture of compatible land uses along corridors and within mixed-use designated areas. This includes the integration of multi-family residential and office uses with retail and service commercial uses.

VIII. Summary of the Applicant's Written Description of the Grounds for Approval of the Applications. A brief summary of the detailed grounds described by the applicant in support of these applications (*Document Index E-1, E-2 and E-3*) is as follows:

(1) Rezone: This is an application to change the zoning of two parcels totaling about one-third of an acre at the northwest corner of South Fair Avenue and La Follette Street from the Two-Family Residential (R-2) zoning district to the Local Business (B-2) zoning district. The requested B-2 zoning would be consistent with the Comprehensive Plan's Community Mixed Use designation for the parcels. The current R-2 zoning is not consistent with that designation. The requested B-2 zoning of these parcels would serve as a transitional zoning district

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between the General Commercial zoning with commercial uses currently north and east of the site and the R-2 zoning with single-family residential uses currently south and west of the site.

(2) Class (2) "Automotive Dealer New and Used Sales" Use: The proposed automobile sales business would consist of a lot with 22 spaces for the inventory of vehicles for sale and two buildings for the sales office and related activities including financing, insurance, sale of tools and maintenance. Four dedicated parking spaces for employees and customers are proposed which comply with the number of parking spaces required for retail vehicle sales taking place in less than 1,000 square-feet of the buildings and on the sales lot. There is no showroom. Business operations are expected to occur seven days per week. Some parts of buildings could be leased to other small businesses. Given the limited amount of space, these businesses would be small in scale and would be expected to require no more parking than for the use associated with automobile sales.

(3) Administrative Adjustment of Side Setback Standard: The existing garage on the westernmost parcel would be used for storage and other purposes supportive of the proposed automobile sales business. The garage is located within 5 feet of the west property line of the site which would become the boundary line between the commercial zoning of the site and the R-2 zoning west of the site. The adjustment would permit a proposed addition to this building to be set back 6 feet rather than 20 feet from the property line in order to allow access to and use of the northwest portion of the site. The proposed addition would be located behind and to the north of the existing garage in a location that would still be 35 to 40 feet from the residence located toward the front of the adjacent lot to the west.

(4) Administrative Adjustment of the Surfacing of a Portion of the Vehicle Sales Lot: A small part of the northwest corner of the area where the inventory of vehicles for sale would be parked is proposed to be surfaced in gravel rather than hard surfacing as required by code in order for the site development to conform to the 80% lot coverage standard of the B-2 zoning district. The area proposed for this adjustment measures 59 feet by 19 to 21 feet (1,194.8 square feet) comprising less than half of the pervious surface area of the site. This adjustment would be preferable to adjusting the lot coverage standard because the graveled area would be used for vehicles waiting to be sold rather than for employee or customer parking and would be in the rear corner of the site. The graveled area would be

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relatively small and would not be substantially used by the public or noticeable from surrounding properties. Strict enforcement of both the hard surfacing and the lot coverage standards would unnecessarily reduce the usable area of the site for the proposed use.

IX. Applicable City Ordinance Provisions. City Ordinance provisions applicable to these applications include the following:

(1) Rezone: YMC §15.02.020 defines “Rezone” as a change in the zoning district classification of particular lot(s) or parcel(s) of land.

(2) Purpose of the Local Business District (B-2) Zone: YMC §15.03.020(F) provides that the purpose of the Local Business District is to:

(a) Provide areas for commercial activities that meet the small retail shopping and service needs of the community; and

(b) Accommodate small-scale commercial uses that need a higher level of visibility and easy access to major arterials. Uses characteristic of this district include small retail sales and service establishments.

(3) Class (2) Land Use Defined: YMC §15.04.020(B) states that Class (2) uses are generally permitted in the district. However, the compatibility between a Class (2) use and the surrounding environment cannot be determined in advance, and occasionally a Class (2) use may be incompatible at a particular location. Therefore, a Type (2) review by the administrative official is required in order to promote compatibility with the intent and character of the district and the policies and development criteria of the Yakima Urban Area Comprehensive Plan. The procedures in YMC Chapter 15.14 shall be used to review and evaluate Class (1) uses that require a Type (2) review process.

(4) Compatibility Defined: YMC §15.02.020 defines “Compatibility” as the characteristics of different uses or developments that permit them to be located near each other in harmony with or without special mitigation measures.

(5) Type (2) Review: YMC §15.14.020 provides that Type (2) Review is required for any proposed use shown on Table 4-1 as a Class (2) use, for Class (1)

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uses requiring Type (2) review in YMC §15.13.020, and for other specific reviews established by this title.

(6) Number of Parking Spaces Required: YMC Table 6-1 in YMC §15.06.040 provides that automotive sales uses require 1 parking space for every 500 square feet of showroom area and 1 space for every 1,000 square feet of retail sales floor area.

(7) Surfacing of Vehicle Sales Lots: YMC §15.06.110(A) provides that all vehicle sales lots having a capacity of three or more vehicles shall be paved with two-inch thick asphaltic surfacing on an aggregate base, or an equivalent surfacing acceptable to the administrative official, so as to eliminate dust or mud. Pervious asphalt or concrete materials are encouraged.

(8) Landscaping of Parking and Vehicle Storage Lots: YMC §15.06.090(A) provides that the standard for landscaping of parking and vehicle storage lots with five or more spaces shall be ten percent of the total parking area which may be included to satisfy the lot coverage (impermeable surface) requirements.

(9) Sitescreening: YMC Table 7-1 in YMC §15.07.050 requires Site-screening Standard C on the west property line because the lowest intensity zoning district in which the proposed “Automotive Dealer New and Used Sales” is a Class (1) use is the General Commercial (GC) zoning district and the lowest intensity zoning district where the adjacent “Detached Single-Family Dwelling” is a Class (1) use is the Suburban Residential (SR) zoning district. YMC §15.07.060 requires Sitescreening Standard A or higher along the south property line adjacent to La Follette Street because sitescreening is required there by Table 7-1 and the adjoining land use is separated from the proposed use by a collector or local access street. La Follette Street is a Local Access Street. The applicant proposes the requisite Sitescreening Standard C along the west property line and indicated at the hearing that Sitescreening Standard A or higher would be installed along the south property line. YMC §15.07.040 states that Standard A consists of a 10-foot-wide landscaped planting strip with trees at 20-foot to 30-foot centers, which includes shrubs and groundcover; that Standard B consists of a 3-foot-wide planting strip that will create a living evergreen screen that is at least 6 feet in height within 3 years; and that Standard C consists of a six-foot-high, view-obscuring fence made of wood, masonry block, concrete or slatted chain link material with a 3-foot-wide planting strip landscaped with a combination of trees,

shrubs and groundcover along the outside of the fence when it is adjacent to a street, alley or pedestrian way.

(10) Frontage Improvements: Frontage improvements are existing along the site's South Fair Avenue frontage and are required to be extended along the site's La Follette Street frontage.

X. Written Comments of the Development Services Team (DST). The Development Services Team meeting was held for technical review of these Rezone, Class (2) use and Administrative Adjustment applications on November 22, 2022. The following comments were received:

(1) Engineering: This project proposes that an automobile dealership be developed on the property. The property currently has multiple residential buildings that are on a "Safe Routes to School" designated roadway, has existing sidewalks on S. Fair Ave. only and has multiple residential driveway approaches. Right of way at this property on La Follette St. is 30', 20' below the City requirement of 50' for Residential roadways. Right of way at this property on S. Fair Ave. is 74', 6' below the City requirement of 80' for Minor Arterial roadways. The proposed development will cause increased pedestrian and vehicle traffic without adequate safety precautions for pedestrians and inadequate safe ingress and egress for vehicles. Current frontage infrastructure is not adequate enough to handle the proposed change in use to an automobile dealership. Further, the existing right of way will not allow for the required City standard frontage improvements necessary to address the issues associated with development of the property described herein to be constructed entirely on City property. This project requires Title 8 and 12 improvements, including but not limited to the following:

(a) YMC 8.60 and 12.05 – New curb, gutter and sidewalk, including associated pavement widening and storm drainage, shall be installed along the site's frontage on La Follette. Street improvements shall conform to standard detail R3. New sidewalks shall be constructed per standard detail

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R5. If alley is used for access to site, alley shall be paved for length of frontage, as well as replacement of driveway approach to alley.

(b) YMC 8.64 – Commercial driveway approaches are required which meet the requirements of this chapter and standard detail R4. Any existing driveways not utilized shall be removed and replaced with new sidewalk and full height curb.

(c) YMC 8.72 – An excavation and street break permit shall be obtained for all work within the public right of way.

(d) YMC 12.02 – Easements shall be established per this chapter.

(e) YMC 15.05.040 – Vision Clearance Triangle – All corner lots at unsignalized street intersections shall maintain, for safety vision purposes, a vision clearance triangle. Existing 6' fence shall not be permitted inside the vision clearance triangle at the proposed project property.

(f) YMC 12.06.020 – Right of way – La Follette is classified as Residential, requiring a total of 50' of right of way (25' half width). Applicant shall determine existing right of way width and dedicate adequate right of way to meet the required widths. No right of way is required for S. Fair Ave.

(g) An ENG permit is required for new frontage improvements. Civil plans shall be submitted for review and approval. All improvements shall be completed prior to Certificate of Occupancy.

(2) Wastewater: Per City of Yakima records, the existing structures are not connected to City sewer. If applicant is proposing new connections, a new City 8" sewer mainline will be required to be installed in LaFollette St or in the existing alley to the north of the lots per YMC Title 12 requirements and COY Engineering Standard Details. The existing sewer line in Fair Ave is a 36" Trunk line and is not available for side sewer connections. If applicant is proposing to continue use of existing septic systems, they will need to be shown on the site plan and shall obtain approval from Yakima Health District for their continued use in the new development.

(3) Stormwater: As this project develops more than 5,000 but less than 10,000 square feet of impervious area, a complete stormwater drainage report shall be submitted to the Surface Water Engineer for review and approval. The report

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shall include at a minimum: drainage plans; drainage calculations; temporary erosion and sediment control plan; how core elements #1-5, 7 and 8 are satisfied. The drainage report shall be completed by a Professional Engineer licensed in Washington State. Underground Injection Control Wells shall meet the requirements of the 2019 Stormwater Management Manual for Eastern Washington and are required to be submitted for registration to the Washington State Dept. of Ecology at least 60 days prior to construction.

Core Element #1: Preparation of a Stormwater Site Plan

Core Element #2: Construction Stormwater Pollution Prevention

Core Element #3: Source Control of Pollution

Core Element #4: Preservation of Natural Drainage Systems

Core Element #5: Runoff Treatment

Core Element #6: Flow Control

Core Element #7: Operation and Maintenance

Core Element #8: Local Requirements

XI. Rezone Review Criteria. The Hearing Examiner's recommendations regarding Rezone applications within the Yakima Urban Area must be based upon the following criteria specified in YMC §15.23.030(D):

(1) **The testimony at the public hearing.** Notice of the public hearing was given by posting on the property, mailing to SEPA agencies and all property owners within 300 feet of the subject property, and publishing in the newspaper wherein the public was invited to submit written and/or oral comments at the public hearing on this proposed Rezone. No written public comments from neighbors or nearby property owners were received. The City's Planning Manager Joseph Calhoun and PLSA's Planning Manager Thomas Durant presented all of the testimony at the public hearing. All of that testimony favored approval of the requested Rezone.

(2) **The suitability of the property in question for uses permitted under the proposed zoning.** The subject parcel is well-suited for uses permitted in the Local Business (B-2) zoning district, including the proposed use of an automobile

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sales use. The requested project Rezone for this B-2 use in a mixed use area is not opposed by any of the neighboring property owners. The B-2 zoning classification and uses would be consistent with the existing Community Mixed Use designation for the property. The existing R-2 zoning classification and uses for the property are not consistent with their existing Comprehensive Plan designation.

(3) **The recommendation from interested agencies and departments.** The Planning Division recommends approval of the requested project Rezone. No agencies or departments opposed this Rezone.

(4) **The extent to which the requested zoning amendment is in compliance with and/or deviates from the goals and policies as adopted in the Yakima Urban Area Comprehensive Plan and the intent of the zoning ordinance.** The Local Business (B-2) zoning district would implement and be consistent with the Community Mixed Use designation of the Comprehensive Plan which is intended to allow a mixture of neighborhood scaled retail, commercial, service, office and high density residential uses. The requested B-2 zoning would also be in compliance with Comprehensive Plan Goal 2.2, Policy 2.2.3(B), Policy 2.2.3(C), Goal 2.5 and Policy 2.5.1 which are set forth above in Section VII of these recommendations. The requested Rezone would also be in compliance with the intent of the zoning ordinance so long as it satisfies the criteria for approval of a Rezone.

(5) **The adequacy of public facilities, such as roads, sewer, water and other required public services.** The property has access from South Fair Avenue and from La Follette Street. It is capable of being served with City sewer, water and other required public services.

(6) **The compatibility of the proposed zone change and associated uses with neighboring land uses.** The requested project Rezone to the B-2 zoning district would permit the property to be redeveloped to allow for a commercial use in an area that is developed with commercial uses in the General Commercial zone to the north and east. Since the property borders the R-2 zone where single-family residential uses are located, view-obscuring fencing which is SITESCREENING Standard C is required and proposed along the west property line and SITESCREENING Standard A or higher is required and proposed along the south

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property line on the north side of La Follette Street. Recommended conditions of approval that would promote compatibility include frontage improvements along the La Follette Street frontage, commercial driveway approaches, downward-shielded lighting and on-site parking lot landscaping. No owners or residents of neighboring properties expressed any compatibility concerns relative to this requested project Rezone.

(7) **The public need for the proposed change.** The public need for this proposed change would be to allow the property to be developed for a commercial use in a way that is consistent with its Comprehensive Plan designation and in an area that already has been developed with commercial uses to the north and east.

XII. Class (2) Review Criteria for the Proposed Automobile Sales Use.

Since the proposed automobile sales use is listed as a Class (2) use in the B-2 zoning district by YMC Table 4-1 in YMC §15.04.030, the Hearing Examiner's findings and conclusions relative to the proposed use are required to include specific reasons and ordinance provisions demonstrating that the proposal satisfies the following Type (2) Review criteria that are set forth in YMC §15.04.020(B), in YMC §15.14.040(G) and in the similar Type (3) Review criteria set forth in YMC §15.15.040(I):

(1) **Compliance and Compatibility with the Objectives and Development Standards of the Comprehensive Plan.** The proposed automobile sales use would be compliant and compatible with the Comprehensive Plan Community Mixed Use designation of the property and would also be compliant and compatible with Comprehensive Plan Goal 2.2, Policy 2.2.3(B), Policy 2.2.3(C), Goal 2.5 and Policy 2.5.1 as previously detailed above in Section VII.

(2) **Compliance and Compatibility with the Intent and Character of the (B-2) Zoning District.** The proposed automobile sales use would be compliant and compatible with the intent and character of the Local Business (B-2) zoning

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district because that zoning district includes that type of use as Class (2) use and Class (2) uses are a type of use generally permitted in that zone.

(3) **Compliance with the Provisions and Standards Established in the Zoning Ordinance.** The applicable provisions and standards in the zoning ordinance include some of the requirements detailed above in the comments of the City's Development Services Team. Some of the additional development standards which apply within the requested B-2 zoning district where the automobile sales use would be located include the following:

(a) Number of Parking Spaces Required: YMC Table 6-1 in YMC §15.06.040 requires 1 parking space for each 500 feet of showroom area and 1 parking space for each 1,000 square feet of retail sales floor area. The application indicates that there will not be a showroom and that there will be 22 for-sale vehicle spaces. That area would total about 3,762 square feet based upon a typical 9-foot by 19-foot parking space and would require 4 parking spaces for employees and customers. The site plan shows 4 parking spaces in compliance with the off-street parking space standard.

(b) Landscaping of Parking Lots: YMC §15.06.090(A) requires that landscaping of parking and vehicle storage lots with five or more spaces shall be ten percent of the total parking area. The landscaping area may be included to satisfy the lot coverage (impermeable surface) limitation of Table 5-1.

(c) Lighting of Parking Areas: If the parking area or other areas are provided with lighting, the lighting shall be downward shielded so that no lighting spills onto adjacent residential properties.

(d) Surfacing of Parking Areas: YMC §15.06.110(A) requires that vehicle sales lots having a capacity of three or more vehicles must be paved with two-inch-thick asphaltic surfacing on an aggregate base, or an equivalent surfacing acceptable to the administrative official, so as to eliminate dust or mud. The applicant has requested an adjustment to the pavement requirement in order to allow 1,194.8 square feet of the rear area of the sales lot that would be used for parking part of the inventory of vehicles offered for sale to be graveled so as to comply with the 80% lot coverage maximum allowed for impervious surfaces on the site.

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(e) Lot Coverage: With approval of the requested adjustment of the surfacing requirement of the parking area, the site would comply with the maximum lot coverage of 80 percent permitted in the B-2 zoning district.

(f) Setbacks: The applicant has requested an adjustment to allow a proposed 21-foot by 23-foot addition to the rear of an existing garage to be 6 feet rather than 20 feet from the west property line. Even though the existing garage is about 3 feet from the west property line, it is a legal non-conforming use built in accordance with codes at the time of construction. The addition would be about 35 to 40 feet from the residence on the adjacent lot which is located near the front of the lot.

(g) Sitescreening: The site plan shows the requisite Sitescreening Standard C would be installed along the west property line. The requisite Sitescreening Standard A or higher would be installed along the south property line on the north side of La Follette Street.

(h) Public Facilities: City of Yakima sewer (with an extension on La Follette Street) and water are available to the site. The site is accessed from South Fair Avenue which is a Minor Arterial Street and from La Follette Street which is a Local Access Street.

XIII. Administrative Adjustment Criteria for the Requested Setback

Adjustment for the Automobile Dealership Use. YMC §15.10.020 provides flexibility by allowing certain development standards in Chapters 15.05 through 15.08 to be administratively adjusted. A particular standard may be reduced or modified so long as the reviewing official determines that the adjustment is consistent with the purpose of the zoning ordinance, is consistent with the intent and purpose for the standard and will accomplish one or more of five objectives. The five objectives listed in YMC §15.10.020 apply, or do not apply, to the requested setback adjustment in the following ways:

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(1) Allow buildings to be sited in a manner that maximizes solar access: This objective does not apply. It is not the purpose of the requested setback adjustment to maximize solar access to any building.

(2) Allow zero lot line or common wall construction in conformance with the provisions of this title: This objective does not apply since no zero lot line or common wall construction is proposed.

(3) Coordinate development with adjacent land uses and physical features: YMC Table 5-1 in YMC Chapter 15.05 specifies a 20-foot-wide side setback from an adjacent residential zone. Adjusting the side setback of the proposed 21-foot by 23-foot addition to the existing 24-foot by 15-foot garage would provide a setback for the addition of about twice the distance from the residential district than the existing legal nonconforming garage's side setback of about 3 feet. The adjustment would coordinate the addition with adjacent land uses and physical features by being located away from the La Follette Street frontage behind the existing garage near the back of the property about 35 to 40 feet from the adjacent residence which is located towards the front of its lot. The applicant proposes to install the requisite Sitescreening Standard C along the west property line which consists of a 6-foot-high view-obscuring fence to separate the property zoned B-2 from the property zoned R-2. Neither the Planning Division nor any adjacent property owner or resident has an objection to the requested setback for the addition. Failure to allow the adjustment would unnecessarily reduce the otherwise usable space in the northwest corner of the property.

(4) Permit flexibility of design and placement of structures and other site improvements: The requested setback adjustment would permit flexibility of design and placement of structures by maximizing the usable area of the property while still complying with the intent of structural setback standards.

(5) Allow development consistent with a specific sub-area plan: This objective does not apply since no sub-area plans exist to address this area.

Based upon the uncontradicted evidence in the record of these applications, the requested setback adjustment should be allowed because it would be consistent with the purpose of the zoning ordinance to allow automobile dealerships to be located in the B-2 zoning district; it would be consistent with an objective of the setback standards set forth in YMC 15.05.020(D) to allow for sufficient privacy,

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light and air between buildings; and it would accomplish two of the five listed objectives for an Administrative Adjustment even though only one of those objectives must be served in order to allow the adjustment.

XIV. Administrative Adjustment Criteria for the Requested Parking Lot Surfacing Standard for the Proposed Automobile Dealership Use.

YMC §15.06.110(A) requires vehicle sales lots having a capacity of three or more vehicles to be paved with two-inch-thick asphaltic surfacing on an aggregate base, or an equivalent surfacing acceptable to the administrative official, so as to eliminate dust or mud. The applicant has requested an adjustment to the pavement requirement to allow 1,194.8 square feet of the rear parking area that would be used for parking/storing vehicles offered for sale to be graveled so as to comply with the 80% lot coverage maximum for impervious surfaces on the site. The five objectives listed in YMC §15.10.020 apply, or do not apply, to the requested adjustment of the parking lot surfacing standard in the following ways:

(1) Allow buildings to be sited in a manner that maximizes solar access: This objective does not apply. It is not the purpose of the requested adjustment to the standard for the surfacing of vehicle sales lots to maximize solar access to any building.

(2) Allow zero lot line or common wall construction in conformance with the provisions of this title: This objective does not apply since no zero lot line or common wall construction is proposed.

(3) Coordinate development with adjacent land uses and physical features: The requested adjustment to allow 1,194.8 feet of the area for this vehicle sales lot to have a gravel surface rather than pavement would coordinate the sales lot with adjacent land uses and physical features by being located away from the La Follette Street frontage behind the existing garage and proposed

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addition near the back of the property. The applicant proposes to install the requisite Sitescreening Standard C along the west property line which consists of a 6-foot-high view-obscuring fence which would separate the graveled parking area from the view of adjacent property to the west. The graveled area would be less than one-half the size of the paved area. The graveled area would be used for the parking/storing of for-sale vehicles in inventory rather than for employee or customer parking. It would therefore comply with the purpose of the paving requirement to minimize dust or mud on the sales lot. The primary "public area" of the property would be paved in asphalt and would have requisite parking lot landscaping. Neither the Planning Division nor any adjacent property owner or resident has an objection to the proposed 1,194.8-square-foot graveled area in the rear of the lot. Failure to allow the adjustment would unnecessarily require an adjustment to the 80% maximum lot coverage limitation for impervious surfaces on the site. Besides maintaining the 80% maximum lot coverage standard for the site which is more restrictive than other zones that allow automobile dealerships, the graveled area would provide areas for the requisite landscaping.

(4) Permit flexibility of design and placement of structures and other site improvements: The requested adjustment to allow gravel rather than pavement for about 1,194.8 square feet of the vehicle sales lot would permit flexibility of design and placement of structures by preserving pervious surfaces on at least 20% of the site while still complying with the intent of the standard for paved surfacing of vehicle sales lots.

(5) Allow development consistent with a specific sub-area plan: This objective does not apply since no sub-area plans exist to address this area.

Based upon the uncontradicted evidence in the record of these applications, the requested adjustment of the standard for surfacing of vehicle sales lots should be allowed because it would be consistent with the purpose of the zoning ordinance to allow automobile dealerships to be located in the B-2 zoning district as a Class (2) generally permitted use; it would be consistent with an objective of the vehicle sales lots surfacing standards to prevent dust and mud; and it would accomplish two of the five listed objectives for an Administrative Adjustment even though only one of those objectives must be served in order to allow the adjustment.

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XV. The Consistency of a Proposed Automobile Dealership Use with Development Regulations and the Comprehensive Plan under the Criteria Required by YMC §16.06.020(B) is determined by consideration of the following factors:

(1) **The types of land uses permitted at the site** include the proposed automobile dealership use if the requested B-2 zoning is approved by the City Council, in which case the proposed use could be allowed as a Class (2) use in the proposed B-2 zoning district with the requested setback and vehicle sales lot paving adjustments in accordance with the findings set forth above in these recommendations.

(2) **The density of residential development** is not affected by this proposed use. The proposed commercial use would comply with the 80% lot coverage limitation in the B-2 zoning district where the automobile sales use is allowed as a Class (2) use if, as is the case here, the use satisfies the Class (2) use criteria for approval.

(3) **The availability and adequacy of infrastructure and public facilities** is not an issue here because there are adequate public and private utility services available to be utilized, or in the case of City of Yakima sewer, available in the vicinity to be extended, and because there is adequate access to the site by way of South Fair Avenue, as well as by way of La Follette Street which would be widened with frontage improvements to be installed by the applicant.

(4) **The characteristics of the development** would be consistent with the development regulations and Comprehensive Plan considerations as discussed in detail above.

CONCLUSIONS

Based upon the foregoing Findings, the Hearing Examiner reaches the following Conclusions:

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Project Rezone from R-2 to B-2
Class (2) Automobile Dealership
909 La Follette St./1406 S. Fair Ave.
RZ#001-22; CL2#025-22; ADJ#024-22

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(1) YMC Chapter 1.43 and YMC §15.11.100(A)(1) provide that the Hearing Examiner has jurisdiction to recommend approval by the Yakima City Council of the requested project Rezone of the 0.33-acre site from the Two-Family Residential (R-2) zoning district to the Local Business (B-2) zoning district and to recommend approval of the proposed Class (2) automotive sales use with setback and vehicle sales lot surfacing adjustments.

(2) Public notice for the December 22, 2022, open record public hearing was provided in accordance with zoning ordinance requirements.

(3) A SEPA Determination of Nonsignificance (DNS) for this requested Rezone and Class (2) use with Administrative Adjustments was issued on November 30, 2022, and became final without any appeals.

(4) The requested Rezone and proposed automotive sales use with setback and sales lot surfacing adjustments are compliant and compatible with the Goals and Policies of the 2040 Yakima Urban Area Comprehensive Plan Community Mixed Use designation of the Comprehensive Plan for the site.

(5) All of the requisite criteria for approval of a Rezone of the 0.33-acre site to the Local Business (B-2) zoning district are satisfied.

(6) The requested Rezone and Class (2) automotive sales use with setback and vehicle sales lot surfacing adjustments satisfy all of the requisite criteria for their approval.

(7) This request for a Rezone and for approval of the proposed Class (2) automotive sales use complies with the YMC §16.06.020(B) criteria for making a Determination of Consistency.

RECOMMENDATIONS

Pursuant to YMC §15.11.100(A)(1) which requires the Class (2) use and setback Adjustment decisions to constitute recommendations to the City Council because they are consolidated with a Rezone recommendation, the Hearing

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Examiner recommends to the Yakima City Council that the project Rezone from the Two-Family Residential (R-2) zoning district to the Local Business (B-2) zoning district and the Class (2) automotive sales use with side setback and vehicle sales lot surfacing adjustments on Parcel Numbers 191330-41485 and 191330-41486 on the northwest corner of South Fair Avenue and La Follette Street as described herein and in the City's record for File Numbers RZ#001-22, CL2#025-22, ADJ#024-22 and SEPA#017-22 be **APPROVED**, subject to the following conditions:

(1) Ten percent (10%) of the parking and vehicle storage area shall be landscaped.

(2) Sitescreening Standard C shall be installed along the west property line and Sitescreening Standard A or higher shall be installed along the south property line.

(3) Site and parking lot lighting shall be downward shielded so that no light spills onto adjacent residential properties.

(4) New curb, gutter and sidewalk, including associated pavement widening and storm drainage, shall be installed along the site's frontage on LaFollette Street.

(5) Commercial driveway approaches are required which meet the requirements of YMC Chapter 8.64 and standard detail R4.

(6) A new City eight-inch (8-inch) sewer mainline will be required to be installed in La Follette Street or in the existing alley to the north of the lots per YMC Title 12 requirements and City of Yakima Engineering Standard Details.

(7) Since La Follette is classified as a Residential street requiring a total of 50 feet of right-of-way (25 feet half-width), ten (10) feet of additional right-of-way shall be dedicated along the site's frontage on La Follette Street to equal the requisite 25 feet half-width of right-of-way for the north half of La Follette Street.

(8) A complete stormwater drainage report, completed by a Professional Engineer licensed in Washington State, shall be submitted to the City of Yakima

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Surface Water Engineer for review and approval.

(9) The applicant shall submit to the City of Yakima Planning Division an updated site plan showing the following:

(a) Parking lot landscaping equal to a minimum of ten percent (10%) of the parking and vehicle storage area(s).

(b) Parking lot and site lighting, if provided.

(c) Vision Clearance triangles at the street intersection and driveway intersections.

(d) The new frontage improvements and the type of sitescreening on LaFollette Street.

(e) A right-of-way dedication ten (10) feet in width along the site's frontage on the north side of LaFollette Street.

DATED this 6th day of January, 2023.



Gary M. Cuillier, Hearing Examiner

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EXHIBIT LIST

[illegible]



DEPARTMENT OF COMMUNITY DEVELOPMENT
Joan Davenport, AICP, Director

Planning Division
Joseph Calhoun, Manager
129 North Second Street, 2nd Floor, Yakima, WA 98901
ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

CITY OF YAKIMA
FINDINGS of FACT, CONCLUSIONS & RECOMMENDATION
for
PROJECT SPECIFIC REZONE

Application # RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22

APPLICANT: Tom Durant, on behalf of Rosa Harati
APPLICANT ADDRESS: PO Box 1109, Manhattan Beach, CA 90267
PROJECT LOCATION: 1406 S Fair Ave/909 LaFollette Street
PARCEL(S): 191330-41484, 41486
DATE OF REQUEST: September 9, 2022
DATE OF RECOMMENDATION: December 22, 2022
STAFF CONTACT: Joseph Calhoun, Planning Manager

I. DESCRIPTION OF REQUEST:

Proposal to rezone two lots from R-2 to B-2, to establish an automobile dealership, an administrative adjustment to the side setback from 20 ft. to 6 ft., and an adjustment to the parking/vehicle standard from hard surfacing to gravel.

II. CURRENT ZONING AND LAND USE:

The subject properties are approximately 0.33 acres in size and are zoned Two-Family Residential (R-2). Adjacent properties to this site have the following zoning and land use characteristics:

| <u>Direction</u> | <u>Zoning</u> | <u>Land Use</u> |
|------------------|---------------|-----------------|
| North | GC | Commercial |
| South | R-2 | Residential |
| East | GC | Commercial |
| West | R-2 | Residential |

III. PUBLIC NOTICE:

| | |
|----------------------------------|-------------------|
| Posting of Property | October 10, 2022 |
| Mailing of Notice of Application | October 10, 2022 |
| Mailing of Public Hearing Notice | November 30, 2022 |
| Public Hearing Notice Published | November 30, 2022 |

IV. FINDINGS OF FACT:

A. Environmental Review:

Environmental Review (SEPA#017-22) was completed for this application, and a Determination of Nonsignificance (DNS) was issued on November 30, 2022. No appeals were filed.

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B. Comments Received:

The initial comment period was from October 10, 2022 through October 31, 2022. One comment was received from the Department of Ecology:

1. This project is located within the Yakima Railroad Area. The Yakima Railroad Area is a six-square mile area identified as having a high likelihood that groundwater is contaminated with tetrachloroethene (also know as PCE, perc, or perchloroethylene) above state cleanup levels. Concentrations of PCE above cleanup levels in the shallow aquifer have the potential to impact indoor air quality.

C. Statement of Cause:

The applicant's complete written narrative statements can be found in the application packet contained within the record for this proposal. A summary of the Rezone, Type 2, and Administrative Adjustment narratives is below:

1. Rezone: This is an application to change the zoning of two parcels totaling about one-third of an acre at the corner of S. Fair Ave. and LaFollette St. from Two-Family Residential (R-2) to Local Business (B-2). The property has a future land use map designation of Community Mixed Use with which the proposed zoning district is consistent.
2. Type 2: Proposed is an automobile sales business consisting of a lot with 22 for-sale vehicle spaces and two buildings for the sales office and related activities including financing, insurance, sale of tools and maintenance. Four dedicated parking spaces are proposed exceeding the parking required based on retail vehicle sales taking place in less than 1,000 square-feet of these buildings. There is no show room. Business operations are expected to occur seven days per week. It is possible that some parts of buildings could be leased to other small businesses. Given the limited amount of space these would be small in scale and would be expected to require no more parking than for their use associated with automobile sales.
3. Administrative Adjustment – Setback: Use of an existing garage is planned to support the proposed automobile sales business. The garage is located within five feet of the west property line of the site which is to become the boundary line between the commercial and adjacent R-2 zoning. The purpose of this adjustment is to allow an addition to this building to be set back six feet from the property line...Having to relocate either the existing building or the addition to conform to the 20-foot setback results in a less efficient use of the site and hampers access.
4. Administrative Adjustment – Vehicle Storage Surfacing: It is proposed that a small part of the vehicle storage area be surfaced in gravel rather than hard surfacing as required by code in order for site development to conform to the lot coverage standard of the B-2 zoning district. The area proposed for this adjustment is in the northwest corner of the site, measures 59 feet by 19 to 21 feet and has an area of 1,194 square feet comprising just under half of the pervious surface area of the site. It is assumed that this is preferable to adjusting the coverage standard. Strict enforcement of both the hard surfacing and lot coverage standards would reduce the area available for the proposed use.

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D. Yakima Comprehensive Plan 2040:

The subject properties have a Future Land Use Designation of Community Mixed Use. The Community Mixed Use designation is intended to allow for a mixture of scaled retail, commercial service, office, and high-density residential uses. The proposal is consistent with the following Goals and Policies:

1. Goal 2.2: Provide a mix of land use designations consistent with the community's vision.
2. Policy 2.2.3(B): Community Mixed-Use Locational Criteria – Existing and planned future neighborhood center areas, sites along key arterials and collector streets, and transitional areas between residential uses and downtown or other mixed-use centers.
3. Policy 2.2.3(C): Community Mixed-Use Principal uses and density – A mixture of retail, commercial service, office, and high-density residential uses depending on the area's context.
4. Goal 2.5: Arterial corridors and other mixed-use centers. Enhance the character, function, and economic vitality of Yakima's arterial corridors and mixed-used centers.
5. Policy 2.5.1: Allow for a mixture of compatible land uses along corridors and within mixed-use designated areas. This includes the integration of multi-family residential and office uses with retail and service commercial uses.

E. Applicable Law:

1. Yakima Urban Area Zoning Ordinance:
 - a. Class (2) Land Use Defined: Pursuant to YMC § 15.04.020 (B), Class (2) uses are generally permitted in the district. However, the compatibility between a Class (2) use and the surrounding environment cannot be determined in advance, and occasionally a Class (2) use may be incompatible at a particular location. Therefore, a Type (2) review by the administrative official is required in order to promote compatibility with the intent and character of the district and the policies and development criteria of the Yakima Urban Area Comprehensive Plan. The procedures in YMC Ch. 15.14 shall be used to review and evaluate Class (1) uses that require a Type (2) review process.
 - b. Type (2) Review: Pursuant to YMC § 15.14.020, Type (2) Review is required for any proposed use shown on Table 4-1 as a Class (2) use, for Class (1) uses requiring Type (2) review in YMC 15.13.020; and for other specific reviews established by this title.
 - c. B-2 Zoning District Defined: Pursuant to YMC § 15.03.20 (F), the purpose of the local business district is to:
 1. Provide areas for commercial activities that meet the small retail shopping and service needs of the community; and
 2. Accommodate small-scale commercial uses that need a higher level of visibility and easy access to major arterials.Uses characteristic of this district include small retail sales and service establishments.

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- d. Compatibility Defined: Pursuant to YMC § 15.02.020, "Compatibility" means the characteristics of different uses or developments that permit them to be located near each other in harmony with or without special mitigation measures.
- e. Parking:
 - 1. Pursuant to YMC § 15.06.040, Table 6-1, Automotive sales uses require 1 space for every 500 square-feet of showroom and 1 space for every 1000 square-feet of retail sales floor area.
 - 2. Pursuant to YMC § 15.06.110 (A), all off-street parking lots and driveways shall be paved with two-inch thick asphaltic surfacing on an aggregate base, or an equivalent surfacing acceptable to the administrative official, so as to eliminate dust or mud. Pervious asphalt or concrete materials are encouraged.
 - 3. Pursuant to YMC § 15.06.090 (A), the standard for landscaping of parking and vehicle storage lots with five or more spaces shall be ten percent of the total parking area.
- f. Sitescreening: Sitescreening is Standard C is proposed on the west and south property lines adjacent to residential use. Standard C consists of a six-foot-high, view-obscuring fence made of wood, masonry block, or slatted chain link material (YMC § 15.07.040).
- g. Frontage Improvements: Frontage improvements are existing along Fair Avenue and shall be extended along the site's LaFollette frontage.

F. Development Services Team Review:

A Development Services Team (DST) meeting was held on November 22, 2022 for technical review of the project. DST members made the following summarized findings:

- 1. Engineering:
 - a. This project proposes that an automobile dealership be developed on the property. The property currently has multiple residential buildings that are on a "Safe Routes to School" designated roadway, has existing sidewalks on S. Fair Ave. only and has multiple residential driveway approaches. Right of way at this property on La Follette St. is 30', 20' below the City requirement of 50' for Residential roadways. Right of way at this property on S. Fair Ave. is 74', 6' below the City requirement of 80' for Minor Arterial roadways. The proposed development will cause increased pedestrian and vehicle traffic without adequate safety precautions for pedestrians and inadequate safe ingress and egress for vehicles. Current frontage infrastructure is not adequate enough to handle the proposed change in use to an automobile dealership. Further, the existing right of way will not allow for the required City standard frontage improvements necessary to address the issues associated with development of the property described herein to be constructed entirely on City property.
 - b. This project requires Title 8 and 12 improvements, including but not limited to the following:
 - i. YMC 8.60 and 12.05 – New curb, gutter and sidewalk, including associated pavement widening and storm drainage, shall be installed along the site's

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frontage on La Follette. Street improvements shall conform to standard detail R3. New sidewalks shall be constructed per standard detail R5. If alley is used for access to site, alley shall be paved for length of frontage, as well as replacement of driveway approach to alley.

- ii. YMC 8.64 – Commercial driveway approaches are required which meets the requirements of this chapter and standard detail R4. Any existing driveways not utilized shall be removed and replaced with new sidewalk and full height curb.
- iii. YMC 8.72 – An excavation and street break permit shall be obtained for all work within the public right of way.
- iv. YMC 12.02 – Easements shall be established per this chapter.
- v. YMC 15.05.040 – Vision Clearance Triangle – All corner lots at unsignalized street intersections shall maintain, for safety vision purposes, a vision clearance triangle. Existing 6' fence shall not be permitted inside the vision clearance triangle at the proposed project property.
- vi. YMC 12.06.020 – Right of way – La Follette is classified as Residential, requiring a total of 50' of right of way (25' half width). Applicant shall determine existing right of way width and dedicate adequate right of way to meet the required widths. No right of way is required for S. Fair Ave.
- vii. An ENG permit is required for new frontage improvements. Civil plans shall be submitted for review and approval. All improvements and shall be completed prior to Certificate of Occupancy.

2. Wastewater:

- a. Per City of Yakima records, the existing structures are not connected to City sewer. If applicant is proposing new connections, a new City 8" sewer mainline will be required to be installed in LaFollette St or in the existing alley to the north of the lots per YMC Title 12 requirements and COY Engineering Standard Details. The existing sewer line in Fair Ave is a 36" Trunk line and is not available for side sewer connections. If applicant is proposing to continue use of existing septic systems, the will need to be shown on the site plan and shall obtain approval from Yakima Health District for their continued use in the new development.

3. Stormwater:

- a. As this project develops more than 5,000 but less than 10,000 square feet of impervious area, a complete stormwater drainage report shall be submitted to the Surface Water Engineer for review and approval. The report shall include at a minimum: drainage plans: drainage calculations: temporary erosion and sediment control plan: how core elements #1-5, 7 and 8 are satisfied.

The drainage report shall be completed by a Professional Engineer licensed in Washington State. Underground Injection Control Wells shall meet the requirements of the 2019 Stormwater Management Manual for Eastern Washington and are required to be submitted for registration to the Washington State Dept. of Ecology at least 60 days prior to construction.

Core Element #1: Preparation of a Stormwater Site Plan

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Core Element #2: Construction Stormwater Pollution Prevention
Core Element #3: Source Control of Pollution
Core Element #4: Preservation of Natural Drainage Systems
Core Element #5: Runoff Treatment
Core Element #6: Flow Control
Core Element #7: Operation and Maintenance
Core Element #8: Local Requirements

G. Rezone Approval Criteria:

In accordance with the provisions of the YMC § 15.23.030, recommendations to approve or deny proposed rezones shall include the following considerations:

1. Testimony at public hearing.

After consideration of any public comments received during the course of the hearing it may be appropriate for the Hearing Examiner to modify the staff's recommendation. There were no public comments received during the comment period.

2. The suitability of property in question for uses permitted under the proposed zoning.

The property is well suited for uses listed within Table 4-1 for the B-2 zoning district, and will facilitate new commercial development.

3. The recommendations from interested agencies and departments.

No agencies or departments have registered any opposition to this rezone.

4. Compliance with the Comprehensive Plan.

The proposed Local Business zoning district is an implementing zone of the Community Mixed Use land use designation, and is consistent with several goals and policies, as indicated above in section IV.D of this report.

5. The adequacy of public facilities, such as roads, sewer, water, and other required public services.

This property is currently capable of being served by all public utilities necessary for the support of commercial land uses.

6. The compatibility of the proposed zone change and associated uses with neighboring land uses.

The proposed zone change is compatible with existing neighboring land uses. No comments were received from adjacent property owners regarding compatibility concerns. The applicant is proposing Sitescreening Standard C on the west property line, which is intended to mitigate adverse impacts of development. The proposed B-2 zoning district can also be considered as a buffer between the adjacent residential uses and surrounding General Commercial (GC) zoning to the north and east. While similar uses are allowed in both zones, the B-2 generally requires a higher level of review for more intensive uses, such as the Class 2 automobile sales use that is being reviewed concurrently with this rezone.

(6a) What mitigating measures are planned to address incompatibility, such as sitescreening, buffering building design, open space, traffic flow alteration, etc.?

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Sitescreening Standard C on the west property line is proposed on the site plan and referenced in the application narrative. Conditions of approval will include extended frontage improvements, commercial driveway approaches, downward-shielded lighting, and on-site parking lot landscaping.

7. The public need for the proposed change.

The public need for this change is to create more land for mixed use commercial development.

H. Type 2 Site Design and Improvement Standards:

YMC Ch. 15.05 – 15.07 establish basic development requirements as minimum criteria, which must be met to assure land use compatibility and promote the public health, safety, and welfare. The following is an overview of the proposal's compliance with the aforementioned development standards:

1. Parking: The proposed parking area will be paved in accordance with YMC Ch. 15.06. Automobile sales require 1 space for each 500 feet of showroom and 1 space for each 1,000 square-feet of retail sales floor area. The application indicates 22 for-sale vehicle spaces which equals approximately 3,762 square-feet based on the typical 9X19 parking space. This requires 4 parking spaces; 4 parking spaces are shown on the site plan, complying with the standard. If the parking area or other site lighting is provided, it shall be downward shielded so that no lighting spills onto adjacent residential properties.
2. Landscaping: 10% of the proposed parking and vehicle sales areas shall be landscaped.
3. Lot Coverage: The B-2 zoning district allows 80% lot coverage. The site plan displays 80% lot coverage, complying with the standard.
4. Setbacks: The site includes existing structures which were built in conformance with codes at the time of construction, or are considered legal nonconforming. The proposal to add on to a garage structure will not meet the required setback from a residential zone, which is the subject of a proposed Administrative Adjustment.
5. Sitescreening: Sitescreening Standard C is required on the west property line, and is shown as proposed on the site plan. Sitescreening Standard A is required on the south property line. The site plan shows Standard C proposed on the site plan.
6. Public Facilities: City of Yakima sewer (with extension) and water are available. The property is accessed from Fair Ave., which is a Minor Arterial and from LaFollette St. which is a Local Access.

I. Administrative Adjustment Findings - Setback

1. **Siting for solar access**: Siting for solar access is not a factor with this application.
2. **Zero lot line construction**: Zero lot line criteria does not apply to this application as no residential zero lot line construction is proposed.
3. **Coordinate site features with surrounding land uses and physical features**:

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This adjustment seeks to reduce the 20-foot setback from an adjacent residential zone. Proposed is an addition to an existing garage building. The existing garage is 24X15 and is approximately 3-feet from the west property line; the proposed addition is 21X23 and is proposed to be 6-feet from the property line. The proposed site layout maximizes the useable area of the site. The proposed sitescreening and required landscaping will mitigate any adverse impacts on the adjacent residential uses.

4. **Flexibility of design and placement of structures and other site improvement that is the minimum adjustment necessary to accommodate the proposed structure or site improvement:** This adjustment would allow flexibility in placement of the garage expansion. Adherence to the 20-foot setback would limit the useable area of the site, particularly the NW corner of the property.
5. **Consistency with sub-area plans:** There are no relevant subarea plans.

J. Administrative Adjustment Findings – Parking Lot Surfacing

1. **Siting for solar access:** Siting for solar access is not a factor with this application.
2. **Zero lot line construction:** Zero lot line criteria does not apply to this application as no residential zero lot line construction is proposed.
3. **Coordinate site features with surrounding land uses and physical features:**
This adjustment seeks to allow approximately 1,194.8 square-feet of vehicle storage area to be gravel instead of hard-surfaced. This area is isolated to the NW corner of the site and the remaining parking and vehicle storage area is proposed to be asphalt. The primary purpose of this adjustment is to maintain the 80% lot coverage requirement in the B-2 zoning district.
4. **Flexibility of design and placement of structures and other site improvement that is the minimum adjustment necessary to accommodate the proposed structure or site improvement:** The proposed gravel parking area is isolated to the NW corner of the site, which is a suitable location. This will be northward of the proposed garage addition, so functionally it should not impact the rest of the site. The primary "public area" of the property will be paved in asphalt and will require parking lot landscaping. This gravel area will maintain the B-2 lot coverage requirement and can provide some additional adjacent area for landscaping.
5. **Consistency with sub-area plans:** There are no relevant subarea plans.

V. CONCLUSIONS

1. The proposed Rezone from Two-Family Residential (R-2) to Local Business (B-2) is consistent with the applicable Rezone standards considerations found in YMC § 15.23.030.
2. The proposed Type 2 Automotive sales use is consistent with the B-2 zoning district and, as conditioned, is considered to be compatible with surrounding zoning and land uses.
3. The proposed Administrative Adjustments to building setback and parking lot surfacing are consistent with the applicable Administrative Adjustment findings.

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VI. RECOMMENDATION

The Community Development Department recommends APPROVAL of this rezone from Two-Family Residential (R-2) to Local Business (B-2); along with the proposed Type 2 Review for an Automobile Sales Lot and Administrative Adjustment to the setback and parking standards; subject to the following conditions:

1. 10% of the parking and vehicle storage area shall be landscaped.
2. Sitescreening Standard C shall be installed along the West and South property lines.
3. Site and Parking Lot lighting shall be downward shielded so that no light spills onto adjacent residential properties.
4. New curb, gutter and sidewalk, including associated pavement widening and storm drainage, shall be installed along the site's frontage on LaFollette.
5. Commercial driveway approaches are required which meets the requirements of YMC Ch. 8.64 and standard detail R4.
6. A new City 8" sewer mainline will be required to be installed in LaFollette St or in the existing alley to the north of the lots per YMC Title 12 requirements and COY Engineering Standard Details.
7. La Follette is classified as Residential, requiring a total of 50' of right of way (25' half width). Applicant shall determine existing right of way width and dedicate adequate right of way to meet the required widths.
8. A complete stormwater drainage report, completed by a Professional Engineer licensed in Washington State, shall be submitted to the Surface Water Engineer for review and approval.
9. The applicant shall submit an updated site plan showing the following:
 - a. Parking lot landscaping equal to a minimum of 10% of the parking and vehicle storage area(s).
 - b. Parking lot and site lighting, if provided.
 - c. Vision Clearance triangles at the street intersection and driveway intersections.
 - d. New frontage improvements on LaFollette.
 - e. Right-of-Way dedication on LaFollette.

RECOMMENDATION made this 22nd day of December, 2022.

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EXHIBIT LIST

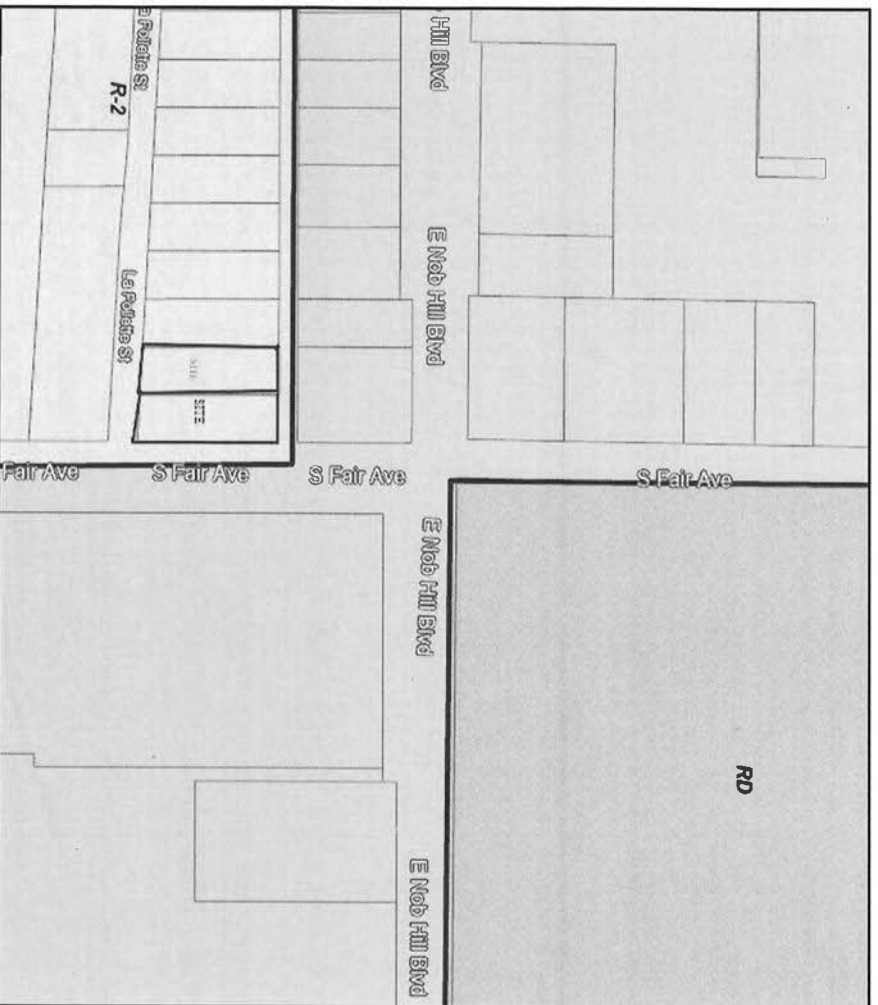
[illegible]

Project Name: ROSA HARATI/ SARAH HARATI

Site Address: 909 LA FOLETTE ST/ 1406 S FAIR AVE

File Number(s): RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22

ZONING MAP



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Yakima Urban Area Zoning

| |
|-------------------------------|
| SR Suburban Residential |
| R-1 Single Family |
| R-2 Two Family |
| R-3 Multi-Family |
| B-1 Professional Business |
| B-2 Local Business |
| HB Historical Business |
| SOC Small Convenience Center |
| LCC Large Convenience Center |
| CBD Central Business District |
| GC General Commercial |
| M-1 Light Industrial |
| M-2 Heavy Industrial |
| RD Regional Development |
| AS Airport Support |

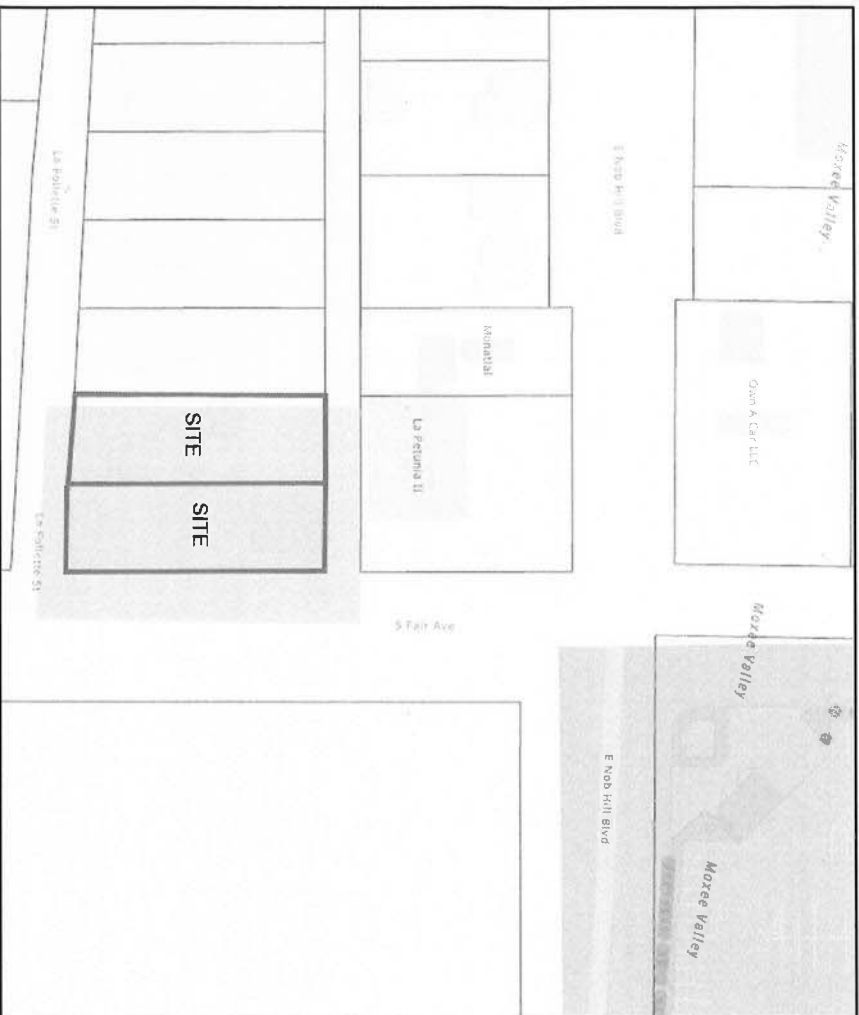
Map Disclaimer: Information shown on this map is for planning and illustration purposes only. The City of Yakima assumes no liability for any errors, omissions, or inaccuracies in the information provided or for any action taken, or action not taken by the user in reliance upon any maps or information provided herein.

Date Created: 9/12/2022



Project Name: ROSA HARATI/ SARAH HARATI
Site Address: 909 LA FOLLETTE ST/ 1406 S FAIR AVE
File Number(s): RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22

FUTURE LAND USE MAP



- Yakima Future Land Use Designations**
- Low Density Residential
 - Mixed Residential
 - Central Business Core Commercial
 - Commercial Mixed Use
 - Regional Commercial
 - Community Mixed Use
 - Industrial



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Date Created: 9/12/2022



Project Name: ROSA HARATI/ SARAH HARATI

Site Address: 909 LA FOLETTE ST/ 1406 S FAIR AVE

File Number(s): RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22

AERIAL MAP



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Date Created: 9/12/2022



Project Name: ROSA HARATI/ SARAH HARATI

Site Address: 909 LA FOLETTE ST/ 1406 S FAIR AVE

File Number(s): RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22

Proposal: Proposal to rezone two lots from R-2 to B-2, to establish a automobile dealership, an administrative adjustment to the side setback from 20ft to 6ft, and an adjustment to the parking/vehicle standard from hard-surfacing to gravel.



VICINITY MAP



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Date Created: 9/12/2022



CHAPTER C

Site Plan

[illegible]

RECEIVED

SEP 09 2022

CITY OF YAKIMA
PLANNING DIV.

PARKING:

22 SALES INVENTORY SPACES
3 CUSTOMER/EMPLOYEE SPACES
1 ADA ACCESSIBLE SPACES

TOTAL = 26

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CL

LEGEND:

EOP = EDGE OF PAVEMENT SURFACING
EOG = EDGE OF GRAVEL SURFACING

 = GRAVEL SURFACING

LOT COVERAGE

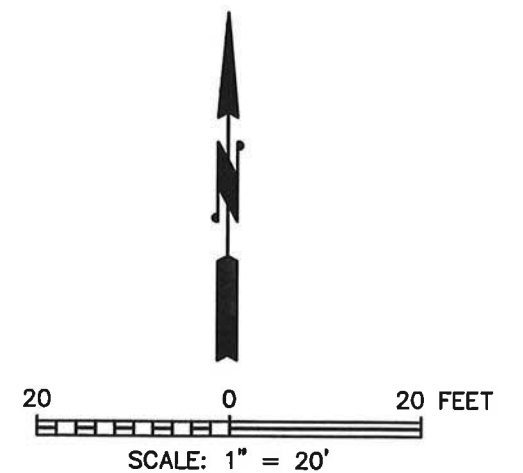
TOTAL AREA: 13,833 SQ FT

PROPOSED & EXISTING ASPHALT &
CONCRETE SURFACES: 9,560 SQ FT

PROPOSED & EXISTING BUILDINGS: 1,556 SQ FT

TOTAL IMPERVIOUS SURFACES: 11,116 SQ FT

80% LOT COVERAGE



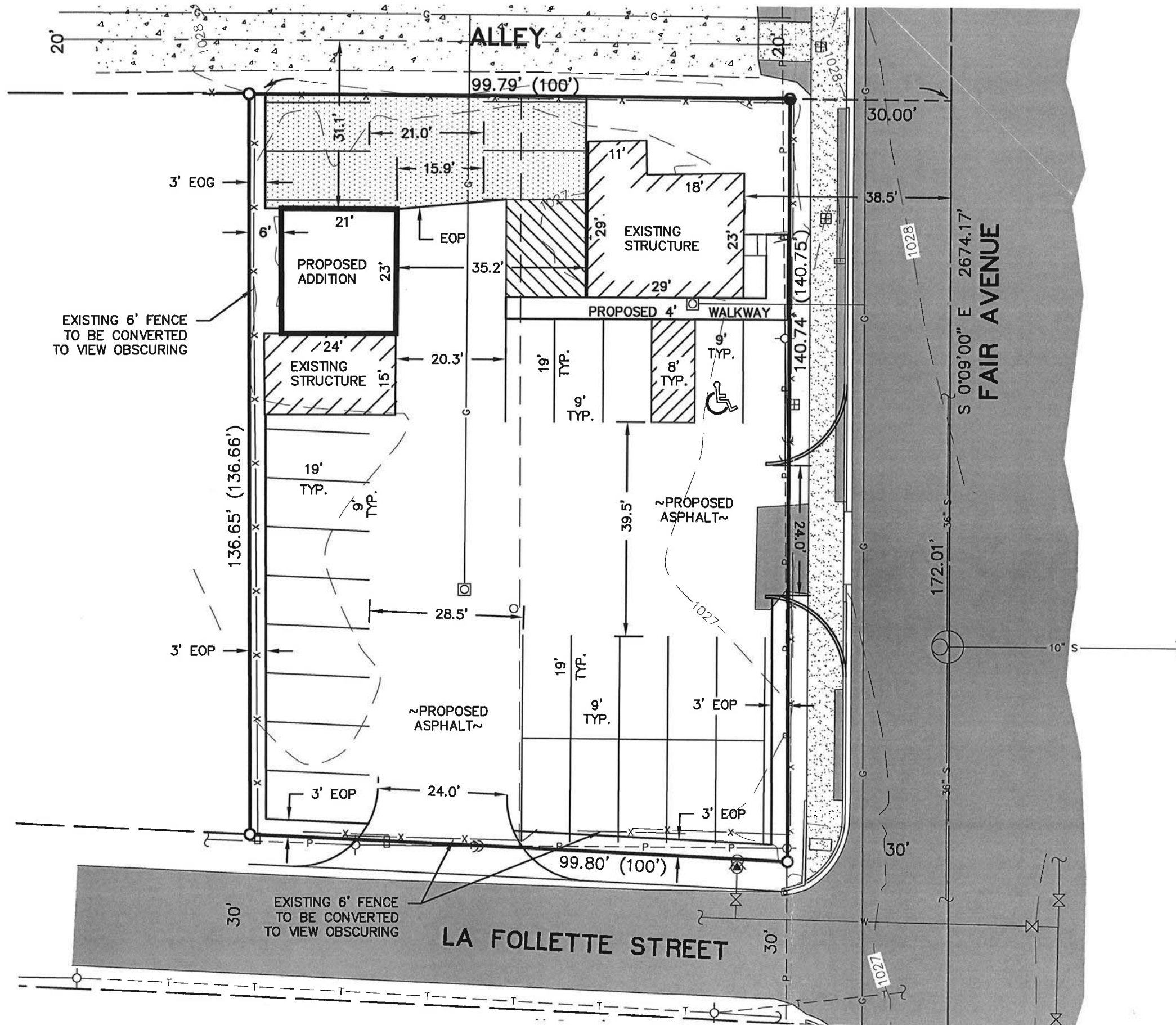
CONCEPTUAL SITE PLAN

— PREPARED FOR —
ROSA HARATI

1406 S. FAIR AVENUE, YAKIMA, WA

PLSA ENGINEERING & SURVEYING
JOB NO. 21238
AUGUST 4, 2022

SHEET
1 OF 1



SEP 09 2022

CITY OF YAKIMA
PLANNING DIV.

SITE PLAN INSTRUCTIONS

A Detailed Site Plan Is Required: On August 8, 1996, the City Council passed a resolution (No. R-96-91) adopting a requirement that all site plans submitted in conjunction with any building permit application, land use application, and environmental application shall contain certain information and be approved by the appropriate Division Manager. All information that is applicable to your proposal shall be checked off and clearly displayed on the site plan. It is in the applicant's best interest to provide a carefully drawn and scaled site plan with all required information. The decision on whether or not to grant approval of your development proposal is largely based on the information you provide. **An application cannot be processed until an adequate site plan is submitted.**

Please complete this checklist and include it with your site plan. The site plan must contain all pertinent information. Items not applicable to the proposed project shall be noted.

- 1) **Use Ink:** Use blue or black permanent ink. It may be helpful to draft the site plan in pencil then trace over in ink. Ink is necessary for adequate duplication.
- 2) **Use A Straight Edge:** All lines must be straight and done with the aid of a ruler or other straight edge. Use a compass when delineating circular drawings such as cul-de-sacs. Computer drafted site plans are acceptable.
- 3) **Draw To Scale:** Site plans shall be drawn to scale. The site plan template has a suggested map scale of one inch equaling twenty feet (1"=20'). Distances on the map must be as representative of reality as possible. For example, if the distance from a structure to a property line is 20 feet, the distance on the site plan will be 1 inch.
- 4) **Use Site Plan Checklist:** Use the site plan checklist and provide all applicable information on the site plan.
- 5) **Fill In Information On The Site Plan Template.** The template is available online on the Planning Division webpage (<https://www.yakimawa.gov/services/planning/>) in the "application forms and fees" section, and also at the permits counter on the 2nd floor of City Hall. If you choose not to use the city's site plan template, please provide the information listed on the site plan template (background info, lot coverage, parking, etc.) on your site plan.

Note: You may benefit from the aid of a professional in the preparation of a site plan.

GENERAL SITE PLAN CHECKLIST

Check all boxes as: (✓ or X) Included or (-) Not Applicable

| | |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Property Address |
| <input checked="" type="checkbox"/> | Legal Description |
| <input checked="" type="checkbox"/> | North Arrow |
| <input checked="" type="checkbox"/> | Scale |
| <input checked="" type="checkbox"/> | Applicant Name |
| <input type="checkbox"/> | Project Name |
| <input checked="" type="checkbox"/> | Property Dimensions and Shape of Lot |
| <input checked="" type="checkbox"/> | Size and Location of Existing Structures |
| <input checked="" type="checkbox"/> | Size and Location of Proposed Structures |
| <input checked="" type="checkbox"/> | Distance(s) of Structures to Property Line and Centerline of Right-of-Way (YMC § Ch. 15.05, Table 5-1) |
| <input type="checkbox"/> | Location of Existing and Proposed Signage (YMC § Ch. 15.08) |
| <input checked="" type="checkbox"/> | Size and Location of Utilities |
| <input type="checkbox"/> | Parking Circulation Plan (YMC § Ch. 15.06.030) |
| <input checked="" type="checkbox"/> | Proposed Landscaping (YMC § Ch. 15.06.090) |
| <input checked="" type="checkbox"/> | Proposed SITESCREENING (YMC § Ch. 15.07) |
| <input checked="" type="checkbox"/> | Location of Ingress and Egress Points |
| <input checked="" type="checkbox"/> | Adjacent Rights-of-Way and Existing Frontage Improvements |
| <input checked="" type="checkbox"/> | Lot Coverage Calculation (YMC § Ch. 15.05.020(C)) |
| <input type="checkbox"/> | Clearview Triangle – YMC § Ch. 15.05.040 – Vision Clearance |
| <input type="checkbox"/> | Dumpster and Screening Location |

Note: Planning Division or Reviewing Official may require additional information to clarify the proposal, assess its impacts, or determine compliance with the Yakima Municipal Code and other laws and regulations.

EXHIBIT LIST

[illegible]



CITY OF YAKIMA PLANNING DIVISION

DST COMMENTS SUBMITTED IN SMARTGOV

Project Name: ROSA HARATI/ SARAH HARATI

File Number: RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22

| | | | | |
|----------------------------|-----------------|---|------------|------------------------------|
| DST - WASTEWATER ENG | DST COMMENTS | Per City of Yakima records, the existing structures are not connected to City sewer. If applicant is proposing new connections, a new City 8" sewer mainline will be required to be installed in La Folette St or in the existing alley to the north of the lots per YMC Title 12 requirements and COV... | 12/07/2022 | dana.kallevig@yakimawa. |
| DST - TRAFFIC | GENERAL | Application estimates 4-5 people working at this used car lot. PM trip generation not to exceed 10, so TCO not required. | 12/07/2022 | ROBERT.WASHABAUGH@YAKIMAWA.G |

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As this project **develops more than 5,000 but less than 10,000** square feet of impervious area, a complete stormwater drainage report shall be submitted to the Surface Water Engineer for review and approval. The report shall include at a minimum: drainage plans: drainage calculations: temporary erosion and sediment control plan: how core elements #1-5, 7 and 8 are satisfied.

The drainage report shall be completed by a Professional Engineer licensed in Washington State.

Underground Injection Control Wells shall meet the requirements of the 2019 Stormwater Management Manual for Eastern Washington and are required to be submitted for registration to the Washington State Dept. of Ecology at least 60 days prior to construction.

Core Element #1: Preparation of a Stormwater Site Plan

Core Element #2: Construction Stormwater Pollution Prevention

Core Element #3: Source Control of Pollution

Core Element #4: Preservation of Natural Drainage Systems

Core Element #5: Runoff Treatment

Core Element #6: Flow Control

Core Element #7: Operation and Maintenance

Core Element #8: Local Requirements

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D-3

DATE: December 7, 2022

TO: Albert Miller, Associate Planner

FROM: Kirsten McPherson, Developer Engineer

RE: CL2#025-22 — 909 LA FOLLETTE ST/ 1406 S FAIR AVE (Parcel # 119133041485, 19133041486) - ROSA HARATI/ SARAH HARATI

Project Description - Proposal to rezone two lots from R-2 to B-2, to establish a automobile dealership, an administrative adjustment to the side setback from 20ft to 6ft, and an adjustment to the parking/vehicle standard from hard-surfacing to gravel.

This project proposes that an automobile dealership be developed on the property. The property currently has multiple residential buildings that are on a "Safe Routes to School" designated roadway, has existing sidewalks on S. Fair Ave. only and has multiple residential driveway approaches. Right of way at this property on La Follette St. is 30', 20' below the City requirement of 50' for Residential roadways. Right of way at this property on S. Fair Ave. is 74', 6' below the City requirement of 80' for Minor Arterial roadways. The proposed development will cause increased pedestrian and vehicle traffic without adequate safety precautions for pedestrians and inadequate safe ingress and egress for vehicles. Current frontage infrastructure is not adequate enough to handle the proposed change in use to an automobile dealership. Further, the existing right of way will not allow for the required City standard frontage improvements necessary to address the issues associated with development of the property described herein to be constructed entirely on City property.

This project requires Title 8 and 12 improvements, including but not limited to the following:

YMC 8.60 and 12.05 – New curb, gutter and sidewalk, including associated pavement widening and storm drainage, shall be installed along the site's frontage on La Follette. Street improvements shall conform to standard detail R3. New sidewalks shall be constructed per standard detail R5. If alley is used for access to site, alley shall be paved for length of frontage, as well as replacement of driveway approach to alley.

YMC 8.64 – Commercial driveway approaches are required which meets the requirements of this chapter and standard detail R4. Any existing driveways not utilized shall be removed and replaced with new sidewalk and full height curb.

YMC 8.72 – An excavation and street break permit shall be obtained for all work within the public right of way.

YMC 12.02 – Easements shall be established per this chapter.

YMC 15.05.040 – Vision Clearance Triangle – All corner lots at unsignalized street intersections shall maintain, for safety vision purposes, a vision clearance triangle. Existing 6' fence shall not be permitted inside the vision clearance triangle at the proposed project property.

YMC 12.06.020 – Right of way – La Follette is classified as Residential, requiring a total of 50' of right of way (25' half width). Applicant shall determine existing right of way width and dedicate adequate right of way to meet the required widths. No right of way is required for S. Fair Ave.

An ENG permit is required for new frontage improvements. Civil plans shall be submitted for review and approval. All improvements and shall be completed prior to Certificate of Occupancy.

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City of Yakima Development Services Team
Request For Comments
November 15, 2022

| | |
|--------------------------|--|
| To: | City of Yakima Development Services Team |
| From: | Albert Miller, Assistant Planner |
| Subject: | Request for Comments |
| Applicant: | Sarah Harati |
| File Number: | RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22 |
| Location: | 909 La Folette St/1406 S Fair Ave. |
| Parcel Number(s): | 191330-41485, 191330-41486 |
| DST MEETING DATE: | 11/22/2022 |

Proposal

Meet to discuss a proposal to rezone two lots from R-2 to B-2, to establish an automobile dealership, an administrative adjustment to the side setback from 20 ft. to 6 ft., and an adjustment to the parking/vehicle standard from hard surfacing to gravel.

Please review the attached application and site plan and prepare any written comments you might have regarding this proposal. This project will come up for discussion at the weekly DST meeting to be held **November 22, 2022 at 2:00 p.m.** As always, should you have comments, but find you are unable to attend, please submit your comments prior to the meeting. My email address is albert.miller@yakimawa.gov and the Planning Department's fax number is (509) 575-6105. Should you have any questions, or require additional information, please call me at (509) 576-6772.

Comments:

Contact Person

Department/Agency

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[illegible]



ENVIRONMENTAL CHECKLIST

STATE ENVIRONMENTAL POLICY ACT (SEPA)

(AS TAKEN FROM WAC 197-11-960)

YAKIMA MUNICIPAL CODE CHAPTER 6.88

PURPOSE OF CHECKLIST

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

INSTRUCTIONS FOR APPLICANTS

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process. The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help you describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

USE OF CHECKLIST FOR NONPROJECT PROPOSALS

For non-project proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D). Please completely answer all questions that apply and note that the words "project", "applicant", and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B – Environmental Elements – that do not contribute meaningfully to the analysis of the proposal.

A. BACKGROUND INFORMATION (To be completed by the applicant.)

1. Name Of Proposed Project (If Applicable):

2. Applicant's Name & Phone:

Rosa Harati
(509) 907-2077

3. Applicant's Address:

PO Box 1109
Manhattan Beach, CA 90267

4. Contact Person & Phone:

Thomas R. Durant, 575-6990

5. Agency Requesting Checklist: City of Yakima

6. Proposed Timing Or Schedule (Including Phasing, If Applicable):

Rezoning by end of the year 2022. Begin project development immediately after with completion by mid 2023.

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain:

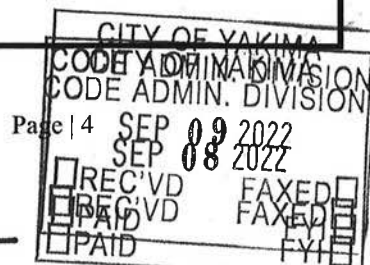
No.

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal:

The previous plan designation of the site to Community Mixed Use presumably went through environmental review.

Paid \$265.00
CR-22-002861

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A. BACKGROUND INFORMATION (To be completed by the applicant.)

- 9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain:**

No.

- 10. List any government approvals or permits that will be needed for your proposal, if known:**

Rezone

Type 2 zoning review.

Administrative adjustment to reduce the side setback from the west property line from 20 feet to 6 feet.

Administrative adjustment to reduce the parking/vehicle storage lot standard from hard-surfacing to gravel on a small part of the site.

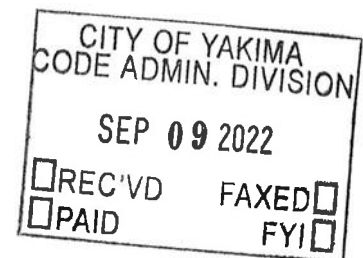
Building permits for remodeling and new construction, demolition permits for demolition.

- 11. Give a brief, but complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.):**

Rezone two lots totaling about 1/3 acre from Two Family Residential (R-2) to Local Business (B-2). Develop an automobile sales business on the site with 4 parking spaces and 22 vehicle storage spaces.

- 12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist:**

909 La Follette Street and 1406 S. Fair Avenue. At the northwest corner of La Follette Street and S. Fair Avenue approximately 150 feet south of W. Nob Hill Boulevard. The site is in the SE quarter of Section 30, T. 13 N., R. 19 E.W.M. Yakima County Parcel Number 191330-41485 & 41486.



SEP 09 2022

REC'D Space Reserved for
PAID Agency Comments

| B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant) | |
|--|--|
| 1. Earth | |
| a. General description of the site (✓ one): | |
| <input checked="" type="checkbox"/> flat <input type="checkbox"/> rolling <input type="checkbox"/> hilly <input type="checkbox"/> steep slopes <input type="checkbox"/> mountainous <input type="checkbox"/> other | |
| b. What is the steepest slope on the site (approximate percent slope)? 10% or more with relief of about one or two feet for a very short distance on the north property line. | |
| c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils. NRCS soil classifications are Ashue loam and Weirman gravelly fine sandy loam. Ashue loam, in approximately the east half of the site, is considered to be prime farmland. The site is not designated agricultural land of long term commercial significance due to its location in the City limits. No soil to be removed. | |
| d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. No. | |
| e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill. No to very little grading would be expected because the site is flat and mostly surfaced. | |
| f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. Some erosion potential during construction but slight because of the site is mostly surfaced and improved. | |
| g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? B-2 lot coverage standard of 80%. | |
| h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: Commonly used practices to control erosion. Landscaping and stormwater controls as necessary. | |
| 2. Air | |
| a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. Dust emissions during construction. Minimal vehicle exhaust emissions from the completed development. | |
| b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. No. | |
| c. Proposed measures to reduce or control emissions or other impacts to air, if any: Dust control measures as needed such as application of water. All but a very small part of the vehicle sales area is to be hard-surfaced. Vehicle emissions controlled at the source by the State. | |
| 3. Water | |
| a. Surface Water | |

| | |
|---|--|
| B. ENVIRONMENTAL ELEMENTS (to be completed by the applicant) | RECEIVED Space Reserved for Agency Comments SEP 09 2022 CITY OF YAKIMA PLANNING DIV. |
| 1. Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. No. | |
| 2. Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. N/A. | |
| 3. Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. N/A. | |
| 4. Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. No. | |
| 5. Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. No. | |
| 6. Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. No. | |
| b. Ground Water | |
| 1. Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known. No. | |
| 2. Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. None. | |
| c. Water Runoff (including stormwater) | |

| B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant) | | | | | | Space Reserved for Agency Comments |
|--|----------------------------------|---|-------------------------------------|--|--|--|
| <p>1. Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.</p> <p>Rooftops, hard-surfaced parking vehicle and travel surfaces. Directed to areas on the site that are not covered by impervious surfaces.</p> | | | | | | <p>SEP 09 2022</p> <p>CITY OF YAKIMA PLANNING DIV.</p> |
| <p>2. Could waste materials enter ground or surface waters? If so, generally describe.</p> <p>No.</p> | | | | | | |
| <p>3. Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.</p> <p>No.</p> | | | | | | |
| <p>d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:</p> <p>On-site retention.</p> | | | | | | |
| <p>4. Plants</p> | | | | | | |
| <p>a. Check (✓) types of vegetation found on the site:</p> | | | | | | |
| Deciduous Tree: | <input type="checkbox"/> Alder | <input type="checkbox"/> Maple | <input type="checkbox"/> Aspen | | <input type="checkbox"/> Other | |
| Evergreen Green: | <input type="checkbox"/> Fir | <input type="checkbox"/> Cedar | <input type="checkbox"/> Pine | | <input type="checkbox"/> Other | |
| | <input type="checkbox"/> Shrubs | <input checked="" type="checkbox"/> Grass | <input type="checkbox"/> Pasture | <input type="checkbox"/> Crop Or Grain | <input type="checkbox"/> Orchards, vineyards, or other permanent crops | |
| Wet Soil Plants: | <input type="checkbox"/> Cattail | <input type="checkbox"/> Buttercup | <input type="checkbox"/> Bullrush | <input type="checkbox"/> Skunk Cabbage | <input type="checkbox"/> Other | |
| Water Plants: | <input type="checkbox"/> Milfoil | <input type="checkbox"/> Eelgrass | <input type="checkbox"/> Water Lily | | <input type="checkbox"/> Other | |
| <p><input checked="" type="checkbox"/> Other types of vegetation</p> | | | | | | |
| <p>b. What kind and amount of vegetation will be removed or altered?</p> <p>Most of the vegetation has been removed. Additional vegetation removal as necessary to complete the project.</p> | | | | | | |
| <p>c. List threatened or endangered species known to be on or near the site.</p> <p>None.</p> | | | | | | |
| <p>d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:</p> <p>Landscaping as required by the City.</p> | | | | | | |
| <p>e. List all noxious weeds and invasive species known to be on or near the site.</p> <p>None.</p> | | | | | | |
| <p>5. Animals</p> | | | | | | |
| <p>a. List any birds or other animals which have been observed on or near the site or are known to be on or near the site.</p> <p>Examples include:</p> <p><u>birds</u>: hawk, heron, eagle, <u>songbirds</u> other:</p> <p><u>mammals</u>: deer, bear, elk, beaver, other:</p> <p><u>fish</u>: bass, salmon, trout, herring, shellfish, other _____</p> <p>Song birds. Small mammals.</p> | | | | | | |
| <p>b. List any threatened or endangered species known to be on or near the site.</p> <p>None.</p> | | | | | | |

| B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant) | Space Reserved for Agency Comments |
|--|---|
| <p>c. Is the site part of a migration route? If so, explain. Not aware of it being in a migration route.</p> | <p>SEP 09 2022 CITY OF YAKIMA PLANNING DIV.</p> |
| <p>d. Proposed measures to preserve or enhance wildlife, if any: None.</p> | |
| <p>e. List any invasive animal species known to be on or near the site. None.</p> | |
| <p>6. Energy and Natural Resources</p> | |
| <p>a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. Electric power and natural gas for heating, lighting and other energy needs.</p> | |
| <p>b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. No.</p> | |
| <p>c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any: None.</p> | |
| <p>7. Environmental Health</p> | |
| <p>a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. No.</p> | |
| <p>1. Describe any known or possible contamination at the site from present or past uses. None known.</p> | |
| <p>2. Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity. None.</p> | |
| <p>3. Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project. Chemicals used for cleaning, maintenance and landscaping in the completed development, but nothing out of the ordinary for a typical residential or commercial land use.</p> | |
| <p>4. Describe special emergency services that might be required. None.</p> | |
| <p>5. Proposed measures to reduce or control environmental health hazards, if any: None.</p> | |
| <p>b. Noise</p> | |
| <p>1. What types of noise exist in the area, which may affect your project (for example: traffic, equipment, operation, other)? None.</p> | |

| B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant) | Space Reserved for Agency Comments | |
|---|--|--|
| <p>2. What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.</p> <p>Short term equipment noise during construction. Increased noise from traffic and use of the developed site.</p> | <p>SEP 09 2022</p> <p>CITY OF YAKIMA PLANNING DIV.</p> | |
| <p>3. Proposed measures to reduce or control noise impacts, if any:</p> <p>Construction hours limited as required by City Code.</p> | | |
| <p>8. Land and Shoreline Use</p> | | |
| <p>a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.</p> <p>The site is occupied by two single family residences. Single-family residential to the south and west. To the north and east are a large grocery store and a retail bakery / butcher shop.</p> | | |
| <p>b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?</p> <p>It may have in the past, but not recently. It does not have current use tax status. No farmland of long-term commercial significance would be converted to non-farm use.</p> <p>1. Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:</p> <p>No.</p> | | |
| <p>c. Describe any structures on the site.</p> <p>Two single family residences and a garage.</p> | | |
| <p>d. Will any structures be demolished? If so, what?</p> <p>One of the residences will be demolished or removed. If possible, it may be relocated as an addition to the garage on the site.</p> | | |
| <p>e. What is the current zoning classification of the site?</p> <p>R-2, Two Family Residential</p> | | |
| <p>f. What is the current comprehensive plan designation of the site?</p> <p>Community Mixed Use</p> | | |
| <p>g. If applicable, what is the current shoreline master program designation of the site?</p> <p>N/A.</p> | | |
| <p>h. Has any part of the site been classified as a critical area by the city or county? If so, specify.</p> <p>No.</p> | | |
| <p>i. Approximately how many people would reside or work in the completed project?</p> <p>Estimated 4 or 5 people.</p> | | |
| <p>j. Approximately how many people would the completed project displace?</p> <p>Two families.</p> | | |

| B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant) | Space Reserved for Agency Comments |
|---|------------------------------------|
| k. Proposed measures to avoid or reduce displacement impacts, if any. None proposed. | |
| l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: The proposed rezone is more consistent with the comprehensive plan. Sitescreening. | |
| m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any: No agricultural or forest lands of long-term commercial significance in the vicinity. | |
| 9. Housing | |
| a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. None | |
| b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. Two middle to low income. | |
| c. Proposed measures to reduce or control housing impacts, if any: None. | |
| 10. Aesthetics | |
| a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? Any new structures would be similar to the existing buildings, which are single story wood frame buildings. The height limitation in the B-2 zone is 35 feet. | |
| b. What views in the immediate vicinity would be altered or obstructed? The site is flat and surrounded by improved properties, so no substantial view obstruction is expected. The proposal will change the appearance of the site from mostly unimproved residential lots to parking and vehicle storage. | |
| c. Proposed measures to reduce or control aesthetic impacts, if any: Sitescreening and landscaping as required by City code. | |
| 11. Light and Glare | |
| a. What type of light or glare will the proposal produce? What time of day would it mainly occur? Lighting for security and safety during all hours of darkness. | |
| b. Could light or glare from the finished project be a safety hazard or interfere with views? No. | |
| c. What existing off-site sources of light or glare may affect your proposal? None. Surrounding commercial businesses are light sources but they would not effect the proposed use. | |
| d. Proposed measures to reduce or control light and glare impacts, if any: Lighting fixtures shielded and not directed toward surrounding property. | |
| 12. Recreation | |

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| B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant) | Space Reserved for Agency Comments |
|---|------------------------------------|
| a. What designated and informal recreational opportunities are in the immediate vicinity? Fairgrounds. | |
| b. Would the proposed project displace any existing recreational uses? If so, describe. No. | |
| c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: No expected impacts. | |
| 13. Historic and Cultural Preservation | |
| a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe. A number of buildings and features at the Central Washington Fairgrounds are eligible for listing. | |
| b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. None identified. | |
| c. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required. None. The fairgrounds are far enough away from the proposal to not be affected by it. | |
| 14. Transportation | |
| a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any. Access to the property is from both S. Fair Avenue and La Follette Street There are existing approaches to both. Access to the alley to the north is also possible. | |
| b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop? Yes. | |
| c. How many parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate? Four parking spaces and storage for up to 22 for-sale vehicles. The project replaces on-site parking used by the two residences. | |
| d. Will the proposal require any new or improvements to existing roads, streets, pedestrian bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private). None proposed. | |
| e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. No. | |

| B. ENVIRONMENTAL ELEMENTS (To be completed by the applicant) | | SEP 09 2022 | Space Reserved for Agency Comments |
|---|--|---|------------------------------------|
| <p>f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?</p> <p>Estimated 50 to 60 trips per day based on ITE trip generation rates for new car sales.</p> | | | |
| <p>g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe:</p> <p>No.</p> | | | |
| <p>h. Proposed measures to reduce or control transportation impacts, if any:</p> <p>None</p> | | | |
| 15. Public Services | | | |
| <p>a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe:</p> <p>The need for public services should not be substantially different than that planned for the growth potential in this urban location.</p> | | | |
| <p>b. Proposed measures to reduce or control direct impacts on public services, if any.</p> <p>None.</p> | | | |
| 16. Utilities | | | |
| <p>a. Circle utilities currently available at the site:</p> <p>electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other _____</p> | | | |
| <p>b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.</p> <p>Electric power by Pacific Power. Natural Gas provided by Cascade Natural Gas. Sewer and water service provided by the City of Yakima. Minor trenching or extension of overhead lines for any utility connections that are not already being provided to the site.</p> | | | |
| C. SIGNATURE (To be completed by the applicant.) | | | |
| <p>The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.</p> | | | |
| <p><i>Thomas R. Durant</i></p> <p>Property Owner or Agent Signature</p> | | <p><i>Sept 9, 2022</i></p> <p>Date Submitted</p> | |
| <p><i>Thomas R. Durant</i></p> <p>Name of Signee</p> | | <p><i>Planning Manager PLSA Surv & Engr</i></p> <p>Position and Agency/Organization</p> | |
| <p>PLEASE COMPLETE SECTION "D" ON THE NEXT PAGE</p> <p>IF THERE IS NO PROJECT RELATED TO THIS ENVIRONMENTAL REVIEW</p> | | | |

AD #024-22



Supplemental Application For:
ADMINISTRATIVE ADJUSTMENT
 YAKIMA URBAN AREA ZONING ORDINANCE, CHAPTER 15.10

PART II - APPLICATION INFORMATION

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1. TYPES OF ADMINISTRATIVE ADJUSTMENTS (✓ at least one)

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☒ SETBACKS: Front _____ Side ☒ Rear _____

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☐ SIGNS: Height _____ Size _____

☐ FENCES ☐ LOT COVERAGE ☐ SITESCREENING

☐ PARKING ☒ OTHER Adjustment of hard surfacing standard (YMC 15.06.110(A)) for part of vehicle storage area

2. AMOUNT OF ADJUSTMENT

20 feet ± 6 feet = 14 feet
 Zoning Ordinance Standard Proposed Standard Adjustment

PART III - LAND USE DESIGNATION & REQUIRED ATTACHMENTS

1. PROPOSED USE TYPE (As listed on Table 4-1 Permitted Land Uses – See YMC § 15.04.030)

Automotive Dealer New and Used Sales

2. SITE PLAN REQUIRED (Please use the attached City of Yakima Site Plan Checklist)

PART IV - WRITTEN NARRATIVE: (Please submit a written response to the following questions)

1. How would the strict enforcement of the current standard affect your project?

See attached narrative

2. How is the proposal compatible with neighboring properties? Have other adjustments been granted nearby?

See attached narrative

3. How is your proposal consistent with current zoning of your property?

See attached narrative

4. How is your proposal consistent with uses and zoning of neighboring properties?

See attached narrative

5. How is your proposal in the best interest of the community?

See attached narrative

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Written Narrative – Part IV

A. How would strict enforcement of the current standard affect your project?

Setback - Use of an existing garage is planned to support the proposed automobile sales business. The garage is located within five feet of the west property line of the site which is to become the boundary line between the commercial and adjacent R-2 zoning. The purpose of the adjustment is to allow an addition to this building to be set back six feet from the property line.

Strict enforcement of the current standard would result in the addition not being located as planned. While it would be possible to add on to the existing building in a manner that would conform to the current 20-foot setback standard, it would result in obstruction of access to part of the site rendering it unusable for the proposed land use.

Use of the existing building as proposed is presumed to be permitted as a non-conforming structure because it does not meet the setback, but not a non-conforming use. Having to relocate either the existing building or the addition to conform to the 20-foot setback results in a less efficient use of the site and hampers access. While relocating the north-south access drive to the west may be possible, it would bring internal traffic closer to the residential property line with a potentially greater impact on the residential property than allowing the building in the proposed location.

Vehicle Storage Surfacing – It is proposed that a small part of the vehicle storage area be surfaced in gravel rather than hard surfacing as required by code in order for site development to conform to the lot coverage standard of the B-2 zoning district. The area proposed for this adjustment is in the northwest corner of the site, measures 59 feet by 19 to 21 feet and has an area of 1,194.8 square feet comprising just under half of the pervious surface area of the site. It is assumed that this is preferable to adjusting the coverage standard. Strict enforcement of both the hard surfacing and lot coverage standards would reduce the area available for the proposed use.

B. How is the proposal compatible with neighboring properties? Have other adjustments been granted nearby?

Setback - The primary effect of the proposed building addition would be on the adjacent single-family residential parcel to the west. As proposed, the addition would be located behind the residence and mostly obstructed from view by the existing building. It would also be located 35 to 40 feet from the residence, which is located toward the front of the lot. This is greater than the distance a building conforming to the required setback but located closer to the front on the subject lot would be from the neighboring residence.

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Vehicle Storage Surfacing – The area proposed for gravel surfacing is small in size and located in the rear of the site and behind the buildings. Unsurfaced areas, including three-foot wide sitescreening around the perimeter of the site contributes to meeting the lot coverage standard. These measures are intended to minimize the size of the gravel surfaced area and reduce any adverse effects gravel surfacing may have on neighboring properties.

We are not aware of any adjustments having been granted nearby.

C. How is your proposal consistent with current zoning of your property?

Setback -The higher setback standard is required on B-2 zoned property where it borders property with residential zoning. Otherwise, there would be no required side setback. In the commercial districts, building setbacks provide visual clearance along streets and areas for sitescreening and landscaping. (YMC 15.05.020(D)). The adjustment would be consistent with this intent of building setbacks in the B-2 zone because there is enough room for sitescreening and it is consistent with the side setback normally allowed in both residential and commercial zoning districts from property lines that are not on a street.

Vehicle Storage Surfacing – This proposed adjustment is consistent with B-2 zoning of the property because it brings it into compliance with the 80% lot coverage standard. Other zoning districts in which automobile sales is a permitted use (SCC, LCC, CBD, GC, RD, M-1) have higher lot coverage standards more consistent with the typical use.

One of the stated purposes of the zoning ordinance parking standards is to reduce the visual impact of parking lots (YMC 15.06.010). YMC 15.06.110(A) also states that requiring pavement is necessary to eliminate dust or mud. The proposed adjustment accomplishes these purposes by minimizing the area proposed for gravel surfacing and locating it where it would not be substantially noticeable from surrounding properties. It is in a part of the site with light traffic and not substantially used by the public so generation of dust and mud should be minimal.

Maximum lot coverage requirements in the commercial districts are intended to promote development consistent with the character of the district, protect setbacks, and provide the opportunity to integrate open space and landscaping plans into the design and placement of the structure and off-street parking (YMC 15.05.020(C)). Landscape areas and landscape strips are proposed on the site plan to provide for pervious areas and address these intents on the site. But in part due to the size and shape of the property and the orientation of existing buildings, additional pervious surface is still necessary to bring the lot coverage down to 80 percent. Providing for a small gravel surfaced area is proposed to accomplish this.

D. How is your proposal consistent with uses and zoning of neighboring properties?

Setback -In the residential districts, structure setbacks are intended to provide privacy, light, air and emergency access (YMC 15.05.020(D)). The higher setback required from a residential zone is undoubtedly intended to do this. There is no effect on emergency access in this location, and the proposal is consistent with providing privacy, light and air because of the

small scale of the existing building and proposed addition and as stated previously, its location from the existing residence on the adjacent property is actually greater than the 20-foot standard. The addition is proposed to align with the front (east wall) of the existing building rather than the rear wall to maximize the distance from the lot line while not encroaching on the access drive. The position of the addition relative to the existing residence mostly obscures it from view and vice versa.

Vehicle Storage Surfacing – The small area and less visible location reduces the potential for impact on surrounding residential areas. Lower lot coverage (more pervious areas) is somewhat more consistent with the standards of the neighboring R-2 zoning district.

E. How is your proposal in the best interest of the community?

The proposal will allow a use of this site that is consistent with the zoning and due to the configuration of adjacent land uses and physical features provides for the characteristics intended by the setback and surfacing standards even though the actual standards are being modified. The setback adjustment permits flexibility in the design and placement of structures and other site improvements and by aligning the addition with the front of the existing building, it is the minimum necessary to accommodate the proposed improvement. The surfacing adjustment standard permits flexibility in the design and placement of site improvements and because it, with the provision of other pervious surfaces brings lot coverage down to the required maximum, it is the minimum necessary to accommodate the proposed improvement.

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LAND USE APPLICATION

CITY OF YAKIMA, DEPARTMENT OF COMMUNITY DEVELOPMENT

129 NORTH SECOND STREET, 2ND FLOOR, YAKIMA, WA 98901

PHONE: (509) 575-6183 EMAIL: ask.planning@yakimawa.gov

INSTRUCTIONS - PLEASE READ FIRST AND ANSWER ALL QUESTIONS COMPLETELY.

If you have any questions about this form or the application process, please ask to speak with a planner. All necessary attachments and the filing fee are required upon submittal. Filing fees are not refundable. This application consists of four parts. PART I - GENERAL INFORMATION AND PART V - CERTIFICATION are on this page. PART II, III, and IV contain additional information specific to your proposal and MUST be attached to this page to complete the application.

PART I - GENERAL INFORMATION

| | | | | | | | | |
|--|------------------|--------------------------------|--------------------------------|------------------------------------|---|----------------|--------|----------------|
| 1. Applicant's Information: | Name: | Rosa Harati | | | | | | |
| | Mailing Address: | PO Box 1109 | | | | | | |
| | City: | Manhattan Beach | St: | CA | Zip: | 90267 | Phone: | (509) 907-2077 |
| | E-Mail: | | | | | | | |
| 2. Applicant's Interest in Property: | Check One: | <input type="checkbox"/> Owner | <input type="checkbox"/> Agent | <input type="checkbox"/> Purchaser | <input checked="" type="checkbox"/> Other | Business Owner | | |
| 3. Property Owner's Information (If other than Applicant): | Name: | Sarah Harati | | | | | | |
| | Mailing Address: | same | | | | | | |
| | City: | | St: | | Zip: | | Phone: | () |
| | E-Mail: | | | | | | | |

4. Subject Property's Assessor's Parcel Number(s): 191330-41485 & 41486

5. Legal Description of Property. (if lengthy, please attach it on a separate document)

Lots 23 & 24, Korth's Fairview Addition, Volume 'C' of Plats, Page 17

6. Property Address: 1406 S. Fair Ave / 909 LaFollette Street

7. Property's Existing Zoning:

☐ SR ☐ R-1 ☒ R-2 ☐ R-3 ☐ B-1 ☐ B-2 ☐ HB ☐ SCC ☐ LCC ☐ CBD ☐ GC ☐ AS ☐ RD ☐ M-1 ☐ M-2

8. Type Of Application: (Check All That Apply)

- ☒ Type (2) Review ☒ Administrative Adjustment ☒ Environmental Checklist (SEPA Review)
☐ Transportation Concurrency ☐ Critical Areas Review ☐ Other: _____
☒ Master Application
(select if submitting two or more applications under Title 15)

PART II - LAND USE DESIGNATION (See attached page)

PART III - ATTACHMENTS INFORMATION (See attached page)

PART IV - WRITTEN NARRATIVE (See attached page)

PART V - CERTIFICATION

I certify that the information on this application and the required attachments are true and correct to the best of my knowledge.

Sarah Harati
Property Owner's Signature08/10/2022
DateRosa Harati
Applicant's Signature8-10-22
Date

CR-22-002861

FILE/APPLICATION(S)#

CL2#025-22

DATE FEE PAID:

9/9/22

RECEIVED BY:

A. Frith

AMOUNT PAID:

0.00

RECEIPT NO:

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Supplemental Application For:

TYPE (2) REVIEW

YAKIMA URBAN AREA ZONING ORDINANCE, CHAPTER 15.14

PART II – LAND USE DESIGNATION AS LISTED ON TABLE 4-1 PERMITTED LAND USES

1. PROPOSED LAND USE TYPE: (See YMC § 15.04.030)

Automotive Dealer New and Used Sales

PART III - ATTACHMENTS INFORMATION

2. SITE PLAN REQUIRED (Please use the City of Yakima Site Plan Checklist, attached)

3. TRAFFIC CONCURRENCY (if required, see YMC Ch. 12.08, Traffic Capacity Test)

4. ENVIRONMENTAL CHECKLIST (if required by the Washington State Environmental Policy Act)

PART IV - WRITTEN NARRATIVE: (Please submit a written response to the following questions)

A. Fully describe the proposed development, including number of dwelling units and parking spaces. If the proposal is for a business, describe hours of operation, days per week and all other relevant information related the business.

See Attached Narrative

B. How is the proposal compatible to neighboring properties?

See Attached Narrative

C. What mitigation measures are proposed to promote compatibility?

See Attached Narrative

D. How is your proposal consistent with current zoning of your property?

See Attached Narrative

E. How is your proposal consistent with uses and zoning of neighboring properties?

See Attached Narrative

F. How is your proposal in the best interest of the community?

See Attached Narrative

DOC.

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|---------------------------------|--------------------------------|
| CITY OF YAKIMA | |
| CODE ADMIN. DIVISION | |
| SEP 09 2022 | |
| <input type="checkbox"/> REC'VD | <input type="checkbox"/> FAXED |
| <input type="checkbox"/> PAID | <input type="checkbox"/> FYI |

Written Narrative – Part IV

- A. Fully describe the proposed development including number of dwelling units and parking spaces. If the proposal is for a business, describe hours of operation, days per week, and all other relevant information related the business:**

Proposed is an automobile sales business consisting of a lot with 22 for-sale vehicle spaces and two buildings for the sales office and related activities including financing, insurance, sale of tools and maintenance. Four dedicated parking spaces are proposed exceeding the parking required based on retail vehicle sales taking place in less than 1,000 square feet of these buildings. There is no show room. Business operations are expected to occur seven days per week. It is possible that some parts of the buildings could be leased to other small businesses. Given the limited amount of space these would be small in scale and would be expected to require no more parking than for their use associated with automobile sales.

Other than the four required parking spaces, all of the spaces on the site are for storage of vehicles that are part of the business inventory. They are not considered vehicle storage as that term is defined by the zoning ordinance, but they are also not the same as off-street parking. They are not counted toward the minimum parking standard for the use under Table 6-1 and they do not meet the general provision of YMC 15.06.030(B) because they are not for use by customers, patrons or employees and they are being used for the storage and sale of vehicles.

The vehicle spaces otherwise conform to the standards of YMC 15.06 except that a small area of the lot is proposed to be surfaced with gravel and for which an administrative adjustment application has been made. The other potential nonconformity is the manner in which several of the spaces are oriented, end to end with one vehicle space directly behind the other. This is proposed to provide for additional vehicle spaces and as business inventory, access to individual vehicles can be managed by company staff. This approach is used in other vehicle sales lots. The only zoning ordinance provision that appears to apply directly to this is YMC 15.06.050(D) for tandem parking spaces having a single means of ingress and egress, but the code provision doesn't prohibit them, it just doesn't allow them to be counted toward the required number of parking spaces, which in this instance, they are not.

- B. How is the proposal compatible to neighboring properties?**

The site consists of the two parcels totaling about one third acre at the corner of S. Fair Avenue, a minor arterial street and La Follette Street. Neighboring properties to the north and east are developed with commercial land uses including a major grocery store and shopping center across Fair Avenue to the east. No compatibility issues are expected with these land

uses. To the south and west are single family residences with which the proposed land use is less consistent. However, the entire area is characterized by mixed residential and commercial land use. Traffic on LaFollette Street, if presumed to be a residential street that serves this neighborhood, already passes through a commercial area at the west end of the street.

C. What mitigation measures are proposed to promote compatibility?

Sitescreening will be provided along the property lines. With a location at the corner of the residential street and an arterial, there should be no incentive for most traffic generated by the proposed land use to drive through the residential neighborhood. The proposed administrative adjustment to reduce the required side setback from 20 to 6 feet is the expansion of an existing building with the new addition located some distance away and behind the residence on the existing parcel and partially shielded by the existing building.

D. How is your proposal consistent with current zoning of your property?

The Local Business zoning district is intended to provide areas for commercial activities that meet the small retail shopping and service needs of the community and accommodate small-scale commercial uses that need a higher level of visibility and easy access to major arterials. Characteristic land uses include small retail sales and service establishments. (YMC 15.03.020 (F)).

The proposed commercial use is consistent with these criteria, especially because it is small in scale, needs higher visibility and easy access to major arterials and provides for retail and service needs of the community. The location on Fair Avenue, a minor arterial, just south of Nob Hill Boulevard, a major arterial, provides access and visibility.

The proposed land use is consistent with the B-2 zoning of the site and is no more inconsistent with neighboring residential land uses than other land uses permitted in the B-2 zone. Sitescreening is proposed, lot coverage and other standards are being met while the setback reduction being proposed is expected to have less impact for reasons already stated.

E. How is your proposal consistent with uses and zoning of neighboring properties?

Property to the east and north is zoned General Commercial, a higher intensity commercial zoning district, so the use of the site provides a transition, and the small size of the site limits the scale to less than many land uses permitted in the B-2 zoning district such as the grocery store to the east. Consistency with the residential use to the south and west is being enhanced by fencing and sitescreening. In general, the surrounding area is characterized by a mixture of residential, commercial and industrial land uses with residential areas interspersed and surrounded by the higher intensity areas. From that standpoint, the proposal is consistent with the character of the surrounding area as well as the zoning.

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CITY OF YAKIMA
PLANNING DIV

F. How is your proposal in the best interest of the community?

The proposal is for a commercial business on a site designated for future commercial use. It fronts on an arterial street in the immediate vicinity of its intersection with a major arterial. This location provides visibility and access and is not ideal for residential use.

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CITY OF YAKIMA
PLANNING DIV.



LAND USE APPLICATION

CITY OF YAKIMA, DEPARTMENT OF COMMUNITY DEVELOPMENT
129 NORTH SECOND STREET, 2ND FLOOR, YAKIMA, WA 98901
PHONE: (509) 575-6183 EMAIL: ask.planning@yakimawa.gov

INSTRUCTIONS - PLEASE READ FIRST

Please type or print your answers clearly.
Answer all questions completely. If you have any questions about this form or the application process, please ask a Planner. Remember to bring all necessary attachments and the required filing fee when the application is submitted. The Planning Division cannot accept an application unless it is complete and the filing fee paid. Filing fees are not refundable.
This application consists of four parts. PART I - GENERAL INFORMATION AND PART IV - CERTIFICATION are on this page. PART II and III contain additional information specific to your proposal and MUST be attached to this page to complete the application.

PART I - GENERAL INFORMATION

| | | | | | | | | |
|--|------------------|--|-----|----|------|-------|--------|----------------|
| 1. Applicant's Information: | Name: | Rosa Harati | | | | | | |
| | Mailing Address: | PO Box 1109 | | | | | | |
| | City: | Manhattan Beach | St: | CA | Zip: | 90267 | Phone: | (509) 907-2077 |
| | E-Mail: | | | | | | | |
| 2. Applicant's Interest in Property: | Check One: | <input type="checkbox"/> Owner <input type="checkbox"/> Agent <input type="checkbox"/> Purchaser <input checked="" type="checkbox"/> Other <u>Business Owner</u> | | | | | | |
| | | | | | | | | |
| 3. Property Owner's Information (If other than Applicant): | Name: | Sarah Harati | | | | | | |
| | Mailing Address: | same as applicant | | | | | | |
| | City: | | St: | | Zip: | | Phone: | () |
| | E-Mail: | | | | | | | |

4. Subject Property's Assessor's Parcel Number(s): **191330-41485 & 41486**

5. Legal Description of Property. (if lengthy, please attach it on a separate document)

Lots 23 & 24, Korth's Fairview Addition, Volume 'C' of Plats, Page 17

6. Property Address: **1406 S. Fair Ave / 909 LaFollette Street**

7. Property's Existing Zoning:

☐ SR ☐ R-1 ☒ R-2 ☐ R-3 ☐ B-1 ☐ B-2 ☐ HB ☐ SCC ☐ LCC ☐ CBD ☐ GC ☐ AS ☐ RD ☐ M-1 ☐ M-2

8. Type Of Application: (Check All That Apply)

☒ Rezone ☐ Comprehensive Plan Text or Map Amendment ☒ Environmental Checklist (SEPA Review)
☐ Transportation Concurrency ☒ Master Application (select if submitting two or more applications under Title 15) ☒ Other: Type 2 Review

PART II - SUPPLEMENTAL APPLICATION, PART III - REQUIRED ATTACHMENTS, & PART IV - NARRATIVE

SEE ATTACHED SHEETS

PART V - CERTIFICATION

I certify that the information on this application and the required attachments are true and correct to the best of my knowledge.

Sarah Harati
Property Owner's Signature

08/10/2022
Date

Rosa Harati
Applicant's Signature

8-10-22
Date

FILE/APPLICATION(S)#

RZ#001-22

CR-22-00280

DATE FEE PAID:

9/9/22

RECEIVED BY:

A. Firth

AMOUNT PAID:

1610.00

RECEIPT NO:

1610.00



Supplemental Application For:
REZONES
YAKIMA MUNICIPAL CODE CHAPTER 15.23

PART II - APPLICATION INFORMATION

1. EXISTING ZONING OF SUBJECT PROPERTY:

☐ SR ☐ R-1 ☒ R-2 ☐ R-3 ☐ B-1 ☐ B-2 ☐ HB ☐ SCC ☐ LCC ☐ CBD ☐ GC ☐ AS ☐ RD ☐ M-1 ☐ M-2

2. DESIRED ZONING OF SUBJECT PROPERTY:

☐ SR ☐ R-1 ☐ R-2 ☐ R-3 ☐ B-1 ☒ B-2 ☐ HB ☐ SCC ☐ LCC ☐ CBD ☐ GC ☐ AS ☐ RD ☐ M-1 ☐ M-2

3. ZONING OF ADJOINING PROPERTY (check all that apply):

☐ SR ☐ R-1 ☒ R-2 ☐ R-3 ☐ B-1 ☐ B-2 ☐ HB ☐ SCC ☐ LCC ☐ CBD ☒ GC ☐ AS ☐ RD ☐ M-1 ☐ M-2

4. EXISTING FUTURE LAND USE DESIGNATION:

☐ Low Density Residential ☐ Mixed Residential ☒ Community Mixed-Use ☐ Commercial Mixed-Use
☐ CBD Commercial Core ☐ Regional Commercial ☐ Industrial

5. PROPOSED FUTURE LAND USE DESIGNATION:

Is there a proposed change to the Future Land Use Map? **No.**

If so what is the proposed future land use designation?

☐ Low Density Residential ☐ Mixed Residential ☐ Community Mixed-Use ☐ Commercial Mixed-Use
☐ CBD Commercial Core ☐ Regional Commercial ☐ Industrial

6. PUBLIC FACILITIES AND SERVICES AVAILABLE:

☒ Transportation ☒ Rights-Of-Way ☒ Police And Fire Protection ☐ Parks And Trails ☐ Schools ☒ Water
☒ Sewer ☒ Storm Drainage ☒ Electricity ☒ Natural Gas ☒ Telephone ☒ Cable TV

PART III - REQUIRED ATTACHMENTS

1. WRITTEN NARRATIVE (see attached form)

2. ENVIRONMENTAL CHECKLIST (attached)

3. TRAFFIC CONCURRENCY (may be required)

4. SITE PLAN OR CONCEPTUAL SITE PLAN

A site plan is required if a land use development is proposed. If no land use development is proposed, a non-binding conceptual site plan is required and shall show potential future use of the property per YMC § 15.23.030 (B).

5. AUTHORIZATION:

I hereby authorize the submittal of this Rezone or Text Amendment Application to the City of Yakima for review.

Sarah Harant
Property Owner Signature (required)

08/10/2022
Date

Note: if you have any questions about this process, please contact us City of Yakima, Planning Division, 129 N. 2nd St., Yakima, WA or 509-575-6183

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Supplemental Application For:

REZONES

YAKIMA MUNICIPAL CODE CHAPTER 15.23

☐ REC'DFAXED ☐☐ PAIDFYI ☐**PART IV – NARRATIVE (SUBMIT ANSWERS ON SEPARATE SHEET OF PAPER IF NEEDED)**

A. How is the subject property suitable for uses permitted under the proposed zoning?

See attached

What is the status of existing land use?

See attached

B. How is the rezone request in compliance with and/or how does the request deviate from the Yakima Urban Area Comprehensive Plan?

See attached

C. Are there adequate public facilities, such as traffic capacity, sewer services, potable water, stormwater drainage, schools, fire and police services, and other public services and infrastructure existing on and around the subject property?

See attached

Are the existing public facilities capable of supporting the most intensive use of the new (requested) zone? If not, what mitigating measures are going to be implemented to address any short falls in public services that may exist?

See attached

D. How is the proposed zone change compatible with the existing neighboring uses?

See attached

What mitigating measures are planned to address incompatibility, such as sitescreening, buffering building design, open space traffic flow alteration, etc.?

See attached

E. What is the public need for the proposed change?

See attached

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CITY OF YAKIMA
PLANNING DIV.**Narrative**

This is an application to change the zoning of two parcels totaling about one-third of an acre at the corner of S. Fair Avenue and La Follette Street from Two-Family Residential (R-2) to Local Business (B-2). The property has a future land use map designation of Community Mixed Use with which the proposed zoning is consistent.

A. How is the subject property suitable for uses permitted under the proposed zoning?

The property is flat and has frontage on and access to improved City streets and a range of utilities. It is located on Fair Avenue, a minor arterial street about 150 feet south of Nob Hill Boulevard, a principal arterial street.

What is the status of existing land use?

The site is now occupied by two single family residences and an accessory garage.

B. How is the rezone request in compliance with and/or how does the request deviate from the Yakima Urban Area Comprehensive Plan?

The proposed zoning is an implementing zoning district of the Community Mixed Use Future Land Use designation as shown by the Table identified as Exhibit 2.2 in the comprehensive plan and is consistent with the designation for that reason. The current R-2 zoning is not consistent with the future land use designation according to this table. The site is bordered by property to the north and east in commercial use, zoned General Commercial and with a Commercial Mixed Use Future Land Use designation. It conforms to the locational criteria of Plan Policy 2.2.3 because of its location on an arterial street and in an area that transitions between residential uses and downtown or other mixed-use centers.

C. Are there adequate public facilities, such as traffic capacity, sewer services, potable water, stormwater drainage, schools, fire and police services and infrastructure existing on and around the subject property?

Utilities available to the site include water lines in both S. Fair Avenue and La Follette Street and a sewer line in S. Fair Avenue. A fire hydrant is located adjacent to the site at the corner of Fair and La Follette. Natural gas is also available to the site and police and emergency services are available.

Are the existing public facilities capable of supporting the most intensive use of the new (requested) zone? If not, what mitigating measures are going to be implemented to address any short falls in public services that may exist?

The small size of these two parcels makes the most intensive uses of the B-2 zone such as a large store or a school unlikely. It should be possible for relatively higher intensity commercial, residential or mixed-use development appropriate to the size and shape of the site to be supported by the public facilities that are available at this location. The proposed automobile

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CITY OF YAKIMA
PLANNING DIV

sales use of the site can be accommodated. This land use does not have high demand for domestic sewer and water or other services. While it is not a high traffic generator, location of approaches and on-site vehicle storage that eliminate the need for on-street parking should reduce traffic concerns.

D. How is the proposed zone change compatible with the existing neighboring uses?

Commercial use and zoning are consistent with and compatible with similar commercial land uses to the north and east. SITESCREENING consisting of view obscuring fencing is proposed along the west property line adjacent to residential use and zoning.

What mitigating measures are planned to address incompatibility, such as sitescreening, buffering, building design, open space traffic flow alteration, etc?

SITESCREENING described above, landscape strips on the south and east property lines adjacent to Fair Avenue and La Follette Street, the relatively small size of the site and its location as a transition between residential and commercial land uses.

E. What is the public need for the proposed change?

Consistency with the future land use designation of the property and the inconsistency of the current zoning. The public need that was established for the recent designation of this property as Community Mixed Use. This change in the future land use designation would also be the changed circumstances for the proposed rezoning.

EXHIBIT LIST

[illegible]


CITY OF YAKIMA, PLANNING DIVISION

LETTER OF TRANSMITTAL

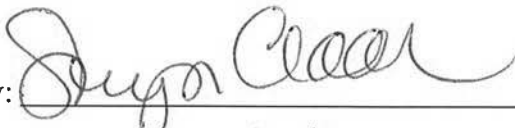
I, Eva Rivera, as an employee of the City of Yakima, Planning Division, have transmitted to: Sonya Claar Tee, City Clerk, by hand delivery, the following documents:

1. Mailing labels for ROSA HARATI/ SARAH HARATI including labels for SEPA Reviewing Agencies.
2. E-mail distribution lists for In-House, SEPA Reviewing Agencies, Local Media, and Interested Parties and Parties of Record.
3. Site Plan and Vicinity Map

Signed this 26th day of January 2023.



Eva Rivera
Planning Technician

Received By: 

Date: 1-26-23

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18132421604
CENTRAL WA COMP MENTAL HEAL
PO BOX 959
YAKIMA, WA 98907

18131333097
FAIRBANKS YAKIMA LLC
PO BOX 808
FALL CITY, WA 98024

19133041465
FATHER & SON INVESTMENT LLC
1301 W GRANDVIEW AVE
SUNNYSIDE, WA 98944

19133041466
FATHER & SON INVESTMENT LLC
1301 W GRANDVIEW AVE
SUNNYSIDE, WA 98944

19132932503
GAYLORD PROPERTY INVESTMENTS
LLC
115 S 10TH AVE
PASCO, WA 99301

18131333102
JMJG INVESTMENTS
PO BOX 1434
YAKIMA, WA 98907

18131333101
PLSVCS LLC
PO BOX 8066
YAKIMA, WA 98908

19133041470
TRACK ROAD LLC
PO BOX 22680
YAKIMA, WA 98907

19133014572
WITHROW ENTERPRISES LIMITED
PARTNERSHIP
PO BOX 430
SELAH, WA 98942

19133014573
WITHROW ENTERPRISES LIMITED
PARTNERSHIP
PO BOX 430
SELAH, WA 98942

19132921007
YAKIMA COUNTY COMMISSIONERS
128 N 2ND ST #232
YAKIMA, WA 98901

18132422531
ANDREW HARDING
529 W COLUMBIA DR
KENNEWICK, WA 99336

18131333410
ANTONIA J VALENZUELA
1410 JEROME AVE
YAKIMA, WA 98902

18131333109
ARMANDO G MONTOYA
1401 FAIRBANKS AVE
YAKIMA, WA 98902

18132421605
BENJAMIN LUA GRANADOS
1318 CHERRY AVE
YAKIMA, WA 98902

18131333088
BONIFACIO MUNGUIA ALCALA
1415 CHERRY AVE
YAKIMA, WA 98902

19133041006
CANDIDO ROSAS
1420 FAIR AVE
YAKIMA, WA 98901

19133041482
CELEDONIO VALENCIA
903 LA FOLLETT ST
YAKIMA, WA 98901

18131333404
CIRO PEREZ & MARIA ELENA RAMIREZ
1417 FAIRBANKS AVE
YAKIMA, WA 98902

18131333403
CONSUELO MENDOZA MEJIA
1413 FAIRBANKS AVE
YAKIMA, WA 98902

18131333091
CRISANTA M MARTINEZ DELGADO
1411 CHERRY AVE
YAKIMA, WA 98902

18131333099
DAVID CALDERON
1404 FAIRBANKS AVE
YAKIMA, WA 98902

18131333108
ELIAS & ELIZABETH MUNGUIA
1407 FAIRBANKS AVE
YAKIMA, WA 98902

19133041505
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904 E NOB HILL BLVD
YAKIMA, WA 98901

18131333107
ERIK GRAY
232 SADDLE BROOK CT
YAKIMA, WA 98908

18131333100
ESPERANZA MORALES
1406 FAIRBANKS AVE
YAKIMA, WA 98902

18131334460
FIDELINA VELASCO
1312 FAIRBANKS AVE
YAKIMA, WA 98902

18131333409
FLORA HERRERA
1412 JEROME AVE
YAKIMA, WA 98902

18132422587
FRANCISCO MUNGUIA
333 TRACK RD
COWICHE, WA 98923

19133041008
GEORGE A & ROSEMARY JUAREZ
909 WILSON LN
YAKIMA, WA 98901

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19133041001
GILBERTO ARROYO
PO BOX 505
WAPATO, WA 98951

19133041005
GILBERTO ARROYO
105 N CENTRAL AVENUE
WAPATO, WA 98951

18131333114
GLORIA SANCHEZ PEREZ
1402 JEROME AVE
YAKIMA, WA 98902

18132422527
GORDON E & BARBARA A BECKER
1412 CHERRY AVE
YAKIMA, WA 98902

18132422529
GREGORY J & CHRISTIE A BROWN
4006 MOUNTAINVIEW AVE
YAKIMA, WA 98901

18132422525
GUADALUPE SANCHEZ
1416 CHERRY AVE
YAKIMA, WA 98902

18131333113
GUSTAVO MARTINEZ
6902 OCCIDENTAL RD
YAKIMA, WA 98908

18131333407
ISBET VILLA
1416 JEROME AVE
YAKIMA, WA 98902

18132422524
JACK GRACIC
1418 CHERRY AVE
YAKIMA, WA 98902

18131334455
JAY L & KENDRA L GLENN
1375 CINNAMON RIDGE WAY
PROVO, UT 84606

18131334456
JAY L & KENDRA L GLENN
1375 CINNAMON RIDGE WAY
PROVO, UT 84606

18131333093
JEANNETTE MARTIN
5808 SUMMITVIEW AVE STE A PMB 403
YAKIMA, WA 98908

18131334459
JEFF TYREE
6257-40TH AVE NE
SEATTLE, WA 98115

18131334474
JESUS & AMALIA FLORES
1317 LANDON AVE
YAKIMA, WA 98902

18131333112
JESUS & OTILIA MACIEL
1319 FAIRBANKS AVE
YAKIMA, WA 98902

18131333092
JOEL & CLAUDIA ABUNDIZ
1409 CHERRY AVE
YAKIMA, WA 98902

19133041002
JORGE L SANDOVAL
815 LAFOLLETTE ST
YAKIMA, WA 98901

19133041009
JOSE C & ROSEMARY NUNEZ
10222 MIERAS RD
YAKIMA, WA 98901

19133041010
JOSE LUIS & ROSALBA ONTIVEROS
FRIAS
1524 FAIR AVE #43
YAKIMA, WA 98901

18131333400
LINDA & ROY JOHNSON
1409 FAIRBANKS AVE
YAKIMA, WA 98902

18131333401
LLOYD A & JULIA KOCH
1409 1/2 FAIRBANKS AVE
YAKIMA, WA 98902

18131333105
LUCILA RAMOS
1414 FAIRBANKS AVE
YAKIMA, WA 98902

18131333089
LUCIO DELEON SANCHEZ
1413 CHERRY AVE
YAKIMA, WA 98902

18131333118
LUIS RIVERA CARDENAS
1412 FAIRBANKS AVE
YAKIMA, WA 98902

18131334458
LUIS MACIEL-RIOS
1316 FAIRBANKS AVE
YAKIMA, WA 98902

18131333090
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1411 CHERRY AVE
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18132422526
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19133041480
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18131333115
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1404 JEROME AVE
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18131333106
MARIA V MUNGUIA
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18131333402
MARICRUZ ARREDONDO
PO BOX 11470
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18132422530
MARIO ALBERTO RAMIREZ
1406 CHERRY AVE
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18132422528
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18131333098
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19133041481
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19133041007
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18131333111
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18131333116
OSCAR C & ANA CLAUDIA NUNEZ
1406 JEROME AVE
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19133041504
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18131333096
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11419 SE 253RD PL
KENT, WA 98030

18131334457
RAMON & ALONDRA MORA
11419 SE 253RD PL
KENT, WA 98030

18131333094
RUFINO C & PETRA ZAMORA
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19133014462
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19133014463
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MANHATTAN BEACH, CA 90267

18131334471
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18131334569
SERGIO A & ESPERNAZA LOPEZ
1313 1/2 FAIRBANKS AVE
YAKIMA, WA 98902

18131333117
SONYA ORTIZ
1408 JEROME AVE
YAKIMA, WA 98902

18131333405
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615 LEWIS ST
YAKIMA, WA 98902

19133041483
UZIEL ESTRADA
818 N 6TH ST
YAKIMA, WA 98901

19133041484
UZIEL ESTRADA
818 N 6TH ST
YAKIMA, WA 98901

18131333095
VERN D & PHYLLIS J MUSGROVE
424 N 30TH AVE
YAKIMA, WA 98902

19133041003
WILLIAM GENE SCRIBNER
812 LA FOLLETT ST
YAKIMA, WA 98901

18131333408
WILLIAM J LYNCH
5511 GLACIER WAY
YAKIMA, WA 98908

85
Total Parcels - ROSA HARATI/ SARAH
HARATI - RZ#001-22, CL2#025-22,
ADJ#024-22, SEPA#017-22

ROSA HARATI
PO BOX 1109
MANHATTAN BEACH, CA 90267

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Nte of CC Hearing
RZ#001-22, CL2#025-22, ADJ#024-22
SEPA#017-22
Date of Hearing 03/07/2023

Ahtanum Irrigation District
Beth Ann Brulotte
10705-B Gilbert Road
Yakima, WA 98903-9203
bethb@ahtanum.net

Cascade Natural Gas
8113 W Grandridge Blvd
Kennewick, WA 99336

Century Link
8 South 2nd Ave, Rm#304
Yakima, WA 98902

Charter Communications
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SEPA REVIEWING AGENCIES
_UPDATED 12/07/2022

Type of Notice: NTA of City Council Hearing
File Number: P2#001-22, CL2#625-22, ADJ#024-22, SEPA#0722
Date of Mailing: 03/07/2023
Hearing

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| Mike Shane | Water/Irrigation | Mike.Shane@yakimawa.gov |

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| Name | Address | Notified? |
| (Subdivision notices ONLY) Pacific Power Attn: Estimating Department | 500 N Keys Rd, Yakima, WA 98901 | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| (Projects Adjacent to BNSF Right of Way ONLY) Central Washington Railroad | 111 University Parkway, Suite 200 Yakima, WA 98901 (509) 453-9166 Tim Marshall, General Manager, tmarshall@cbrr.com Kim Yeager, Real Estate Manager, kyeager@ihdlc.com | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> E-mail |
| (Shoreline notices ONLY) Department of Ecology | crosepa@ecy.wa.gov | <input type="checkbox"/> E-mail |

| Additional Parties of Record or Interested Parties Notified | | |
|---|---|--------|
| Name | Address | E-mail |
| Tom Durant | 521 N. 20th Ave, Suite 3, Yakima WA 98902 | |
| Sylus Selberg | 521 N. 20th Ave, Suite 3, Yakima WA 98902 | |
| Sarah Harati | 410 N. 8th St. Yakima, WA 98901 | |

Type of Notice: Nto of City Council Hearing
File Number(s): RZ# 001-22, CL# 025-22, ADJ# 024-22, SEPA# 017-22
Date of Mailing: hearing 03/07/2023

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RECEIVED

SEP 09 2022

CITY OF YAKIMA
PLANNING DIV.

PARKING:

22 SALES INVENTORY SPACES
3 CUSTOMER/EMPLOYEE SPACES
1 ADA ACCESSIBLE SPACES

TOTAL = 26

LEGEND:

EOP = EDGE OF PAVEMENT SURFACING
EOG = EDGE OF GRAVEL SURFACING
= GRAVEL SURFACING

LOT COVERAGE

TOTAL AREA:

13,833 SQ FT

PROPOSED & EXISTING ASPHALT &
CONCRETE SURFACES:

9,560 SQ FT

PROPOSED & EXISTING BUILDINGS:

1,356 SQ FT

TOTAL IMPERVIOUS SURFACES:

11,116 SQ FT

80% LOT COVERAGE



20 0 20 FEET
SCALE: 1" = 20'

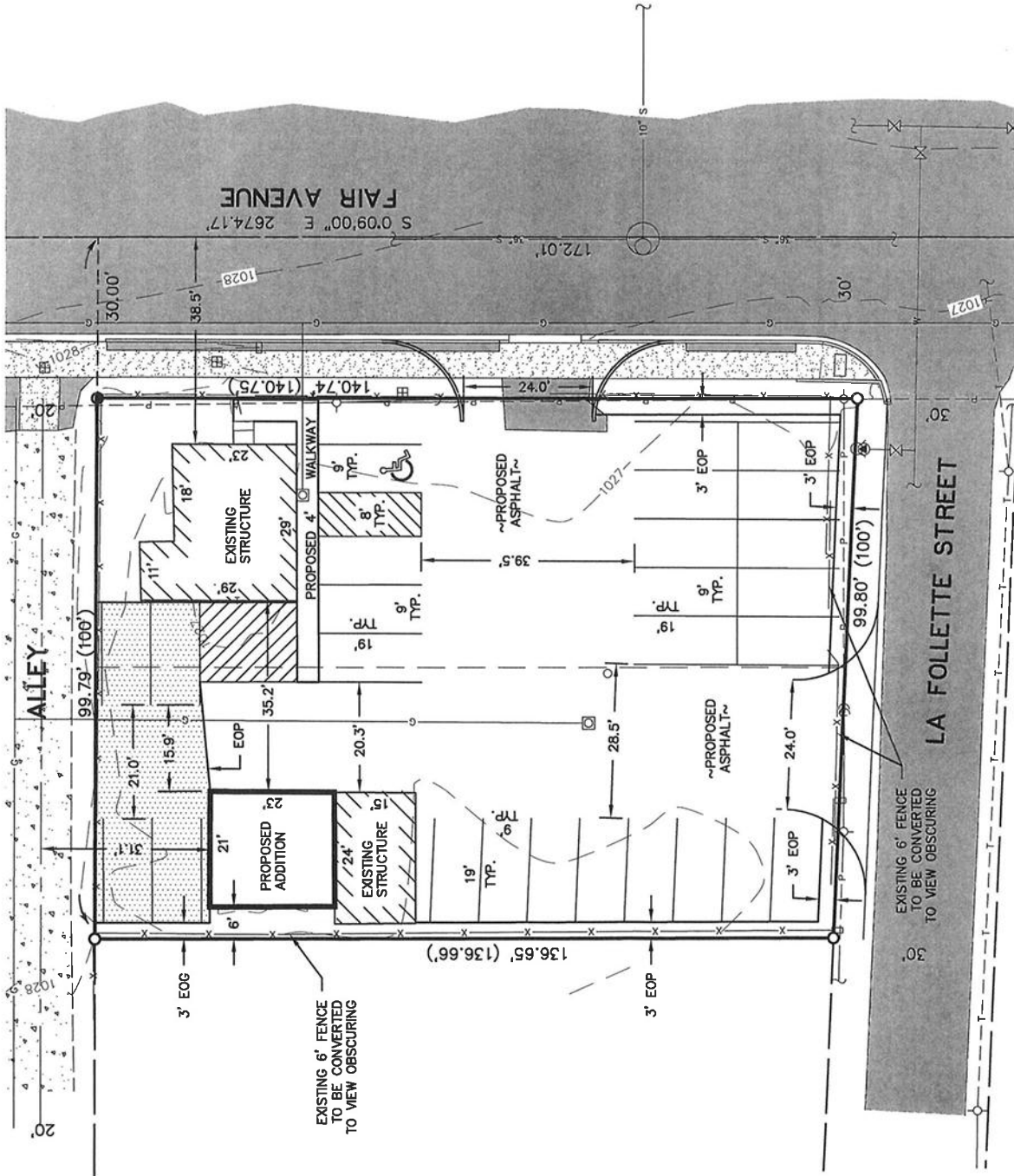
CONCEPTUAL SITE PLAN

PREPARED FOR
ROSA HARATI

1406 S. FAIR AVENUE, YAKIMA, WA

PLSA ENGINEERING & SURVEYING
JOB NO. 21238
AUGUST 4, 2022

SHEET
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Project Name: ROSA HARATI/ SARAH HARATI

Site Address: 909 LA FOLLETTE ST/ 1406 S FAIR AVE

File Number(s): RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22

Proposal: Proposal to rezone two lots from R-2 to B-2, to establish a automobile dealership, an administrative adjustment to the side setback from 20ft to 6ft, and an adjustment to the parking/vehicle standard from hard-surfacing to gravel.



VICINITY MAP



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Map Disclaimer: Information shown on this map is for planning and illustration purposes only. The City of Yakima assumes no liability for any errors, omissions, or inaccuracies in the information provided or for any action taken, or action not taken by the user in reliance upon any maps or information provided herein.

Date Created: 9/12/2022



Rivera, Eva

From: Rivera, Eva
Sent: Thursday, January 26, 2023 9:01 AM
To: Claar Tee, Sonya
Subject: Mailing for City Council Hearing - Rosa Harati/Sarah Harati - RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22
Attachments: Local Media List _01.20.2023; In-House Distribution E-mail List_ updated 12.07.2022; SEPA Reviewing Agencies E-mail Distribution List_Updated 01.10.2023

Good morning Sonya,

On ~~January 17~~ ^{February 7}, 2023, City Council set **March 7** as the public hearing date for Rosa Harati/Sarah Harati.

Please provide the City Council public hearing notice to the attached e-mail distribution lists:

- In-House Distribution
- SEPA Reviewing Agencies
- Local Media List

Thank you!



Eva Rivera
Planning Technician
Phone: 509-575-6261
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This email is a public record of the City of Yakima and is subject to public disclosure unless exempt under the Washington Public Records Act. This email is subject to the State Retention Schedule.

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AFFIDAVIT OF MAILING

STATE OF WASHINGTON

CITY OF YAKIMA

RE: RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22

ROSA HARATI/ SARAH HARATI

909 LA FOLETTE ST/ 1406 S FAIR AVE

I, Eva Rivera, as an employee of the City of Yakima Planning Division, have dispatched through the United States Mails, a **Notice of Hearing Examiner's Recommendation**; a true and correct copy of which is enclosed herewith; that said notice was addressed to the applicant, parties of record, and all property owners of record within a radius of 300 feet of subject property; that said property owners are individually listed on the mailing list retained by the Planning Division; and that said notices were mailed by me on this 10th day of January 2023.

That I mailed said notices in the manner herein set forth and that all of the statements made herein are just and true.



Eva Rivera

Planning Technician

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YAKIMA, WA 98908

85
Total Parcels - ROSA HARATI/ SARAH
HARATI - RZ#001-22, CL2#025-22,
ADJ#024-22, SEPA#017-22

ROSA HARATI
PO BOX 1109
MANHATTAN BEACH, CA 90267

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Ntc of HE Rec.
RZ#001-22, CL2#025-22,
ADJ#024-22, SEPA#017-22
Sent on 01/10/2023

| In-House Distribution E-mail List | | Revised 10/26/2022 |
|-----------------------------------|-----------------------|--|
| Name | Division | E-mail Address |
| Jaime Vera | Air Terminal | Jaime.Vera@yakimawa.gov |
| Silvia Corona | Clerk's Office | Silvia.Corona@yakimawa.gov |
| Lisa Maxey | Code Administration | Lisa.Maxey@yakimawa.gov |
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| Pedro Contreras | Code Administration | Pedro.Contreras@yakimawa.gov |
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| Tony Doan | Code Administration | Tony.Doan@yakimawa.gov |
| Joan Davenport | Community Development | Joan.Davenport@yakimawa.gov |
| Rosalinda Ibarra | Community Development | Rosalinda.Ibarra@yakimawa.gov |
| Bill Preston | Engineering | Bill.preston@yakimawa.gov |
| Kirsten McPherson | Engineering | Kirsten.McPherson@yakimawa.gov |
| Dan Riddle | Engineering | Dan.Riddle@yakimawa.gov |
| Aaron Markham | Fire | Aaron.markham@yakimawa.gov |
| Jeremy Rodriguez | Fire | Jeremy.Rodriguez@yakimawa.gov |
| Sara Watkins | Legal | Sara.Watkins@yakimawa.gov |
| Joseph Calhoun | Planning | Joseph.Calhoun@yakimawa.gov |
| Eva Rivera | Planning | Eva.rivera@yakimawa.gov |
| Matt Murray | Police | Matthew.murray@yakimawa.gov |
| Scott Schafer | Public Works | Scott.Schafer@yakimawa.gov |
| Leovardo Cruz | Refuse | Leovardo.Cruz@yakimawa.gov |
| Randy Layman | Refuse | Randy.Layman@yakimawa.gov |
| Gregory Story | Transit | Gregory.Story@yakimawa.gov |
| James Dean | Utilities | James.Dean@yakimawa.gov |
| Dana Kallevig | Wastewater | Dana.Kallevig@yakimawa.gov |
| Randy Meloy | Wastewater | Randy.Meloy@yakimawa.gov |
| Dave Brown | Water/Irrigation | David.Brown@yakimawa.gov |
| Mike Shane | Water/Irrigation | Mike.Shane@yakimawa.gov |

| Outside Distribution | | |
|---|--|--|
| Name | Address | Notified? |
| <i>(Subdivision notices ONLY)</i> Pacific Power Attn: Estimating Department | 500 N Keys Rd, Yakima, WA 98901 | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| <i>(Projects Adjacent to BNSF Right of Way ONLY)</i> Central Washington Railroad | 111 University Parkway, Suite 200 Yakima, WA 98901 (509) 453-9166 Tim Marshall, General Manager, tmarshall@cbrr.com Kim Yeager, Real Estate Manager, kyeager@ihdlc.com | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> E-mail |
| <i>(Shoreline notices ONLY)</i> Department of Ecology | crosepa@ecy.wa.gov | <input type="checkbox"/> E-mail |

| Additional Parties of Record or Interested Parties Notified | | |
|---|---------|--------|
| Name | Address | E-mail |
| | | |
| | | |
| | | |

Type of Notice: NTC of HE Dec.
File Number(s): RZ#001-22, CLZ#025-22, ADJ#024-22, SEP#07-20
Date of Mailing: 01/10/2023
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Rivera, Eva

From: Rivera, Eva
Sent: Tuesday, January 10, 2023 10:02 AM
To: Brown, David; Calhoun, Joseph; Contreras, Pedro; Corona, Silvia; Cruz, Leovardo; Davenport, Joan; Dean, James; DeBusschere, Suzanne; Denman, Glenn; Doan, Tony; Ibarra, Rosalinda; Kallevig, Dana; Layman, Randy; Markham, Aaron; Maxey, Lisa; McPherson, Kirsten; Meloy, Randy; Murray, Matthew; Preston, Bill; Riddle, Dan; Rivera, Eva; Rodriguez, Jeremy; Schafer, Scott; Shane, Mike; Story, Gregory; Vera, Jaime; Watkins, Sara; Zabell, John
Cc: Calhoun, Joseph; 'tdurant@plsaofyakima.com'
Subject: NTC OF HE REC. - ROSA HARATI/ SARAH HARATI - RZ#001-22, CL2#025-22, ADJ# 024-22, SEPA#017-22
Attachments: NTC OF HE REC._RZ#001-22.pdf

Good morning-

Attached is the Hearing Examiner's Recommendation for the above-entitled project. If you have any questions about this proposal please contact the assigned planner Joseph Calhoun at joseph.calhoun@yakimawa.gov.

Thank you!



Eva Rivera
Planning Technician
Phone: 509-575-6261
Email: eva.rivera@yakimawa.gov

This email is a public record of the City of Yakima and is subject to public disclosure unless exempt under the Washington Public Records Act. This email is subject to the State Retention Schedule.

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DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2nd Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

**NOTIFICATION OF HEARING EXAMINER'S
RECOMMENDATION TO THE YAKIMA CITY COUNCIL**

DATE: January 10, 2023
TO: Applicant, Adjoining Property Owners and Parties of Record
SUBJECT: Notice of the Hearing Examiner's Recommendation
FILE #(S): RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22
APPLICANT: Rosa Harati/ Sarah Harati
PROJECT LOCATION: 909 La Folette St/ 1406 S. Fair Ave

On January 06, 2023, the City of Yakima Hearing Examiner rendered their recommendation on **RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22**, a proposal to rezone two lots from R-2 to B-2, to establish an automobile dealership, an administrative adjustment to the side setback from 20 ft. to 6 ft., and an adjustment to the parking/vehicle standard from hard surfacing to gravel. The application was reviewed at an open record public hearing held on December 22, 2022.

Enclosed is a copy of the Hearing Examiner's Recommendation. The Hearing Examiner's Recommendation will be considered by the Yakima City Council in a public hearing to be scheduled. The City Clerk will notify you of the date, time and place of the public hearing.

For further information or assistance, you may contact Planning Manager, Joseph Calhoun at (509) 575-6042 or email: joseph.calhoun@yakimawa.gov

A handwritten signature in black ink, appearing to read "Eva Rivera".

Eva Rivera
Planning Technician

Date of Mailing: **January 10, 2023**

Enclosures: Hearing Examiner's Recommendation

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DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2nd Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

**CITY OF YAKIMA
HEARING EXAMINER
AGENDA**

Thursday, December 22, 2022

Yakima City Hall Council Chambers – 129 N 2nd Street, Yakima, WA

Beginning at 9:00 a.m.

I. CALL TO ORDER

II. INTRODUCTION

III. PUBLIC HEARINGS

A. ROSA HARATI/ SARAH HARATI

PLANNER: Joseph Calhoun

ADDRESS: 909 LA FOLETTE ST/ 1406 S FAIR AVE

REQUEST: Proposal to rezone two lots from R-2 to B-2, to establish an automobile dealership, an administrative adjustment to the side setback from 20ft to 6ft, and an adjustment to the parking/vehicle standard from hard-surfacing to gravel.

09/09/2022

RZ#001-22

CL2#025-22

ADJ#024-22

SEPA#017-22

IV. ADJOURNMENT

The staff recommendation report on the listed project(s) is available online at: www.buildingyakima.com

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SIGN-IN SHEET

City of Yakima HEARING EXAMINER
City Hall Council Chambers
Thursday, December 22, 2022
Beginning at 9:00 a.m.



Public Hearings

| CASE | FILE # | PROJECT NAME | SITE ADDRESS |
|------|---|--------------------------|-----------------------------------|
| A. | RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22 | Rosa Harati/Sarah Harati | 909 La Folette St/1406 S Fair Ave |

PLEASE WRITE LEGIBLY

| Agenda Item of Interest | NAME | MAILING ADDRESS or E-MAIL | ZIP CODE |
|-------------------------------|-----------------|-------------------------------------|-------------|
| A | Tom Durant | 521 N. 20 th Ave Suite 3 | 98902 |
| A | Sybilus Solberg | 521 N. 20 th Ave Suite 3 | 98902 |
| A | Sarah Harati | 418 N. 5 th St | 98901 |
| | | | |
| | | | |
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**Hearing Examiner Packet AGENDA,
STAFF REPORT, SITE PLAN AND
MAPS...Updated 08/17/2022**

**INCLUDE APPLICANT & PROPERTY
OWNER(S)**

Sara Watkins
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Sara.watkins@yakimawa.gov

Archie Matthews
ONDS
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Joan Davenport
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Rosalinda Ibarra
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Yakima County Public Services
Lisa Freund
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Yakima County Commissioners
Commissioners.web@co.yakima.wa.us

Eva Rivera
Planning Technician
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Sarah Harati
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Manhattan Beach, CA 90267

Rosa Harati
PO Box 1109
Manhattan Beach, CA 90267

Binder Copy / For the Record / File

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tdurant@plsaofyakima.com

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Hearing Examiner AGENDA ONLY
Distribution List – 10/13/2022

Add Interested – Parties of Record

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john.fannin@yakimawa.gov

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Matthew.murray@yakimawa.gov

Fire Chief – Aaron Markham
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Bob Harrison
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cally.price@yakimawa.gov

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Granger, WA 98932

KAPP TV
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PO Box 1749
Yakima, WA 98907-1749

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Yakima Valley C.O.G.
311 N. 4th Street #204
Yakima, WA 98901

Yakima Assoc. of Realtors
Gov. Affairs Committee
2707 River Road
Yakima, WA 98902-1165

KCYU-FOX 68
David Okowski
1205 West Lincoln Ave.
Yakima, WA 98902

Pacific Power
Mike Paulson
500 N. Keys Rd.
Yakima, WA 98901

Office of Rural FWH
Marty Miller
1400 Summitview #203
Yakima, WA 98902

Yakima School Dist. #7
Superintendent
104 North 4th Street
Yakima, WA 98902

Business Times
Bruce Smith
P.O. Box 2052
Yakima, WA 98907

Tricia Sawyer
crosepacoordinator@ecy.wa.gov

KIT-KATS Radio
4010 Summitview, Suite 200
Yakima, WA 98908

KIMA TV
2801 Terrace Heights Drive
Yakima, WA 98901

KNDO TV
216 West Yakima Avenue
Yakima, WA 98902

Yakima Herald-Republic
P.O. Box 9668
Yakima, WA 98909

Patrick D. Spurgin
PO Box 1768
Yakima, WA 98907

Gary Cuillier
314 N. 2nd Street
Yakima, WA 98901

Maud Scott
309 Union Street
Yakima, WA 98901

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AFFIDAVIT OF MAILING

STATE OF WASHINGTON

CITY OF YAKIMA

RE: RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22

ROSA HARATI/ SARAH HARATI

909 LA FOLETTE ST/ 1406 S FAIR AVE

I, Eva Rivera, as an employee of the Yakima City Planning Division, have dispatched through the United States Mails, a **Notice of Public Hearing & DNS**. A true and correct copy of which is enclosed herewith; that said notice was addressed to the applicant, parties of record, listed SEPA agencies and all property owners of record within a radius of 300 feet of subject property, that said property owners are individually listed on the mailing list retained by the Planning Division, and that said notices were mailed by me on the 30th day of November, 2022.

That I mailed said notices in the manner herein set forth and that all of the statements made herein are just and true.



Eva Rivera

Planning Technician

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18132421604
CENTRAL WA COMP MENTAL HEAL
PO BOX 959
YAKIMA, WA 98907

18131333097
FAIRBANKS YAKIMA LLC
PO BOX 808
FALL CITY, WA 98024

19133041465
FATHER & SON INVESTMENT LLC
1301 W GRANDVIEW AVE
SUNNYSIDE, WA 98944

19133041466
FATHER & SON INVESTMENT LLC
1301 W GRANDVIEW AVE
SUNNYSIDE, WA 98944

19132932503
GAYLORD PROPERTY INVESTMENTS
LLC
115 S 10TH AVE
PASCO, WA 99301

18131333102
JMJG INVESTMENTS
PO BOX 1434
YAKIMA, WA 98907

18131333101
PLSVCS LLC
PO BOX 8066
YAKIMA, WA 98908

19133041470
TRACK ROAD LLC
PO BOX 22680
YAKIMA, WA 98907

19133014572
WITHROW ENTERPRISES LIMITED
PARTNERSHIP
PO BOX 430
SELAH, WA 98942

19133014573
WITHROW ENTERPRISES LIMITED
PARTNERSHIP
PO BOX 430
SELAH, WA 98942

19132921007
YAKIMA COUNTY COMMISSIONERS
128 N 2ND ST #232
YAKIMA, WA 98901

18132422531
ANDREW HARDING
529 W COLUMBIA DR
KENNEWICK, WA 99336

18131333410
ANTONIA J VALENZUELA
1410 JEROME AVE
YAKIMA, WA 98902

18131333109
ARMANDO G MONTOYA
1401 FAIRBANKS AVE
YAKIMA, WA 98902

18132421605
BENJAMIN LUA GRANADOS
1318 CHERRY AVE
YAKIMA, WA 98902

18131333088
BONIFACIO MUNGUIA ALCALA
1415 CHERRY AVE
YAKIMA, WA 98902

19133041006
CANDIDO ROSAS
1420 FAIR AVE
YAKIMA, WA 98901

19133041482
CELEDONIO VALENCIA
903 LA FOLLETT ST
YAKIMA, WA 98901

18131333404
CIRO PEREZ & MARIA ELENA RAMIREZ
1417 FAIRBANKS AVE
YAKIMA, WA 98902

18131333403
CONSUELO MENDOZA MEJIA
1413 FAIRBANKS AVE
YAKIMA, WA 98902

18131333091
CRISANTA M MARTINEZ DELGADO
1411 CHERRY AVE
YAKIMA, WA 98902

18131333099
DAVID CALDERON
1404 FAIRBANKS AVE
YAKIMA, WA 98902

18131333108
ELIAS & ELIZABETH MUNGUIA
1407 FAIRBANKS AVE
YAKIMA, WA 98902

19133041505
EMILIO & MARY H ZAMARRIPA JR
904 E NOB HILL BLVD
YAKIMA, WA 98901

18131333107
ERIK GRAY
232 SADDLE BROOK CT
YAKIMA, WA 98908

18131333100
ESPERANZA MORALES
1406 FAIRBANKS AVE
YAKIMA, WA 98902

18131334460
FIDELINA VELASCO
1312 FAIRBANKS AVE
YAKIMA, WA 98902

18131333409
FLORA HERRERA
1412 JEROME AVE
YAKIMA, WA 98902

18132422587
FRANCISCO MUNGUIA
333 TRACK RD
COWICHE, WA 98923

19133041008
GEORGE A & ROSEMARY JUAREZ
909 WILSON LN
YAKIMA, WA 98902

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19133041001
GILBERTO ARROYO
PO BOX 505
WAPATO, WA 98951

19133041005
GILBERTO ARROYO
105 N CENTRAL AVENUE
WAPATO, WA 98951

18131333114
GLORIA SANCHEZ PEREZ
1402 JEROME AVE
YAKIMA, WA 98902

18132422527
GORDON E & BARBARA A BECKER
1412 CHERRY AVE
YAKIMA, WA 98902

18132422529
GREGORY J & CHRISTIE A BROWN
4006 MOUNTAINVIEW AVE
YAKIMA, WA 98901

18132422525
GUADALUPE SANCHEZ
1416 CHERRY AVE
YAKIMA, WA 98902

18131333113
GUSTAVO MARTINEZ
6902 OCCIDENTAL RD
YAKIMA, WA 98908

18131333407
ISBET VILLA
1416 JEROME AVE
YAKIMA, WA 98902

18132422524
JACK GRACIC
1418 CHERRY AVE
YAKIMA, WA 98902

18131334455
JAY L & KENDRA L GLENN
1375 CINNAMON RIDGE WAY
PROVO, UT 84606

18131334456
JAY L & KENDRA L GLENN
1375 CINNAMON RIDGE WAY
PROVO, UT 84606

18131333093
JEANNETTE MARTIN
5808 SUMMITVIEW AVE STE A PMB 403
YAKIMA, WA 98908

18131334459
JEFF TYREE
6257-40TH AVE NE
SEATTLE, WA 98115

18131334474
JESUS & AMALIA FLORES
1317 LANDON AVE
YAKIMA, WA 98902

18131333112
JESUS & OTILIA MACIEL
1319 FAIRBANKS AVE
YAKIMA, WA 98902

18131333092
JOEL & CLAUDIA ABUNDIZ
1409 CHERRY AVE
YAKIMA, WA 98902

19133041002
JORGE L SANDOVAL
815 LAFOLLETTE ST
YAKIMA, WA 98901

19133041009
JOSE C & ROSEMARY NUNEZ
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YAKIMA, WA 98901

19133041010
JOSE LUIS & ROSALBA ONTIVEROS
FRIAS
1524 FAIR AVE #43
YAKIMA, WA 98901

18131333400
LINDA & ROY JOHNSON
1409 FAIRBANKS AVE
YAKIMA, WA 98902

18131333401
LLOYD A & JULIA KOCH
1409 1/2 FAIRBANKS AVE
YAKIMA, WA 98902

18131333105
LUCILA RAMOS
1414 FAIRBANKS AVE
YAKIMA, WA 98902

18131333089
LUCIO DELEON SANCHEZ
1413 CHERRY AVE
YAKIMA, WA 98902

18131333118
LUIS RIVERA CARDENAS
1412 FAIRBANKS AVE
YAKIMA, WA 98902

18131334458
LUIS MACIEL-RIOS
1316 FAIRBANKS AVE
YAKIMA, WA 98902

18131333090
MANUEL CRUZ MARMOLEJO
1401 CHERRY AVE
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18132422526
MARIA VALENCIA
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19133041480
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815 LAFOLLETTE ST
YAKIMA, WA 98901

18131333115
MARIA DE JESUS GODINEZ
1404 JEROME AVE
YAKIMA, WA 98902

18131333106
MARIA V MUNGUIA
1415 CHERRY AVE
YAKIMA, WA 98902

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18131333402
MARICRUZ ARREDONDO
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18132422530
MARIO ALBERTO RAMIREZ
1406 CHERRY AVE
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18132422528
MARTHA B & MYRON L COMBELIC
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VANCOUVER, WA 98662

18131333098
MARTIN MARMOLEJO
1402 FAIRBANKS AVE
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19133041481
MAXIMILIANO ET AL PONCE
901 LA FOLLETT ST
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19133041007
MELVIN K. & EDITH L. NANCE
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YAKIMA, WA 98901

18131333111
MICAELA SANCHEZ
1401 FAIRBANKS AVE
YAKIMA, WA 98902

18131333116
OSCAR C & ANA CLAUDIA NUNEZ
1406 JEROME AVE
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19133041504
PATRICIO ROMERO MARTINEZ
307 S 7TH ST
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18131333096
RAMON & ALONDRA MORA
11419 SE 253RD PL
KENT, WA 98030

18131334457
RAMON & ALONDRA MORA
11419 SE 253RD PL
KENT, WA 98030

18131333094
RUFINO C. & PETRA ZAMORA
1405 CHERRY AVE
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19133014462
SANAD SARAMEH
715 RAINBOW LN
SUNNYSIDE, WA 98944

19133014463
SANAD SARAMEH
715 RAINBOW LN
SUNNYSIDE, WA 98944

19133041485
SARAH HARATI
PO BOX 1109
MANHATTAN BEACH, CA 90267

19133041486
SARAH HARATI
PO BOX 1109
MANHATTAN BEACH, CA 90267

18131334471
SERGIO LOPEZ
1315 FAIRBANKS AVE
YAKIMA, WA 98902

18131334569
SERGIO A & ESPERNAZA LOPEZ
1313 1/2 FAIRBANKS AVE
YAKIMA, WA 98902

18131333117
SONYA ORTIZ
1408 JEROME AVE
YAKIMA, WA 98902

18131333405
TOMAS & MARIA PEREZ
615 LEWIS ST
YAKIMA, WA 98902

19133041483
Uziel ESTRADA
818 N 6TH ST
YAKIMA, WA 98901

19133041484
Uziel ESTRADA
818 N 6TH ST
YAKIMA, WA 98901

18131333095
VERN D & PHYLLIS J MUSGROVE
424 N 30TH AVE
YAKIMA, WA 98902

19133041003
WILLIAM GENE SCRIBNER
812 LA FOLLETT ST
YAKIMA, WA 98901

18131333408
WILLIAM J LYNCH
5511 GLACIER WAY
YAKIMA, WA 98908

85
Total Parcels - ROSA HARATI/ SARAH
HARATI - RZ#001-22, CL2#025-22,
ADJ#024-22, SEPA#017-22

ROSA HARATI
PO BOX 1109
MANHATTAN BEACH, CA 90267

RZ#001-22 CL2#025-22
X DJ#024-22, SEPA#017-22
Sent on 11/30/2022
NTE of Hearing + DNS

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bethb@ahtanum.net

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Century Link
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Charter Communications
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Yakima, WA 98902
MartyM@orfh.org

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Mike Paulson
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Yakima, WA 98901

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US Army Corps of Engineers, Regulatory
Branch
David Moore
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Upload Docs to SEPA Register

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Yakima Valley Trolleys
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info@yakimavalleytrolleys.org

SEPA REVIEWING AGENCIES
_UPDATED 11/04/2022

Type of Notice:

File Number:

Date of Mailing:

Pub
Ntc of Hearing & DNS
PZ#001-22, C12#025-22, ADJ#024-22, SPA#017-22
11/30/2022

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| In-House Distribution E-mail List | | Revised 10/26/2022 |
|-----------------------------------|-----------------------|--|
| Name | Division | E-mail Address |
| Jaime Vera | Air Terminal | Jaime.Vera@yakimawa.gov |
| Silvia Corona | Clerk's Office | Silvia.Corona@yakimawa.gov |
| Lisa Maxey | Code Administration | Lisa.Maxey@yakimawa.gov |
| Glenn Denman | Code Administration | Glenn.Denman@yakimawa.gov |
| John Zabell | Code Administration | John.Zabell@yakimawa.gov |
| Pedro Contreras | Code Administration | Pedro.Contreras@yakimawa.gov |
| Suzanne DeBusschere | Code Administration | Suzanne.Debusschere@yakimawa.gov |
| Tony Doan | Code Administration | Tony.Doan@yakimawa.gov |
| Joan Davenport | Community Development | Joan.Davenport@yakimawa.gov |
| Rosalinda Ibarra | Community Development | Rosalinda.Ibarra@yakimawa.gov |
| Bill Preston | Engineering | Bill.preston@yakimawa.gov |
| Dan Riddle | Engineering | Dan.Riddle@yakimawa.gov |
| Aaron Markham | Fire | Aaron.markham@yakimawa.gov |
| Jeremy Rodriguez | Fire | Jeremy.Rodriguez@yakimawa.gov |
| Sara Watkins | Legal | Sara.Watkins@yakimawa.gov |
| Joseph Calhoun | Planning | Joseph.Calhoun@yakimawa.gov |
| Eva Rivera | Planning | Eva.rivera@yakimawa.gov |
| Matt Murray | Police | Matthew.murray@yakimawa.gov |
| Scott Schafer | Public Works | Scott.Schafer@yakimawa.gov |
| Leovardo Cruz | Refuse | Leovardo.Cruz@yakimawa.gov |
| Randy Layman | Refuse | Randy.Layman@yakimawa.gov |
| Gregory Story | Transit | Gregory.Story@yakimawa.gov |
| James Dean | Utilities | James.Dean@yakimawa.gov |
| Dana Kallevig | Wastewater | Dana.Kallevig@yakimawa.gov |
| Randy Meloy | Wastewater | Randy.Meloy@yakimawa.gov |
| Dave Brown | Water/Irrigation | David.Brown@yakimawa.gov |
| Mike Shane | Water/Irrigation | Mike.Shane@yakimawa.gov |

| Outside Distribution | | |
|--|--|--|
| Name | Address | Notified? |
| (Subdivision notices ONLY) Pacific Power Attn: Estimating Department | 500 N Keys Rd, Yakima, WA 98901 | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| (Projects Adjacent to BNSF Right of Way ONLY) Central Washington Railroad | 111 University Parkway, Suite 200 Yakima, WA 98901 (509) 453-9166 Tim Marshall, General Manager, tmarshall@cbrr.com Kim Yeager, Real Estate Manager, kyeager@ihdlc.com | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> E-mail |

| Additional Parties of Record or Interested Parties Notified | | |
|---|---------|--------|
| Name | Address | E-mail |
| | | |
| | | |
| | | |

Type of Notice: Ntc of Pub. Hearing + DNS
File Number(s): RZ#001-22, CLZ#025-22, ADJ#024-22, SEP#017-22
Date of Mailing: 11/30/2022

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Rivera, Eva

From: Rivera, Eva
Sent: Wednesday, November 30, 2022 9:49 AM
To: Brown, David; Calhoun, Joseph; Contreras, Pedro; Corona, Silvia; Davenport, Joan; Dean, James; DeBusschere, Suzanne; Denman, Glenn; Doan, Tony; Ibarra, Rosalinda; Kallevig, Dana; Layman, Randy; Linos, Irene; Markham, Aaron; Maxey, Lisa; Meloy, Randy; Murray, Matthew; Preston, Bill; Riddle, Dan; Rivera, Eva; Rodriguez, Jeremy; Schafer, Scott; Shane, Mike; Story, Gregory; Watkins, Sara; Zabell, John; Ahtanum Irrigation District - Beth Brulotte; Cawley, Marc; Greater Yakima Chamber of Commerce; Henne, Dennis; Ibarra, Rosalinda; Linos, Irene; Office Rural Farmworker Housing - Marty Miller; Rivera, Eva; United States Postal Service - David James; US Army Corp Engineers - David Moore; Vera, Jaime; WA State Dept Agriculture - Kelly McLain; WA State Dept Archaeology Historic Pres - SEPA; WA State Dept Commerce - Review Team; WA State Dept Ecology - CRO SEPA; WA State Dept Ecology - Former Orchards; WA State Dept Ecology - Lori White; WA State Dept Ecology - SEPA Unit; WA State Dept Energy Facility Site Eval; WA State Dept Fish and Wildlife - Eric Bartrand; WA State Dept Fish and Wildlife - Scott Downes; WA State Dept Fish and Wildlife - SEPA; WA State Dept Fish and Wildlife - Team Yakima; WA State Dept Health - Jamie Gardipe; WA State Dept Health - Kelly Cooper; WA State Dept Health - SEPA ; WA State Dept Natural Resources - SEPA Center; WA State Dept Social Health Svcs - Larry Covey; WA State Dept Transportation- South Central Region; WA State Dept Transportation - Paul Gonseth; WA State Parks and Recreation - SEPA; West Valley School District - Joe Connolly; West Valley School District - Peter Finch; WSDOT Aviation ; Yakama Bureau of Indian Affairs - Rocco Clark; Yakama Nation Environmental Mgmt Program - Elizabeth Sanchey; Yakama-Klickitat Fisheries Project - John Marvin; Yakama-Klickitat Fisheries Project - John Marvin; Yakima County Building Dept - Marivel Garcia; Yakima County Commissioners; Yakima County Health District; Yakima County Health District - Ryan Ibach; Yakima County Planning Division - Jason Earles; Yakima County Planning Division - Thomas Carroll; Yakima County Public Services - Lisa Freund; Yakima County Water Resources Div - Troy Havens; Yakima Greenway Foundation - Kellie Connaughton; Yakima Regional Clean Air Agency - Hasan Tahat; Yakima School District - Jay Baucom; Yakima School District - Stacey Locke; Yakima School District - Trevor Greene; Yakima Valley Museum - Peter Arnold; Yakima Valley Trolleys; Yakima Waste Systems - Keith Kovalenko; Gary Cuillier; Pat Spurgin (pds@spurginlawoffice.com); El Mundo; El Sol de Yakima; Fannin, John; KAPP TV News; KDNA Radio - Francisco Rios; KEPR TV News; KIMA TV News; KIT News; KIT/KATS/DMVW/KFFM - Lance Tormey; KNDO TV News; KNDU TV News; KUNW-TV Univision; KVEW TV News; La Casa Hogar; La Voz; Lozano, Bonnie; NWCN News; NWPR - Anna King; RCDR - Maria DJ Rodriguez; Tu Decides - Albert Torres; Yakima Herald - Business; Yakima Herald Republic Newspaper; Yakima Valley Business Times; YPAC - Randy Beehler
Cc: Miller, Albert; Calhoun, Joseph
Subject: NTC OF PUB. HEARING & DNS - ROSA HARATI - RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22
Attachments: NTC OF PUB. HEARING_RZ#001-22.pdf; DNS_RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22.pdf

Good morning,

Attached is a Notice of Hearing & DNS regarding the above-entitled project. If you have any questions about this proposal please contact the assigned planner Joseph Calhoun at joseph.calhoun@yakimawa.gov.

DOC.

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Thank you!



Eva Rivera
Planning Technician
Phone: 509-575-6261
Email: eva.rivera@yakimawa.gov

This email is a public record of the City of Yakima and is subject to public disclosure unless exempt under the Washington Public Records Act. This email is subject to the State Retention Schedule.

Rivera, Eva

From: NoReply@ecy.wa.gov
Sent: Wednesday, November 30, 2022 1:04 PM
To: Ask Planning
Subject: Your SEPA Record Has Been Submitted!

The Department of Ecology has received a new SEPA record from Yakima City at Yakima City of with a File Number of: SEPA#017-22, RZ#001-22, CL2#025-22, ADJ#024-22.
Your record is being reviewed by an administrator.

From: Yakima City
Email: ask.planning@yakimawa.gov
Phone number: (509) 575-6261

RECEIVED

DEC 06 2022

FINANCE DEPT.

YAKIMA
HERALD-REPUBLIC
WE TELL YOUR STORIES YAKIMAHERALD.COM

El Sol de Yakima

AFFIDAVIT OF PUBLICATION

Eva Rivera
City Of Yakima Planning
129 N 2nd Street
Yakima WA 98901

STATE OF WASHINGTON, COUNTIES OF YAKIMA

The undersigned, on oath states that he/she is an authorized representative of Yakima Herald-Republic, Inc., publisher of Yakima Herald-Republic and El Sol de Yakima, of general circulation published daily in Yakima County, State of Washington. Yakima Herald-Republic and El Sol de Yakima have been approved as legal newspapers by orders of the Superior Court of Yakima County.

The notice, in the exact form annexed, was published in the regular and entire issue of said paper or papers and distributed to its subscribers during all of the said period.

11/30/2022

Agent

JACKIE CHAPMAN

Signature

Jackie Chapman

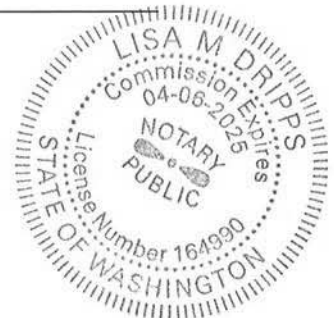
Subscribed and sworn to before me on

December 1, 2022

Lisa M. Driggs

(Notary Signature) Notary Public in and for the State of Washington, residing at Yakima

Publication Cost: \$135.05
Order No: 44963
Customer No: 23222
PO #:



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Publication Cost: \$135.05
Order No: 44963
Customer No: 23222
PO #:

**NOTICE OF PUBLIC
HEARING DATE:** November
30, 2022 **TO:** SEPA
Reviewing Agencies,
Applicant, and Adjoining
Property Owners **FROM:** Joan
Davenport, AICP, Community
Development Director
SUBJECT: Rezone and
Environmental Review **File
Numbers:** RZ#001-22,
CL2#025-22, ADJ#024-22,
SEPA#017-22 **Project
Applicant:** City of Yakima
Planning Division **Project
Location:** 909 La Folette
St./1406 S Fair Ave. **Parcel
Number:** 191330-41485,
191330-41486 **PROJECT
DESCRIPTION** Proposal to
rezone two lots from R-2 to B-
2, to establish an automobile
dealership, an administrative
adjustment to the side setback
from 20 ft. to 6 ft., and an
adjustment to the
parking/vehicle standard from
hard surfacing to gravel.
**NOTICE OF PUBLIC
HEARING** This rezone and
environmental review will
require two public hearings;
one open record hearing
before the Hearing Examiner
to be followed by a closed
record hearing before the
Yakima City Council. **A**
~~separate notice will be~~

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separate notice will be provided for the public hearing before the Yakima City Council. The public hearing before the Hearing Examiner has been scheduled for **Thursday, December 22, 2022**, beginning at **9:00 a.m. in the City Hall Council Chambers.** Any person desiring to express their views on the matter is invited to attend the hearing to provide testimony. **NOTICE OF RECOMMENDATION**

Following the public hearing, the Hearing Examiner will issue his recommendation within ten (10) business days. When available, a copy of the recommendation will be mailed to parties of record and entities who were provided this notice. The file containing the complete application is available for public review at the City of Yakima Planning Division, City Hall – 2nd Floor, 129 N. 2nd St., Yakima, WA. If you have questions regarding this proposal, please call Joseph Calhoun, Planning Manager, at (509) 575-6042, or email to: ask.planning@yakimawa.gov.

(44963) November 30, 2022

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NOTICE OF PUBLIC

HEARING DATE: November

30, 2022 **TO:** SEPA

Reviewing Agencies,
Applicant, and Adjoining
Property Owners **FROM:** Joa
Davenport, AICP, Community
Development Director

SUBJECT: Rezone and
Environmental Review File

Numbers: RZ#001-22,
CL2#025-22, ADJ#024-22,
SEPA#017-22 **Project**

Applicant: City of Yakima
Planning Division **Project**

Location: 909 La Folette
St./1406 S Fair Ave. **Parcel**

Number: 191330-41485,
191330-41486 **PROJECT**

DESCRIPTION Proposal to
rezone two lots from R-2 to B-
2, to establish an automobile
dealership, an administrative
adjustment to the side setback
from 20 ft. to 6 ft., and an
adjustment to the
parking/vehicle standard from
hard surfacing to gravel.

NOTICE OF PUBLIC

HEARING This rezone and
environmental review will
require two public hearings;
one open record hearing
before the Hearing Examiner
to be followed by a closed
record hearing before the
Yakima City Council. **A**

**separate notice will be
provided for the public
hearing before the Yakima
City Council.** The public
hearing before the Hearing
Examiner has been scheduled
for **Thursday, December 22,
2022, beginning at 9:00 a.m.
in the City Hall Council**

Chambers. Any person
desiring to express their views
on the matter is invited to
attend the hearing to provide
testimony. **NOTICE OF**

RECOMMENDATION

Following the public hearing,
the Hearing Examiner will
issue his recommendation
within ten (10) business days.
When available, a copy of the
recommendation will be
mailed to parties of record and
entities who were provided
this notice. The file containing
the complete application is
available for public review at
the City of Yakima Planning
Division, City Hall – 2nd Floor,
129 N. 2nd St., Yakima, WA. If
you have questions regarding
this proposal, please call
Joseph Calhoun, Planning
Manager, at (509) 575-6042,
or email to:

ask.planning@yakimawa.gov.

(44963) November 30, 2022

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DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2nd Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

NOTICE OF PUBLIC HEARING

DATE: November 30, 2022
TO: SEPA Reviewing Agencies, Applicant, and Adjoining Property Owners
FROM: Joan Davenport, AICP, Community Development Director
SUBJECT: Rezone and Environmental Review
File Numbers: RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22
Project Applicant: City of Yakima Planning Division
Project Location: 909 La Folette St./1406 S Fair Ave.
Parcel Number: 191330-41485, 191330-41486

PROJECT DESCRIPTION Proposal to rezone two lots from R-2 to B-2, to establish an automobile dealership, an administrative adjustment to the side setback from 20 ft. to 6 ft., and an adjustment to the parking/vehicle standard from hard surfacing to gravel.

NOTICE OF PUBLIC HEARING This rezone and environmental review will require two public hearings; one open record hearing before the Hearing Examiner to be followed by a closed record hearing before the Yakima City Council. **A separate notice will be provided for the public hearing before the Yakima City Council.** The public hearing before the Hearing Examiner has been scheduled for **Thursday, December 22, 2022**, beginning at **9:00 a.m. in the City Hall Council Chambers**. Any person desiring to express their views on the matter is invited to attend the hearing to provide testimony.

NOTICE OF RECOMMENDATION Following the public hearing, the Hearing Examiner will issue his recommendation within ten (10) business days. When available, a copy of the recommendation will be mailed to parties of record and entities who were provided this notice.

The file containing the complete application is available for public review at the City of Yakima Planning Division, City Hall – 2nd Floor, 129 N. 2nd St., Yakima, WA. If you have questions regarding this proposal, please call Joseph Calhoun, Planning Manager, at (509) 575-6042, or email to: ask.planning@yakimawa.gov.

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DEPARTMENT OF COMMUNITY DEVELOPMENT
Joan Davenport, AICP, Director

Planning Division
Joseph Calhoun, Manager
129 North Second Street, 2nd Floor, Yakima, WA 98901
ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

**WASHINGTON STATE ENVIRONMENTAL POLICY ACT
DETERMINATION OF NONSIGNIFICANCE
CITY OF YAKIMA, WASHINGTON
November 30, 2022**

PROJECT DESCRIPTION: Proposal to rezone two lots from R-2 to B-2, to establish an automobile dealership, an administrative adjustment to the side setback from 20 ft to 6 ft, and an adjustment to the parking/vehicle standard from hard surfacing to gravel.

LOCATION: 909 La Folette St./1406 S Fair Ave.
PARCEL NUMBER: 191330-41485, 191330-41486
PROPONENT: Sarah Harati
PROPERTY OWNER: Sarah Harati
LEAD AGENCY: City of Yakima

FILE NUMBERS: RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22

DETERMINATION: The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist, public comments, and other information on file with the lead agency. This information is available to the public on request.

☒ This DNS is issued after using the optional DNS process in WAC 197-11-355.
There is no further comment period on the DNS.

Responsible Official: Joan Davenport
Position/Title: SEPA Responsible Official
Phone: (509) 575-6183
Address: 129 N. 2nd Street, Yakima, WA 98901

Date: November 30, 2022

Signature _____

☒ You may appeal this determination to: Joan Davenport, AICP, Director of Community Development, at 129 N. 2nd Street, Yakima, WA 98901.

No later than: **December 14, 2022.**

By method: Complete appeal application form and payment of \$580.00 appeal fee.

You should be prepared to make specific factual objections. Contact the City of Yakima Planning Division to read or ask about the procedures for SEPA appeals.

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AFFIDAVIT OF MAILING

STATE OF WASHINGTON

CITY OF YAKIMA

RE: RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22

ROSA HARATI/ SARAH HARATI

909 LA FOLETTE ST/ 1406 S FAIR AVE

I, Eva Rivera, as an employee of the Yakima City Planning Division, have dispatched through the United States Mails, a **Notice of Application and Environmental Review**; a true and correct copy of which is enclosed herewith; that said notice was addressed to the applicant, SEPA reviewing agencies, and all property owners of record within a radius of 300 feet of subject property; that said property owners are individually listed on the mailing list retained by the Planning Division; and that said notices were mailed by me on the 10th day of October, 2022.

That I mailed said notices in the manner herein set forth and that all of the statements made herein are just and true.



Eva Rivera

Planning Technician

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CENTRAL WA COMP MENTAL HEAL
PO BOX 959
YAKIMA, WA 98907

18131333097
FAIRBANKS YAKIMA LLC
PO BOX 808
FALL CITY, WA 98024

19133041465
FATHER & SON INVESTMENT LLC
1301 W GRANDVIEW AVE
SUNNYSIDE, WA 98944

19133041466
FATHER & SON INVESTMENT LLC
1301 W GRANDVIEW AVE
SUNNYSIDE, WA 98944

19132932503
GAYLORD PROPERTY INVESTMENTS
LLC
115 S 10TH AVE
PASCO, WA 99301

18131333102
JMJG INVESTMENTS
PO BOX 1434
YAKIMA, WA 98907

18131333101
PLSVCS LLC
PO BOX 8066
YAKIMA, WA 98908

19133041470
TRACK ROAD LLC
PO BOX 22680
YAKIMA, WA 98907

19133014572
WITHROW ENTERPRISES LIMITED
PARTNERSHIP
PO BOX 430
SELAH, WA 98942

19133014573
WITHROW ENTERPRISES LIMITED
PARTNERSHIP
PO BOX 430
SELAH, WA 98942

19132921007
YAKIMA COUNTY COMMISSIONERS
128 N 2ND ST #232
YAKIMA, WA 98901

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BONIFACIO MUNGUIA ALCALA
1415 CHERRY AVE
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19133041006
CANDIDO ROSAS
1420 FAIR AVE
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19133041482
CELEDONIO VALENCIA
903 LA FOLLETT ST
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18131333404
CIRO PEREZ & MARIA ELENA RAMIREZ
1417 FAIRBANKS AVE
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18131333403
CONSUELO MENDOZA MEJIA
1413 FAIRBANKS AVE
YAKIMA, WA 98902

18131333091
CRISANTA M MARTINEZ DELGADO
1411 CHERRY AVE
YAKIMA, WA 98902

18131333099
DAVID CALDERON
1404 FAIRBANKS AVE
YAKIMA, WA 98902

18131333108
ELIAS & ELIZABETH MUNGUIA
1407 FAIRBANKS AVE
YAKIMA, WA 98902

19133041505
EMILIO & MARY H ZAMARRIPA JR
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18131333107
ERIK GRAY
232 SADDLE BROOK CT
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18131333100
ESPERANZA MORALES
1406 FAIRBANKS AVE
YAKIMA, WA 98902

18131334460
FIDELINA VELASCO
1312 FAIRBANKS AVE
YAKIMA, WA 98902

18131333409
FLORA HERRERA
1412 JEROME AVE
YAKIMA, WA 98902

18132422587
FRANCISCO MUNGUIA
333 TRACK RD
COWICHE, WA 98923

19133041008
GEORGE A & ROSEMARY JUAREZ
909 WILSON LN
YAKIMA, WA 98901

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19133041005
GILBERTO ARROYO
105 N CENTRAL AVENUE
WAPATO, WA 98951

18131333114
GLORIA SANCHEZ PEREZ
1402 JEROME AVE
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18132422527
GORDON E & BARBARA A BECKER
1412 CHERRY AVE
YAKIMA, WA 98902

18132422529
GREGORY J & CHRISTIE A BROWN
4006 MOUNTAINVIEW AVE
YAKIMA, WA 98901

18132422525
GUADALUPE SANCHEZ
1416 CHERRY AVE
YAKIMA, WA 98902

18131333113
GUSTAVO MARTINEZ
6902 OCCIDENTAL RD
YAKIMA, WA 98908

18131333407
ISBET VILLA
1416 JEROME AVE
YAKIMA, WA 98902

18132422524
JACK GRACIC
1418 CHERRY AVE
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18131334455
JAY L & KENDRA L GLENN
1375 CINNAMON RIDGE WAY
PROVO, UT 84606

18131334456
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PROVO, UT 84606

18131333093
JEANNETTE MARTIN
5808 SUMMITVIEW AVE STE A PMB 403
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18131334459
JEFF TYREE
6257-40TH AVE NE
SEATTLE, WA 98115

18131334474
JESUS & AMALIA FLORES
1317 LANDON AVE
YAKIMA, WA 98902

18131333112
JESUS & OTILIA MACIEL
1319 FAIRBANKS AVE
YAKIMA, WA 98902

18131333092
JOEL & CLAUDIA ABUNDIZ
1409 CHERRY AVE
YAKIMA, WA 98902

19133041002
JORGE L SANDOVAL
815 LAFOLLETTE ST
YAKIMA, WA 98901

19133041009
JOSE C & ROSEMARY NUNEZ
10222 MIERAS RD
YAKIMA, WA 98901

19133041010
JOSE LUIS & ROSALBA ONTIVEROS
FRIAS
1524 FAIR AVE #43
YAKIMA, WA 98901

18131333400
LINDA & ROY JOHNSON
1409 FAIRBANKS AVE
YAKIMA, WA 98902

18131333401
LLOYD A & JULIA KOCH
1409 1/2 FAIRBANKS AVE
YAKIMA, WA 98902

18131333105
LUCILA RAMOS
1414 FAIRBANKS AVE
YAKIMA, WA 98902

18131333089
LUCIO DELEON SANCHEZ
1413 CHERRY AVE
YAKIMA, WA 98902

18131333118
LUIS RIVERA CARDENAS
1412 FAIRBANKS AVE
YAKIMA, WA 98902

18131334458
LUIS MACIEL-RIOS
1316 FAIRBANKS AVE
YAKIMA, WA 98902

18131333090
MANUEL CRUZ MARMOLEJO
1411 CHERRY AVE
YAKIMA, WA 98902

18132422526
MARIA VALENCIA
2205 S 67TH AVE
YAKIMA, WA 98903

19133041480
MARIA BARAJAS
815 LAFOLLETTE ST
YAKIMA, WA 98901

18131333115
MARIA DE JESUS GODINEZ
1404 JEROME AVE
YAKIMA, WA 98902

18131333106
MARIA V MUNGUIA
1415 CHERRY AVE
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18131333402
MARICRUZ ARREDONDO
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YAKIMA, WA 98909

18132422530
MARIO ALBERTO RAMIREZ
1406 CHERRY AVE
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18132422528
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7911 NE ROYAL ST
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18131333098
MARTIN MARMOLEJO
1402 FAIRBANKS AVE
YAKIMA, WA 98902

19133041481
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901 LA FOLLETT ST
YAKIMA, WA 98901

19133041007
MELVIN K. & EDITH L. NANCE
1424 FAIR AVE
YAKIMA, WA 98901

18131333111
MICAELA SANCHEZ
1401 FAIRBANKS AVE
YAKIMA, WA 98902

18131333116
OSCAR C & ANA CLAUDIA NUNEZ
1406 JEROME AVE
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19133041504
PATRICIO ROMERO MARTINEZ
307 S 7TH ST
YAKIMA, WA 98901

18131333096
RAMON & ALONDRA MORA
11419 SE 253RD PL
KENT, WA 98030

18131334457
RAMON & ALONDRA MORA
11419 SE 253RD PL
KENT, WA 98030

18131333094
RUFINO C & PETRA ZAMORA
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YAKIMA, WA 98902

19133014462
SANAD SARAMEH
715 RAINBOW LN
SUNNYSIDE, WA 98944

19133014463
SANAD SARAMEH
715 RAINBOW LN
SUNNYSIDE, WA 98944

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MANHATTAN BEACH, CA 90267

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SARAH HARATI
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MANHATTAN BEACH, CA 90267

18131334471
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1315 FAIRBANKS AVE
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18131334569
SERGIO A & ESPERNAZA LOPEZ
1313 1/2 FAIRBANKS AVE
YAKIMA, WA 98902

18131333117
SONYA ORTIZ
1408 JEROME AVE
YAKIMA, WA 98902

18131333405
TOMAS & MARIA PEREZ
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19133041483
UZIEL ESTRADA
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19133041484
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18131333095
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19133041003
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18131333408
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85
Total Parcels - ROSA HARATI/ SARAH
HARATI - RZ#001-22, CL2#025-22,
ADJ#024-22, SEPA#017-22

ROSA HARATI
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Ntc of App + Enviro. Review
Sent 10/10/2022
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Yakima, WA 98908

Naches Cowiche Canal Association
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NachesCowicheCanal@gmail.com

SEPA REVIEWING AGENCIES
_UPDATED 07/11/2022

Type of Notice: Ntce of App + Build Per
File Number: DZ#001-22, C12#025-22, ADI#004-22, SEPA#017-22
Date of Mailing: 10/10/2022

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| In-House Distribution E-mail List | | Revised 07/21/2022 |
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| John Zabell | Code Administration | John.Zabell@yakimawa.gov |
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| Mike Shane | Water/Irrigation | Mike.Shane@yakimawa.gov |

| Outside Distribution | | |
|---|---------------------------------|---|
| Name | Address | Included In Mailing? |
| Pacific Power Attn: Estimating Department (Subdivision notices ONLY) | 500 N Keys Rd, Yakima, WA 98901 | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

| Additional Parties of Record or Interested Parties Notified | | |
|---|---------|--------|
| Name | Address | E-mail |
| | | |
| | | |
| | | |

Type of Notice: NTC of App + Enviro. Review
 File Number(s): C12#025,22 R2#001.22, ADJ#024.22, SEP#017.22
 Date of Mailing: 10/10/22

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F2a

Rivera, Eva

From: Rivera, Eva
Sent: Monday, October 10, 2022 9:23 AM
To: Brown, David; Calhoun, Joseph; Contreras, Pedro; Corona, Silvia; Davenport, Joan; Dean, James; DeBusschere, Suzanne; Denman, Glenn; Doan, Tony; Ibarra, Rosalinda; Kallevig, Dana; Layman, Randy; Linos, Irene; Markham, Aaron; Matthews, Archie; Maxey, Lisa; Meloy, Randy; Murray, Matthew; Preston, Bill; Riddle, Dan; Rivera, Eva; Rodriguez, Jeremy; Schafer, Scott; Shane, Mike; Story, Gregory; Watkins, Sara; Zabell, John; Ahtanum Irrigation District - Beth Brulotte; Cawley, Marc; Greater Yakima Chamber of Commerce; Henne, Dennis; Ibarra, Rosalinda; Linos, Irene; Nob Hill Water Association - Bob Irving; Office Rural Farmworker Housing - Marty Miller; Rivera, Eva; United States Postal Service - David James; US Army Corp Engineers - David Moore; Vera, Jaime; WA State Dept Agriculture - Kelly McLain; WA State Dept Archaeology Historic Pres - SEPA; WA State Dept Commerce - Review Team; WA State Dept Ecology - CRO SEPA; WA State Dept Ecology - Former Orchards; WA State Dept Ecology - Lori White; WA State Dept Ecology - SEPA Unit; WA State Dept Energy Facility Site Eval; WA State Dept Fish and Wildlife - Eric Bartrand; WA State Dept Fish and Wildlife - Scott Downes; WA State Dept Fish and Wildlife - SEPA; WA State Dept Fish and Wildlife - Team Yakima; WA State Dept Health - Jamie Gardipe; WA State Dept Health - Kelly Cooper; WA State Dept Health - SEPA ; WA State Dept Natural Resources - SEPA Center; WA State Dept Social Health Svcs - Larry Covey; WA State Dept Transportation- South Central Region; WA State Dept Transportation - Paul Gonseth; WA State Parks and Recreation - SEPA; West Valley School District - Joe Connolly; West Valley School District - Peter Finch; WSDOT Aviation ; Yakama Bureau of Indian Affairs - Rocco Clark; Yakama Bureau of Indian Affairs - Trudy Pinkham; Yakama Nation Environmental Mgmt Program - Elizabeth Sanchey; Yakama-Klickitat Fisheries Project - John Marvin; Yakama-Klickitat Fisheries Project - John Marvin; Yakima County Building Dept - Marivel Garcia; Yakima County Commissioners; Yakima County Health District; Yakima County Health District - Ryan Ibach; Yakima County Planning Division - Jason Earles; Yakima County Planning Division - Thomas Carroll; Yakima County Public Services - Lisa Freund; Yakima County Water Resources Div - Nathan Paris; Yakima County Water Resources Div - Troy Havens; Yakima Greenway Foundation - Kellie Connaughton; Yakima Regional Clean Air Agency - Hasan Tahat; Yakima School District - Jay Baucom; Yakima School District - Stacey Locke; Yakima School District - Trevor Greene; Yakima Valley Museum - Peter Arnold; Yakima Valley Trolleys; Yakima Waste Systems - Keith Kovalenko
Cc: Miller, Albert; 'tdurant@plsaoofyakima.com'
Subject: NTC OF APP & ENVIRO. REV - RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22
Attachments: NTC OF APP & ENVIRO REVIEW_RZ#001-22, CL2#025-22.pdf

Attached is a Notice of Application and Environmental Review regarding the above-entitled project. If you have any questions about this proposal please contact assigned planner Albert Miller at Albert.Miller@yakimawa.gov

Thank you!



Eva Rivera
Planning Technician
Phone: 509-575-6261
Email: eva.rivera@yakimawa.gov

This email is a public record of the City of Yakima and is subject to public disclosure unless exempt under the Washington Public Records Act. This email is subject to the State Retention Schedule.

Rivera, Eva

From: NoReply@ecy.wa.gov
Sent: Monday, October 10, 2022 9:39 AM
To: Ask Planning
Subject: Your SEPA Record Has Been Submitted!

The Department of Ecology has received a new SEPA record from Yakima City at Yakima City of with a File Number of: SEPA#017-22, RZ#001-22, CL2#025-22, ADJ#024-22.
Your record is being reviewed by an administrator.

From: Yakima City
Email: ask.planning@yakimawa.gov
Phone number: (509) 575-6261

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DEPARTMENT OF COMMUNITY DEVELOPMENT

Joan Davenport, AICP, Director

Planning Division

Joseph Calhoun, Manager

129 North Second Street, 2nd Floor, Yakima, WA 98901

ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

NOTICE OF APPLICATION AND ENVIRONMENTAL REVIEW

DATE: October 10, 2022
TO: SEPA Reviewing Agencies, Applicant, and Adjoining Property Owners
FROM: Joan Davenport, AICP, Community Development Director
APPLICANT: Sarah Harati
FILE NUMBER: RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22
LOCATION: 909 La Folette St./1406 S. Fair Ave.
TAX PARCEL NUMBER(S): 191330-41485, 191330-41486
DATE OF APPLICATION: September 9, 2022
DATE OF COMPLETENESS: September 9, 2022

PROJECT DESCRIPTION Proposal to rezone two lots from R-2 to B-2, to establish an automobile dealership, an administrative adjustment to the side setback from 20 ft. to 6 ft., and an adjustment to the parking/vehicle standard from hard surfacing to gravel.

DETERMINATION OF CONSISTENCY Pursuant to YMC § 16.06.020(A), the project considerations are determined to be consistent with applicable development regulations, as follows:

1. The type of land use: Automotive sales, a Class 2 use in the B-2 zoning district, not an approved use in the R-2 zoning district.
2. Level of Development: N/A
3. Infrastructure and public facilities: The subject property is served by city water, wastewater, solid waste, etc.
4. Characteristics of development: The proposal shall adhere to all Title 12 and Title 15 development standards

Pursuant to YMC § 16.06.020(B), the development regulations and comprehensive plan considerations are found to be consistent, as follows:

1. The type of land use: Automotive sales
2. Density of Development: N/A
3. Availability and adequacy of infrastructure and public utilities: The subject property is served by city water, wastewater, solid waste, etc.

NOTICE OF ENVIRONMENTAL REVIEW This is to notify agencies with jurisdiction and environmental expertise and the public that the City of Yakima, Planning Division, has been established as the lead agency, under WAC § 197-11-928 for this project. The City of Yakima has reviewed the proposed project for probable adverse environmental impacts and expects to issue a Determination of Nonsignificance (DNS) per WAC § 197-11-355. The proposal may include mitigation measures under applicable codes and the project review process may incorporate or require mitigation measures regardless of whether an EIS is prepared. A copy of the subsequent threshold determination may be obtained by request and may be appealed pursuant to YMC § 6.88.170.

Required Permits: The following local, state, and federal permits/approvals may or will be needed for this project: Building Permit, Grading Permit

Required Studies: N/A

Existing Environmental Documents: None

Development Regulations for Project Mitigation and Consistency Include: the State Environmental Policy Act, the Yakima Urban Area Zoning Ordinance, YMC Title 12—Development Standards, and the Yakima Urban Area Comprehensive Plan.

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REQUEST FOR WRITTEN COMMENTS: Agencies, tribes, and the public are encouraged to review and comment on the proposed project and its probable environmental impacts. There is a 20-day comment period for this review. This may be your only opportunity to comment. All written comments received by 5:00 p.m. on **October 31, 2022**, will be considered prior to issuing the final SEPA determination. Please reference file numbers (RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22) and applicant's name (Harati) in any correspondence you submit. You can mail your comments to:

**Joan Davenport, AICP, Community Development Director
City of Yakima, Department of Community Development
129 N. 2nd St., Yakima, WA 98901**

NOTICE OF DECISION A copy of the decision and the SEPA threshold determination will be mailed to parties of record and entities who were provided this notice once it is rendered.

The file containing the complete application is available for public review at the City of Yakima Planning Division, City Hall – 2nd Floor, 129 N. 2nd St., Yakima, WA. If you have any questions on this proposal, please contact Albert Miller, Assistant Planner at (509) 576-6772, or email to: albert.miller@yakimawa.gov.

Enclosed: Narratives, Project Descriptions, SEPA Checklist, Site Plans, and Vicinity Map

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DEPARTAMENTO DE DESARROLLO COMUNITARIO
Joan Davenport, AICP, Directora

Division de Planificación
Joseph Calhoun, Gerente
129 Norte Calle 2ª, 2º Piso, Yakima, WA 98901
ask.planning@yakimawa.gov · www.yakimawa.gov/services/planning

AVISO DE APLICACIÓN Y REVISIÓN AMBIENTAL

El Departamento de Desarrollo Comunitario de la Ciudad de Yakima ha recibido una aplicación por parte de un propietario/solicitante y este es un aviso sobre esa solicitud. Información sobre la ubicación de la propiedad en cuestión y la solicitud es la siguiente:

FECHA OTORGADA: 10 de octubre, 2022
PARA: Agencias de Revisión Ambiental, Solicitante y Propietarios Adyacentes
DE: Joan Davenport, AICP, Directora de Desarrollo Comunitario
SOLICITANTE: Sarah Harati
No. DE ARCHIVO: RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22
UBICACIÓN: 909 La Folette St., 1406 S. Fair Ave.
No. DE PARCELA: 191330-41485, 191330-41486
FECHA DE APLICACIÓN: 9 de septiembre, 2022
FECHA DE APLICACIÓN COMPLETA: 9 de septiembre, 2022

DESCRIPCIÓN DEL PROYECTO: Propuesta para re zonificar dos lotes de R-2 a B-2, para establecer una concesionaria de automóviles, un ajuste administrativo al retranqueo de lado de 20 pies a 6 pies, y un ajuste al estándar de estacionamiento/vehículo de superficie dura a grava.

DETERMINACIÓN DE LA CONSISTENCIA: Conforme al Código Municipal YMC §16.06.020(A), las consideraciones del proyecto se determinan consistentes con las siguientes normas de desarrollo aplicables:

1. El tipo de uso terrenal: Ventas de automóviles, un uso de Clase 2 en la zona B-2, no es un uso aprobado en la zona R-2.
2. Nivel de desarrollo: N/A
3. Infraestructura e instalaciones públicas: La propiedad puede ser servida por calles públicas, agua, drenaje, recolección de basura, etc.
4. Características del desarrollo: La propuesta se adherirá a todas las normas de desarrollo del título 12 y del título 15.

Conforme al Código Municipal YMC §16.06.020(B), los reglamentos de desarrollo y las consideraciones del plan comprensivo son coherentes, de la siguiente manera:

1. El tipo del uso terrenal: Ventas de automóviles
2. Densidad del desarrollo: N/A
3. Disponibilidad y adecuación de infraestructura y servicios públicos: La propiedad puede ser servida por instalaciones públicas.

AVISO DE REVISIÓN AMBIENTAL: Esto es para notificar a las agencias con jurisdicción y experiencia ambiental y al público que la Ciudad de Yakima, Division de Planificación, se establece como la agencia principal, de acuerdo con la Ley Estatal de Política Ambiental de Washington (SEPA) bajo WAC §197-11-926 para la revisión de este proyecto. La Ciudad de Yakima ha revisado el proyecto propuesto para posibles impactos ambientales adversos y espera emitir una Determinación de No-Significancia (DNS) para este proyecto conforme al proceso DNS opcional en WAC § 197-11-355. La propuesta puede incluir medidas de mitigación bajo los códigos aplicables y el proceso de revisión del proyecto puede incorporar o requerir medidas de mitigación independientemente de si se prepara un EIS (Declaración de Impacto Ambiental). Una copia de la determinación de umbral posterior se puede obtener por solicitud y se puede apelar de acuerdo con el Código Municipal de Yakima YMC § 6.88.170.

Permisos Requeridos: Los siguientes permisos/aprobaciones locales, estatales, y federales pueden o serán necesarios para este proyecto: Permiso de construcción, permiso de nivelación.

Estudios Requeridos: N/A

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Documentos Ambientales Existentes: Ninguno.

Los Reglamentos de Desarrollo para la Mitigación y Consistencia de Proyectos Incluyen: La Ley Estatal de Política Ambiental de Washington, La Ordenanza de Zonificación del Área Urbana de Yakima, Los Estándares de Desarrollo del Título 12, y el Plan Integral del Área Urbana de Yakima.

SOLICITUD DE COMENTARIOS ESCRITOS: Se anima a las agencias, tribus, y el público a revisar y comentar sobre el proyecto y sobre sus probables impactos ambientales. Habrá un periodo de veinte días para hacer sus comentarios. Este podría ser su única oportunidad para comentar. Todos los comentarios recibidos por escrito antes de las 5:00 p.m. el 31 de octubre, 2022 serán considerados antes de emitir la decisión final sobre esta solicitud. Por favor de hacer referencia al número de archivo (RZ#001-22, CL2#025-22, ADJ#024-22, SEPA#017-22) o al nombre del solicitante (Harati) en cualquier correspondencia que envíe. Envíe sus comentarios sobre esta propuesta a:

**Joan Davenport, AICP, Community Development Director
City of Yakima, Department of Community Development
129 N. 2nd St., Yakima, WA 98901**

AVISO DE LA DECISIÓN FINAL: Cuando la decisión final sea emitida, una copia será enviada a las personas que mandaron comentarios o que recibieron este aviso inicial. La decisión será definitiva a menos que sea apelada.

El archivo que contiene la aplicación completa está disponible para inspección pública en la Oficina de Planificación de la Ciudad de Yakima en el 129 al Norte la Calle 2da, Yakima, WA. Si tiene cualquier pregunta sobre esta propuesta, puede contactar a la Oficina de Planificación al (509) 575-6183 o por correo electrónico al: ask.planning@yakimawa.gov

Adjunto: Narrativas, Descripción del proyecto, Lista de verificación SEPA, Plan del Sitio, Mapa

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CITY OF YAKIMA
LAND USE ACTION INSTALLATION
CERTIFICATE

| | |
|-------------------------|---|
| File Number: | RZ#001-22, CL2# 025-22, ADJ#024-22, SEPA#097-22 |
| Applicant/Project Name: | Hikari |
| Site Address: | 1406 S Fair Ave / 909 Lufollette SE |
| Date of Posting: | 10/10/2022 |

Location of Installation (Check One):

☒ Land Use Action Sign is installed per standards described in YMC §15.11.080(C).

☐ Land Use Action Sign is installed in an alternate location on the site.

Note: this alternate location (if not pre-approved by the Planning Manager) may not be acceptable by the Planning Division and is subject to relocation (at the owner's expense) to a more visible site on the property.

The alternative location is:

The required notice of application will be sent to the applicant and property owners within a 300-foot radius after the Planning Division has received this Land Use Action Installation Certification. Failure to post a Land Use Action sign and return this form signed in a timely manner may cause a delay in the application review process.

I hereby testify that the installed sign fully complies with the Land Use Action sign installation standards (see pg. 2), that the sign will be maintained until a decision has been rendered, and that the sign will be returned within **30 days** from the date the final decision is issued.


Applicant's Signature

10/10/2022
Date

Joseph Calhoun, Planning Manager
Applicant's Name (Please Print)

509 575 6042
Applicant's Phone Number

Please remit the above certification and deliver to the City of Yakima Planning Division via email to ask.planning@yakimawa.gov or in person/by mail to: City of Yakima, Planning Division, 129 North 2nd Street, Yakima, WA 98901.

CHAPTER G

Public /Agency Comments

[illegible]



STATE OF WASHINGTON
DEPARTMENT OF ECOLOGY

Central Region Office

1250 West Alder St., Union Gap, WA 98903-0009 • 509-575-2490

RECEIVED

OCT 27 2022

**CITY OF YAKIMA
PLANNING DIV.**

October 27, 2022

Community Development
City of Yakima
129 North 2nd Street
Yakima, WA 98901

Re: 202205099, SEPA#017-22, RZ#001-22, CL2#025-22, ADJ#024-22

To Whom it May Concern:

Thank you for the opportunity to comment during the Optional Determination of Non Significance process for the Rosa Harati/Sarah Harati Project. We have reviewed the documents and have the following comments.

TOXIC CLEAN-UP

This project is located within the Yakima Railroad Area. The Yakima Railroad Area is a six-square mile area identified as having a high likelihood that groundwater is contaminated with tetrachloroethene (also known as PCE, perc, or perchloroethylene) above state cleanup levels. Concentrations of PCE above cleanup levels in the shallow aquifer have the potential to impact indoor air quality.

Sincerely,

Tricia Sawyer

Tricia Sawyer, on behalf of Lucila Cornejo, SEPA Coordinator
Central Regional Office
(509) 208-4590
crosepacoordinator@ecy.wa.gov

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